

Schedule of Conservation Works

P39543

Introduction

This schedule of works has been prepared to guide the conservation and restoration of the retained portions heritage building as required by the permit application RFI.

The contractors for the restoration works are to familiarise themselves with the requirements of the Schedule of Works as outlined below. It remains the obligation of the contractor(s) to notify and consult the project Heritage Consultant of any proposed practices (relating to the techniques, materials or methodologies of the conservation works) that vary to those as outlined prior to the commencement of the associated works.

Representatives of Bryce Raworth's office will be available throughout the construction process for meetings or advice as required.

This schedule is to be read generally in conjunction with the Architectural drawings prepared by Hayball Architects

General (including preliminary, protection & stabilisation works

- The following schedule is based on a visual inspection of the building facade carried out from street level only. there may be additional works required in concealed locations and at the parapet level that are not mentioned below. Allowances should be made for undiscovered conditions.
- All conservation works shall be undertaken to ensure that as much of the original/early external fabric as possible is conserved. Where repairs are necessary, effort should be made to retain surviving original fabric rather than replace it with new fabric of a similar material or design.
- Where fabric is unable to be repaired and reused, it must be replaced with a compatible alternative of matching appearance.
- Appropriate protection is to be applied to all of the retained original fabric measures are applied, and is to be monitored throughout the construction process.
- Any temporary support structures erected to facilitate dismantling or construction works must have regard for the locations of key architectural features such as architectural mouldings, rendered detailing and openings and seek to avoid damage to these elements.
- Any damage to retained fabric resulting from the construction works (including where temporary fixings have been removed) is to be made good.
- No conservation works will be undertaken without the guidance of tradespersons or others skilled in the particular tasks to hand.

1. Demolition

- All dismantling and demolition works interfacing with the retained (including salvaged) significant fabric are to be undertaken with care, using hand tools where appropriate, to ensure minimum interference with, or damage to, significant fabric.
- Generally, remove all redundant modern accretions on external surfaces such as conduits, pipes, lights, services, alarms etc. and associated fixings and make good as required.
- Install temporary hoardings or linings where new openings have been constructed to protect the exposed elements.
- Salvage and retain the following elements for their reuse in the conservation works:
 - sufficient quantity of original bricks from the demolished portion of the heritage building for reuse in the repair of the retained portions.
 - sample of the existing mortar is to be retained and provided for laboratory analysis to determine its composition.The elements salvaged above are to be carefully removed and stored in a secure location (either onsite or offsite).

2. Brickwork (including bluestone plinth)

- Remove all paint and graffiti from all retained brickwork - refer to the attached methodology prepared by High Pressure Cleaning Services to recover a face brick finish.
- Repair all retained brickwork and bluestone, including associated cracks and fabric losses (holes etc) using traditional repair techniques and compatible, low strength mortars based on original composition (refer point 1d).
- Where bricks are missing or damaged or penetrations for services have been introduced, the bricks are to be replaced using bricks salvaged from the demolished parts of each respective building provided they are in sound condition and are an exact match. Holes in bricks up to nom 20mm dia are to be filled using a lime mortar mix coloured to match the existing brickwork.
- Rake out and repoint brickwork and bluestone (to match the original pointing and strike) where mortar is degraded or missing.
- Reinstate tuck pointing to the Brunswick Road and Black Street elevations to match the original.
- Investigate potential application of graffiti resistant finish to the lower portions of the retained elevations.



Fig: Black Street (east) elevation



Fig: Brunswick Road (south) elevation

3. Render (string courses)

- a. Gently wash down renderwork to remove all paint, surface deposits, grime, mortar residue etc using non-abrasive methods preparatory to repairs. The least aggressive cleaning methods are to be trailed first (eg warm water at low/medium pressure in conjunction with scrubbing using stiff nylon bristle brush and non-ionic detergent). Alkaline gel/poultices might be suitable for heavier stains.
- b. Render detailing to be repaired to a fair face finish. Minor, non-structural and relatively stable defects are accepted including hairline cracking and do not require repair.
- c. Render repairs to be carried out using approved lime based mix. Render composition to be determined by project heritage consultant in consultation with the relevant contractor *(Standard to AS 1672 Limes For Building, AS 2701 Methods of Sampling & Testing Mortar, As 3972 Portland & Blended Cements). Cut out drummy, cracked or defective render back to sound substrate. Clean with compressed air or water. Build up new render in traditional 3 coat lime based render to match original depth and finish, reinstating falls to remove rainwater. Ensure each coat is given sufficient time to cure before application of the next coat. Ensure coats key into coat below. Apply unifying skim coat or wash finish with a lime-rich render or limewash, or with a mineral silicate paint if required.
- d. Parapet coping to be investigated in terms of condition and weathering. Renew rendering if required or it may be appropriate to reinstate the rendered coping with an appropriate raked profile to shed water away from the building. If so, a small amount of cement may be used in the render mix to allow for more severe weathering.

4. Roof

- a. Existing corrugated roof cladding to be retained.
- b. Replace flashing, gutters and cappings with galvanised steel to match the existing. Ensure roofing materials are compatible with metal fixings, flashings rainwater goods etc to prevent galvanic corrosion.
- c. Visible, inset cast iron rainwater heads and down pipes to be retained, decommissioned if not required and repainted to match the colour of brickwork (i.e. Indian Red or similar).
- d. Where the proposed fire booster cupboard intersects with the far western downpipe, the downpipe is to be decommissioned, the required portion removed for the fire booster cupboard with the balance retained (including both above and below the cupboard). Make good any associated damage and repaint to match the other retained downpipes.
- e. Reinstate existing skylights.

5. Windows

- a. Remove non-original window bars to the Black Street elevation.
- b. Remove infill to reinstate original windows and doors to the Black Street and Brunswick Road elevations.
- c. Existing windows are to be protected, retained and restored unless otherwise indicated. Repairs to be conducted in-situ unless it is determined that the windows can be easily removed with minimal damage, repairs can be undertaken offsite in workshop conditions and conducted by a specialist window contractor. Carefully remove paint finishes and other defects. Where applicable, piece-in new fabric to match existing profiles. Restore hardware functionality where practicable.
- d. Prime and repaint windows to approved colour scheme and re-glaze with clear glass or similar, to architect's specification. If double glazing is required, augment internally.
- e. Where new window frames are proposed, they are to be fabricated to match existing.

8. Detailing

- a. Repair and reinstate salvaged and restored steel vents to their original location. Repaint with a primer and two coat exterior enamel paint system to architect's specification.
- b. Retain existing pipe vent/cable points to the Brunswick elevation. Remove paint and make good any damage.

9. Internal

- a. Existing concrete slab to be removed.
- b. Existing timber ceiling lining boards to be retained, repaired and repainted. Missing, damaged or decayed timber elements beyond repair should be carefully cut out and new timber spliced in to matching the existing detail.
- c. Existing roof trusses are to be retained, and repainted. Carefully remove loose paint finishes and corrosion to existing steelwork, using a wire brush or carefully with a mechanical sander. Apply rust inhibitor/ zinc rich primer. Repaint using a protective coating system appropriate for metalwork, to approved colour scheme.
- d. Repaint internal finishes nominally to match the existing. Investigate the appropriate colours in the course of the work, as it was not accessible to conduct a paint assessment prior.
- e. Internal Works to architect's details and specifications, including services, partitions, and lighting.

10. Paintwork

- a. Painted surfaces should be tested for lead content. If lead based primers or paints are present, paint should be removed in accordance with *AS4361.2: 2017 Guide to hazardous paint management, Part 2: Lead paint in residential, public and commercial buildings*.
- b. Prepare and paint external timberwork. Prime any bare timber prior to application of min. 2 finishing coats in accordance with manufacturer's specifications.
- c. Face brick, bluestone plinth, bluestone sills and renderwork to remain unpainted, subsequent to paint removal.
- d. Refer to the attached paint removal methodology prepared by High Pressure Cleaning Services.
- e. Prepare and paint internal finishes including trusses.



Fig: Existing steel window to be retained



Fig: Existing window head keystone detail to be depainted and restored to a face finish.



Fig: Existing infilled doorway to be restored to a door.



Fig: Existing internal lining boards and trusses to be repaired and repainted.



Fig: Existing render moulding to be depainted and restored to a face finish.



Fig: Example of the adjacent 1 Black street render and header detailing.

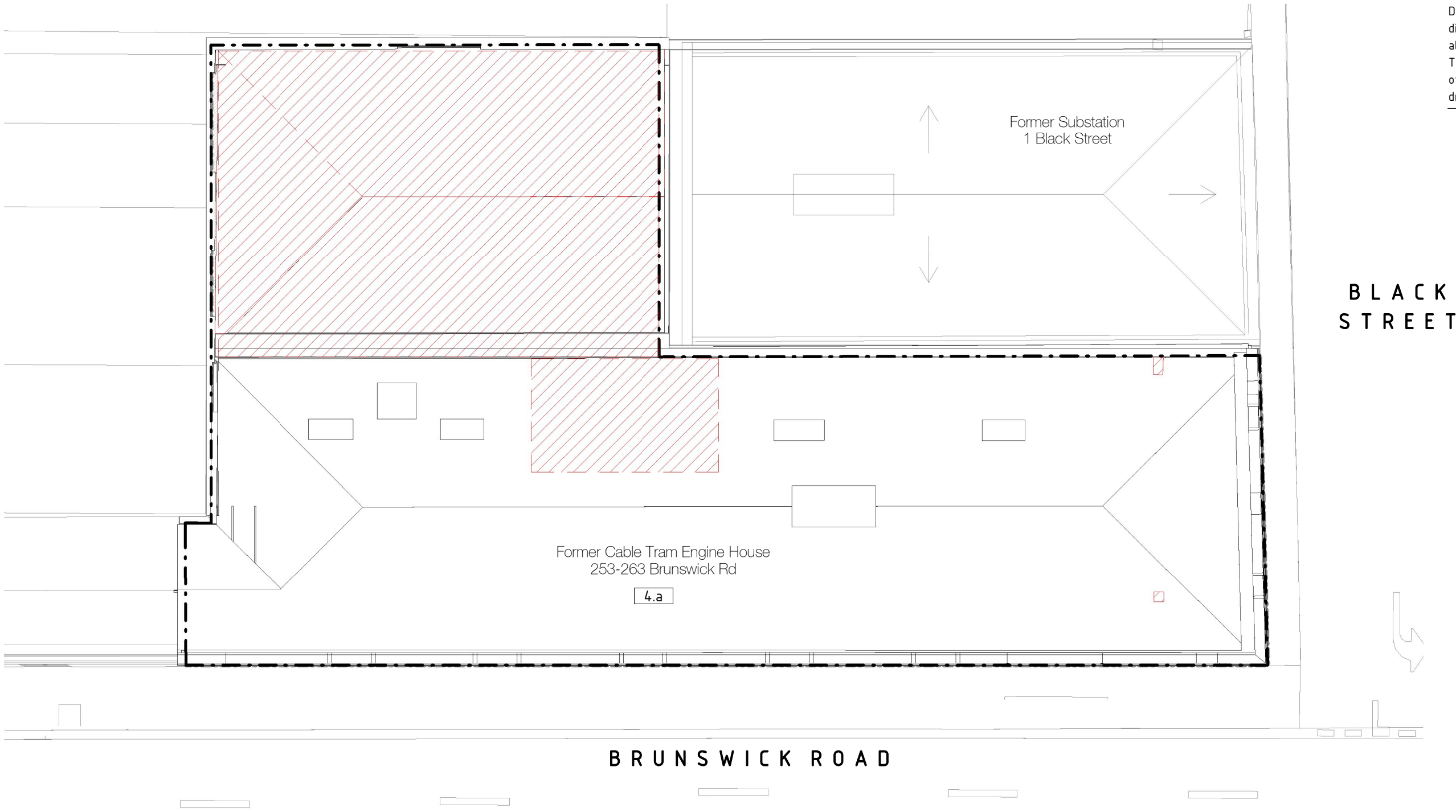


Fig: Existing infilled doorway to be restored to a door.







Fig: Existing internal lining boards and trusses to be repaired and repainted.

General Notes:
Do not scale from drawing. Use marked dimensions. To be read in conjunction with all other Consultant's drawings.
The Architect to be immediately notified of any discrepancies. Copyright on this drawing retained by the Architect.

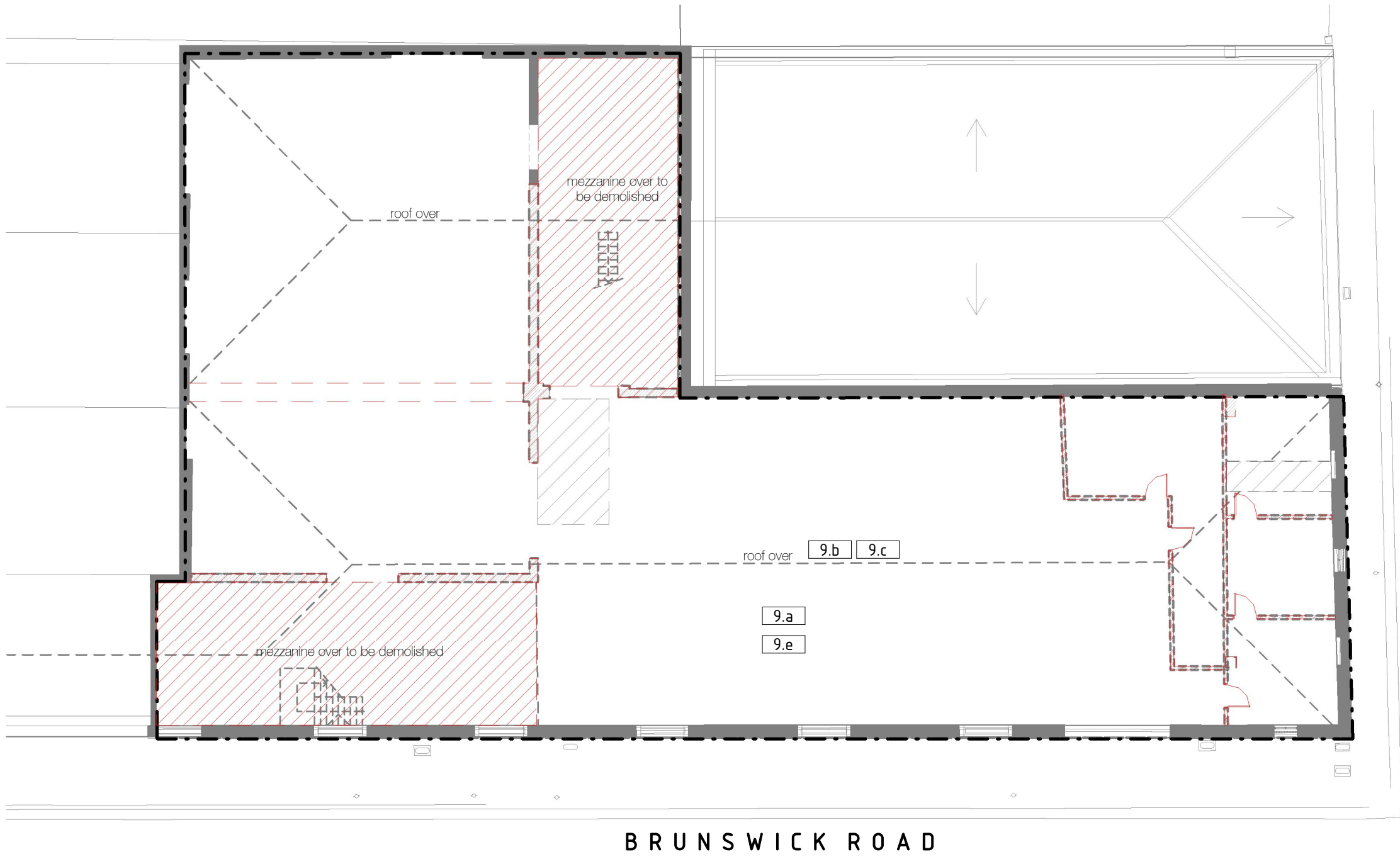


Existing Roof Plan
SCALE 1 : 200

Annotation numbers on drawing to be read in conjunction with the Schedule of Conservation Works





-  existing fabric to be demolished
-  excavation for proposed equipment
-  wall to be retained
-  annotation number

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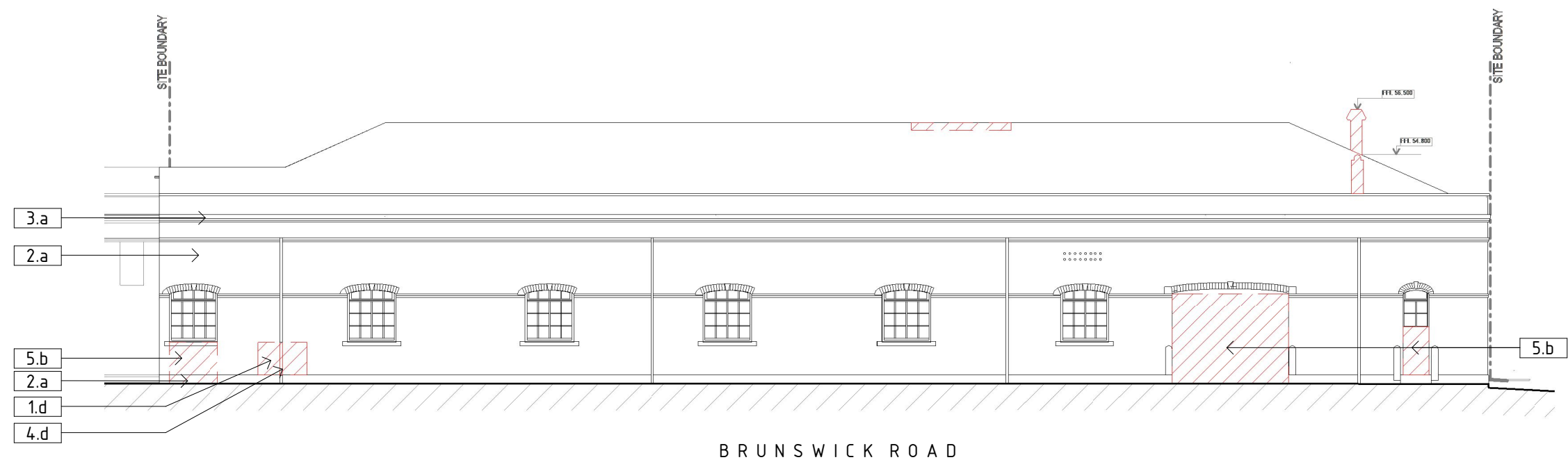


Ground Plan
SCALE 1 : 200

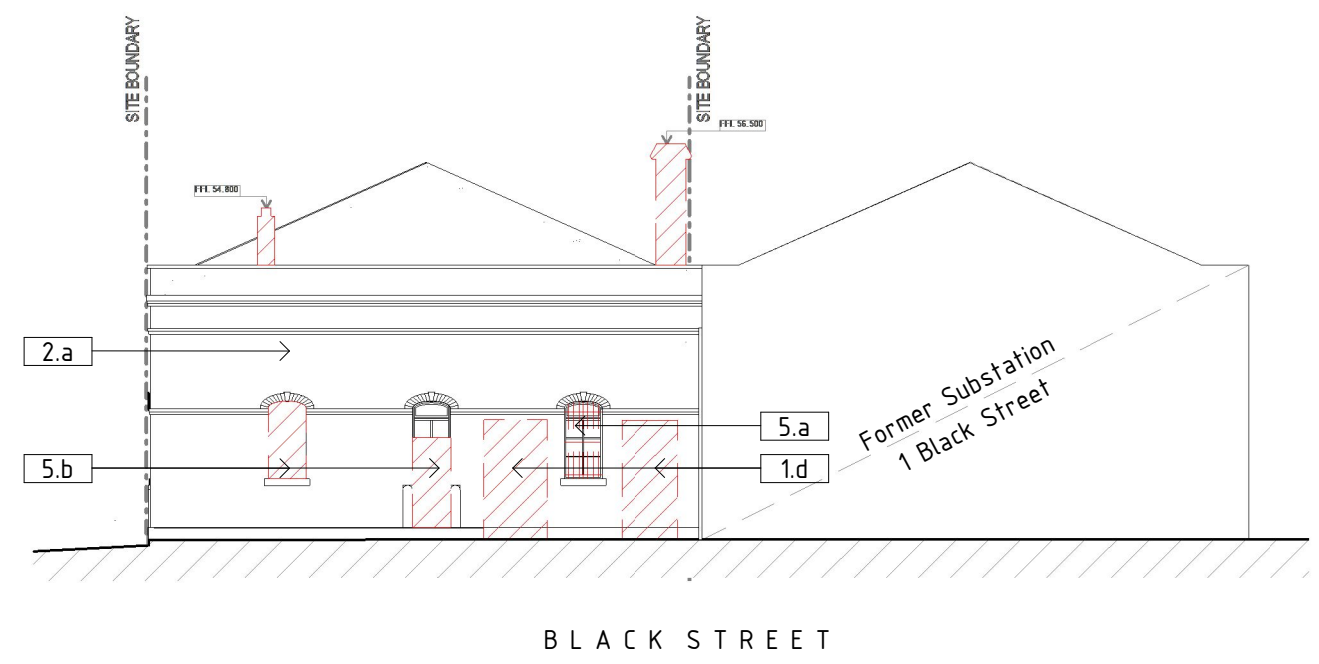
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


Existing South Elevation
SCALE 1 : 200

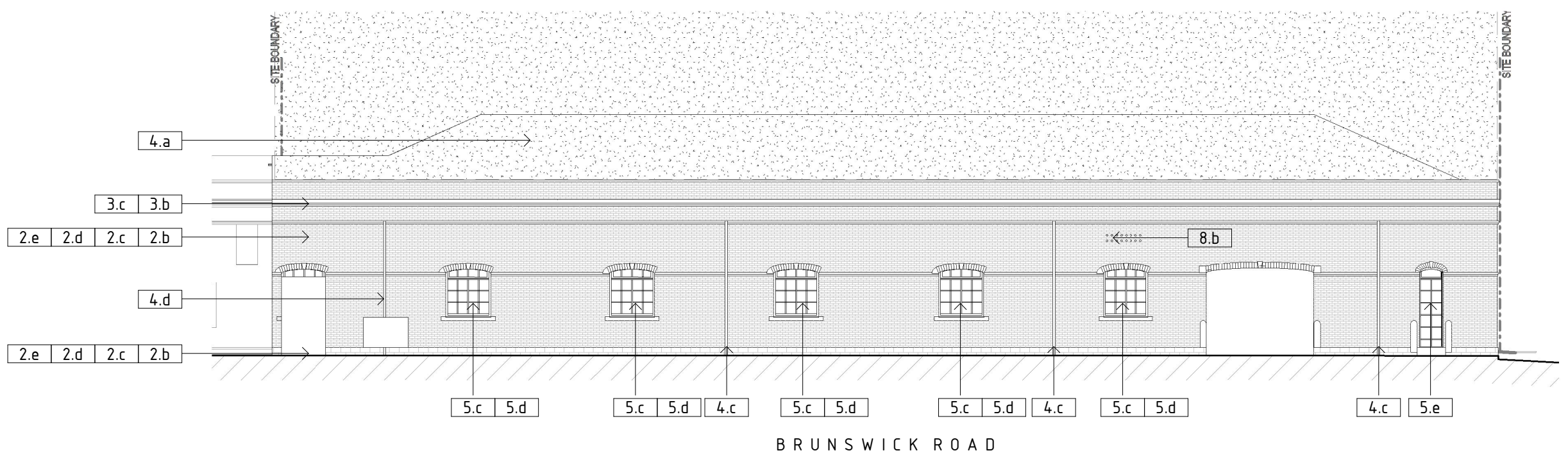


Existing East Elevation
SCALE 1 : 200

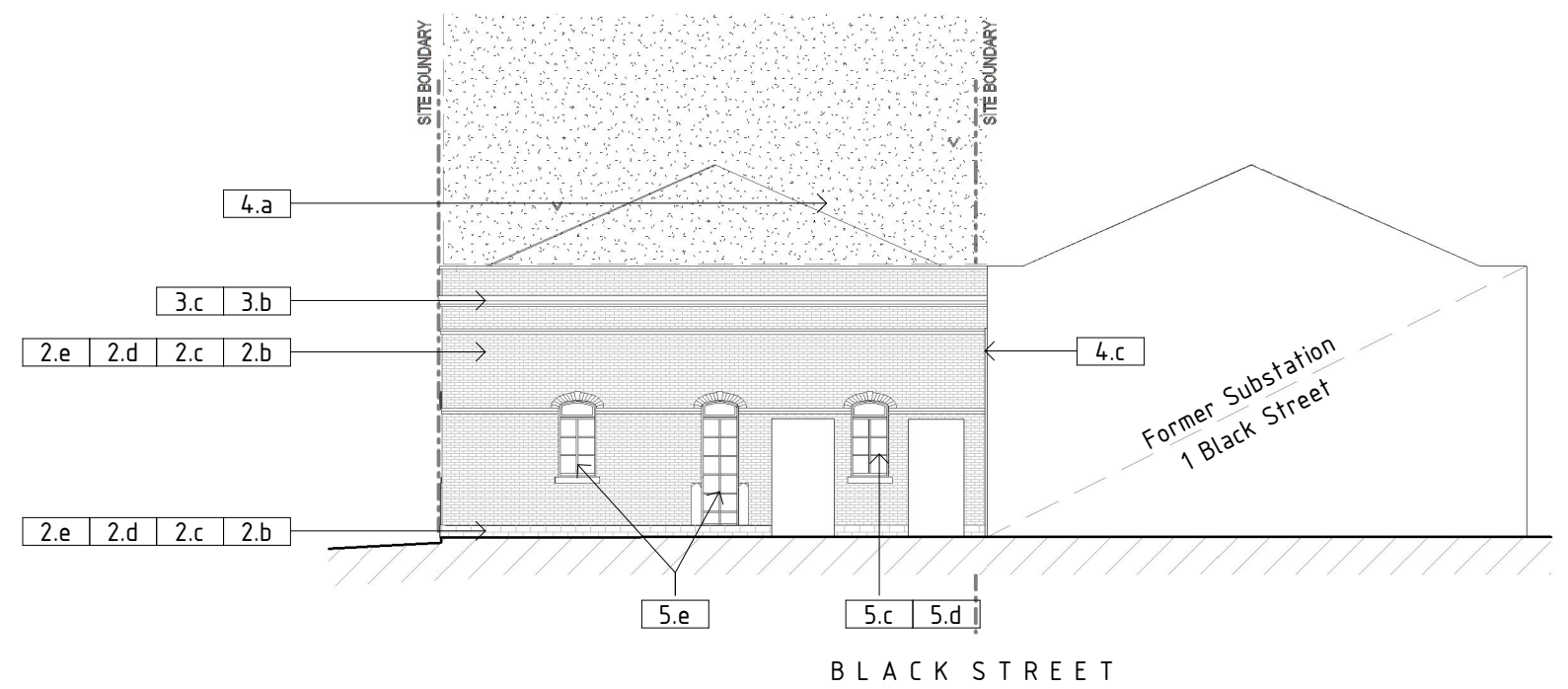
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-  existing fabric to be demolished
-  excavation for proposed equipment
-  wall to be retained
-  annotation number

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



Proposed South Elevation
SCALE 1 : 200

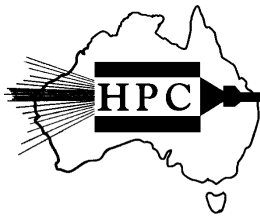


Proposed East Elevation
SCALE 1 : 200

Annotation numbers on drawing to be read in conjunction with the Schedule of Conservation Works

 new built form

 annotation number



HIGH PRESSURE CLEANING SERVICES

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METHOD STATEMENT

To: BENSONS PROPERTY

From: KEITH EBENEZER

Email: Mike.foo@bensonproperty.com.au **Date:** February 26, 2025
[au](mailto:Mike.foo@bensonproperty.com.au)

Attn: MIKE FOO

Pages: 3 Incl. Cover Page

**Ref: METHOD STATEMENT / RE
PAINT REMOVAL**

☐ Urgent ☒ For Review ☐ Please Comment ☐ Please Reply ☐ Please Recycle

Message:

METHOD STATEMENT IN REGARD TO PAINT STRIPPING PAINT ON
EXTERNAL / INTERNAL STONE AND MASONRY: -

AN APPLICATION OF EITHER HPC 2001 OR HPC ENVIRO - STRIP
ENVIRONMENTALLY FRIENDLY) PAINT STRIPPER OR ALKAGEL SOLUTION
(7-10%) WILL BE APPLIED TO THE PAINTED SURFACE BY MEANS OF A
LOW ATOMISING AIRLESS UNIT, APPROX. 1 LITRE PER SQ/MTR OF
SURFACE AREA. AFTER A SET CONTACT TIME.

THIS IN TURN WILL BE REMOVED WITH THE USE OF A HOT WATER
BLASTER, WITH A MAXIMUM TEMPERATURE OF 80 DEGREES CELCIUS AT
THE NOZZLE, WORKING IN HORIZONTAL STROKES, MAINTAINING AN
EVEN DISTANCE FROM THE SURFACE AS TO AVOID DAMAGE OR CUT
MARKS TO THE SUBSTRATE, WITH A MAXIMUM TIP PRESSURE OF 900
psi. USING A NON OCCILATING JET.

THIS PROCESS WILL BE REPEATED MULTIPLE TIMES UNTIL THE
REQUIRED FINISH HAS BEEN ACHIEVED.

ON COMPLETION THE WHOLE SURFACE WILL BE THOROUGHLY RINSED
DOWN WITH HOT WATER AND DETERGENT TO NEUTRALISE THE
SURFACE.

DISPOSAL OF WASTE SOLIDS -

ALL THE HAZARDOUS WASTE SOLIDS (i.e., LEAD BASED PAINT) WILL BE
COLLECTED, BAGGED AND REMOVED FROM THE SITE.

ALL NON-HAZARDOUS PAINT WASTE SOLIDS WILL BE COLLECTED
BAGGED AND DISPOSED OF VIA SITE SKIP. Cont...

DISPOSAL OF WASTE WASH WATER -

WASTE RESIDUE WILL BE COLLECTED WITH THE USE OF A CONTAINMENT/VACUUM SYSTEM i.e SAND BARRIERS AND PLASTIC SHEETING PLACED AROUND AREA TO DIVERT ALL WASH WATER AND RESIDUE TO A HOLDING PIT.

THIS IN TURN WILL BE PUMPED TO A HOLDING TANK. WASH WATER WILL BE FILTERED FROM SOLIDS AND DISPOSED OF.

NO WASTE IS TO ENTER STORM WATER SYSTEM.

SAFETY PROCEDURES IN REGARD TO WATER BLASTING.

A/ IT IS IMPORTANT TO HOLD A TOOLBOX MEETING WITH ALL EMPLOYEES PRIOR TO COMMENCEMENT OF WORK TO ENSURE CLEAR UNDERSTANDING OF WORK SAFETY AND CHEMICAL RISK ASSESSMENT PROCEDURES.

B/ PLANT AND EQUIPMENT

WITH ANY USE OF HIGH-PRESSURE WATER BLASTING EQUIPMENT THE FOLLOWING DAILY PRECAUTIONS MUST BE TAKEN.

- * PRIOR TO COMMENCEMENT OF WORK, CHECK ALL HOSES AND FITTINGS THAT THEY ARE SAFE AND IN GOOD WORKING ORDER.
- * ENSURE THAT AUTOMATIC SAFETY SHUT OFF EQUIPMENT IS IN WORKING ORDER.
- * CHECK AND TEST THAT AUTOMATIC SHUT OFF IS WORKING CORRECTLY AT PISTOL.

C/ PROTECTIVE CLOTHING - (PPE) AS RECOMMENDED IN MSDS.

SAFETY BOOTS, HEAVY DUTY OVERALLS, RUBBER GLOVES, FULL FACE AND HEAD STOCKING, SAFETY HELMET, GOGGLES AND FACE MASKS WILL BE WORN AT ALL TIMES, WHERE NECESSARY.

DESIGNATED DE-CONTAMINATION OR CHANGE AREA IS TO BE ARRANGED, DEPENDING ON THE AREA TO BE CLEANED.

STRICT PERSONAL HYGIENE TO BE ADHERED TO AT ALL TIMES.

D/ PUBLIC SAFETY

i) EXTERNAL PAINT STRIPPING -

WORK AREA IS TO BE BARRICADED OFF WITH BUNTING AND WARNING SIGNS, SPOTTER TO BE IN PLACE. SAND BARRIER TO BE PLACED AT BASE OF BUILDING, TO DIRECT WASH WATER AND RESIDUE TO A PICKUP POINT, FOR COLLECTION.

PROTECTIVE COVERINGS TO BE IN PLACE ON SCAFFOLD

Cont....

ALL WORK CARRIED OUT BY HPC IS IN ACCORDANCE WITH THE NATIONAL TRUST AND HERITAGE VICTORIA GUIDELINES FOR LOW PRESSURE CHEMICAL PAINT STRIPPING OF MASONRY.

HPC IS A CERTIFIED LEAD ABATEMENT CONTRACTOR -
CERTIFICATE NO. 774 AS ATTACHED.

IF HPC IS SUCCESSFUL WITH THIS QUOTATION, WORK METHOD STATEMENTS, CHEMICAL DATA SHEETS, JSA'S ETC. CAN BE FORWARDED ON REQUEST.

ALL HPC EMPLOYEES HOLD CURRENT BOOM AND PLATFORM LIFT CERTIFICATES.

FOR ANY FURTHER INQUIRIES, PLEASE DO NOT HESITATE TO CALL OR REFER TO SPECIFIC JSA.

YOURS FAITHFULLY,

KEITH EBENEZER