

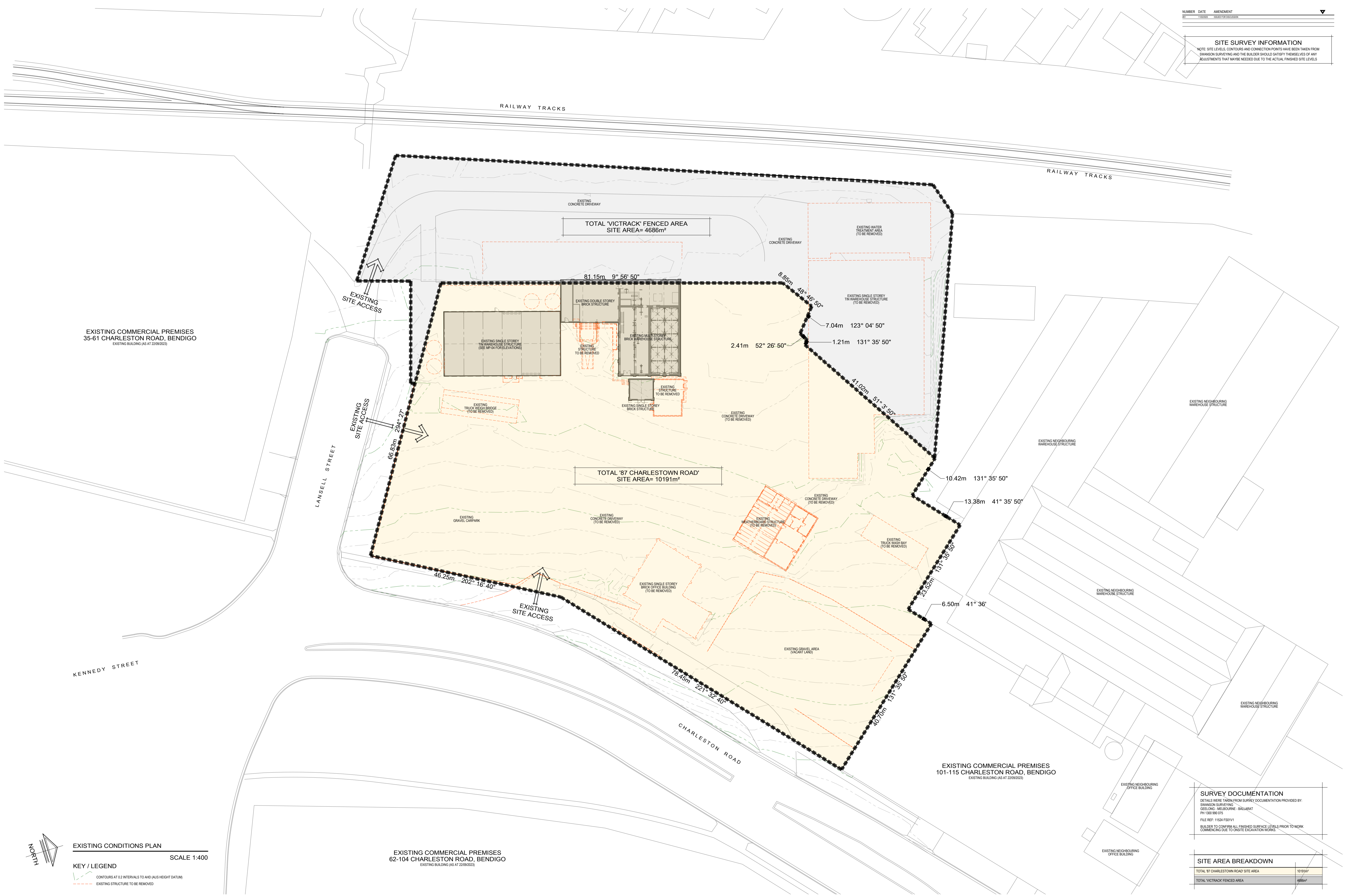
REDEVELOPMENT WORKS
AT 87 CHARLESTON ROAD, BENDIGO

PROPOSED MASTER PLANNING DRAWINGS

PROJECT OUTLINE	
MP-01	COVER PAGE
MP-02	EXISTING CONDITIONS PLAN
MP-03	PROPOSED SUBDIVISION PLAN
MP-04	PROPOSED MASTER PLAN
MP-05	SITE DEVELOPMENT PLAN (LOT 1 & LOT 2)
MP-06	SITE DEVELOPMENT PLAN (LOT 3)
MP-07	PROPOSED FLOOR PLAN (TENANCY 1 & 2)
MP-08	PROPOSED FLOOR PLAN (TENANCY 3)
MP-09	ARTIST'S IMPRESSIONS
MP-10	PROPOSED ELEVATIONS AND COLOURS & MATERIALS SCHEDULE

SITE SURVEY INFORMATION

NOTE: SITE LEVELS, CONTOURS AND CONNECTION POINTS HAVE BEEN TAKEN FROM SWANSON SURVEYING AND THE BUILDER SHOULD SATISFY THEMSELVES OF ANY ADJUSTMENTS THAT MAY BE NEEDED DUE TO THE ACTUAL FINISHED SITE LEVELS



EXISTING COMMERCIAL PREMISES
35-61 CHARLESTON ROAD, BENDIGO
EXISTING BUILDING (AS AT 22/09/2023)

LANSSELL STREET

KENNEDY STREET

CHARLESTON ROAD

EXISTING COMMERCIAL PREMISES
101-115 CHARLESTON ROAD, BENDIGO
EXISTING BUILDING (AS AT 22/09/2023)

EXISTING COMMERCIAL PREMISES
62-104 CHARLESTON ROAD, BENDIGO
EXISTING BUILDING (AS AT 22/09/2023)

EXISTING CONDITIONS PLAN
SCALE 1:400

KEY / LEGEND

- CONTOURS AT 0.2 INTERVALS TO AHD (AUS HEIGHT DATUM)
- - - EXISTING STRUCTURE TO BE REMOVED

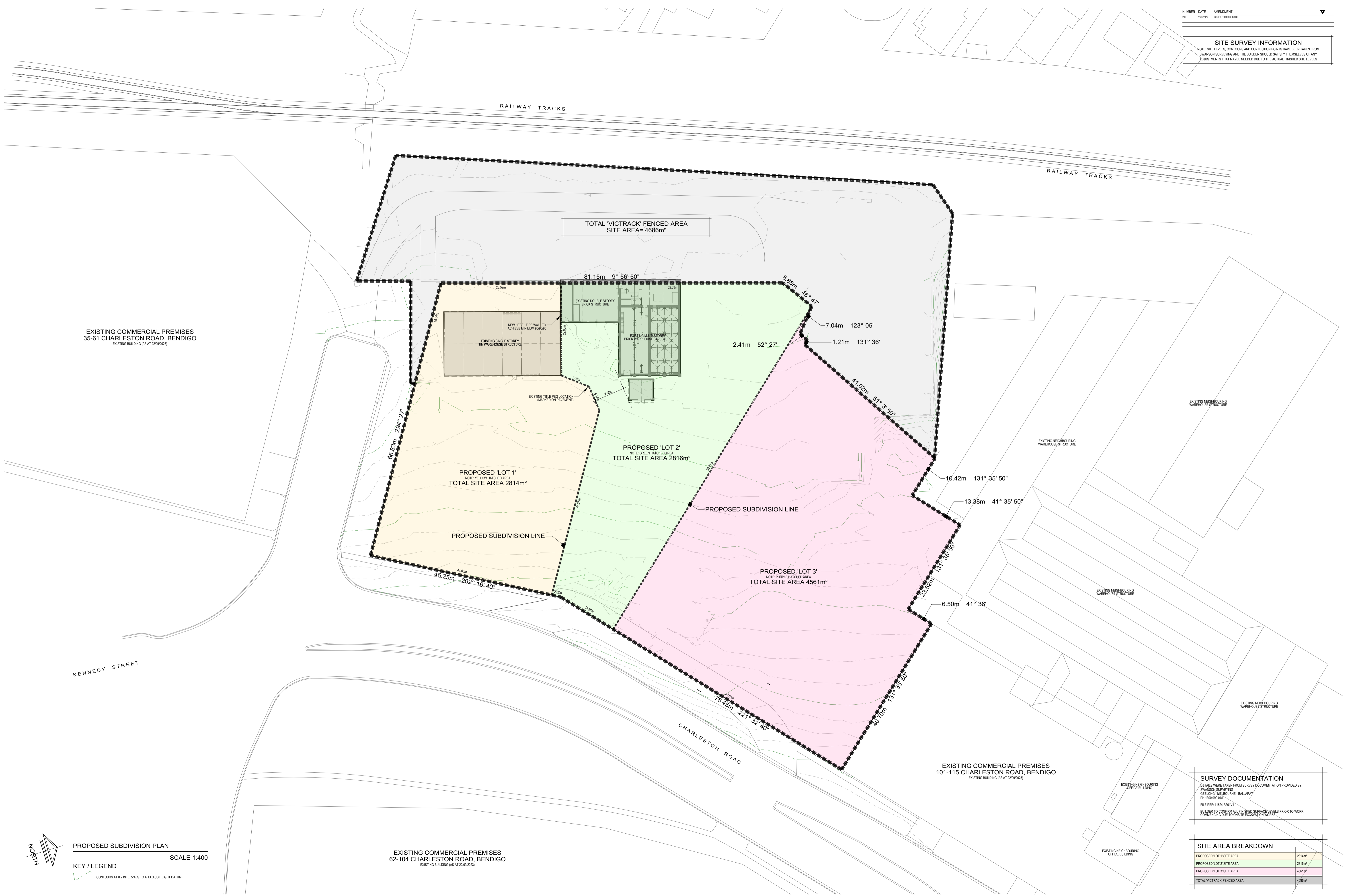
SURVEY DOCUMENTATION

DETAILS WERE TAKEN FROM SURVEY DOCUMENTATION PROVIDED BY:
SWANSON SURVEYING
GEELONG - MELBOURNE - BALLARAT
PH 1300 960 075
FILE REF: 11524 FS01V1
BUILDER TO CONFIRM ALL FINISHED SURFACE LEVELS PRIOR TO WORK COMMENCING DUE TO ON-SITE EXCAVATION WORKS

SITE AREA BREAKDOWN	
TOTAL '87 CHARLESTOWN ROAD' SITE AREA	10191m ²
TOTAL 'VICTRACK' FENCED AREA	4686m ²

SITE SURVEY INFORMATION

NOTE: SITE LEVELS, CONTOURS AND CONNECTION POINTS HAVE BEEN TAKEN FROM SWANSON SURVEYING AND THE BUILDER SHOULD SATISFY THEMSELVES OF ANY ADJUSTMENTS THAT MAY BE NEEDED DUE TO THE ACTUAL FINISHED SITE LEVELS



PROPOSED SUBDIVISION PLAN
SCALE 1:400

KEY / LEGEND
CONTOURS AT 0.2 INTERVALS TO AHD (AUS HEIGHT DATUM)

SURVEY DOCUMENTATION
 DETAILS WERE TAKEN FROM SURVEY DOCUMENTATION PROVIDED BY:
 SWANSON SURVEYING
 62/63 MELBOURNE - BALLARAT
 PH 1300 960 075
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 BUILDER TO CONFIRM ALL FINISHED SURFACE LEVELS PRIOR TO WORK COMMENCING DUE TO DIGITE EXCAVATION WORKS

SITE AREA BREAKDOWN	
PROPOSED LOT 1 SITE AREA	2814m ²
PROPOSED LOT 2 SITE AREA	2816m ²
PROPOSED LOT 3 SITE AREA	4561m ²
TOTAL 'VICTRACK' FENCED AREA	4686m ²

SITE SURVEY INFORMATION

NOTE: SITE LEVELS, CONTOURS AND CONNECTION POINTS HAVE BEEN TAKEN FROM SWANSON SURVEYING AND THE BUILDER SHOULD SATISFY THEMSELVES OF ANY ADJUSTMENTS THAT MAY BE NEEDED DUE TO THE ACTUAL FINISHED SITE LEVELS



EXISTING COMMERCIAL PREMISES
35-61 CHARLESTON ROAD, BENDIGO
EXISTING BUILDING (AS AT 22/09/2023)

SITE DEVELOPMENT PLAN (LOT 1 & LOT 2)
REFER TO MP-05 FOR DETAILS

SITE DEVELOPMENT PLAN (LOT 3)
REFER TO MP-06 FOR DETAILS

KENNEDY STREET

CHARLESTON ROAD

EXISTING COMMERCIAL PREMISES
101-115 CHARLESTON ROAD, BENDIGO
EXISTING BUILDING (AS AT 22/09/2023)

EXISTING COMMERCIAL PREMISES
62-104 CHARLESTON ROAD, BENDIGO
EXISTING BUILDING (AS AT 22/09/2023)

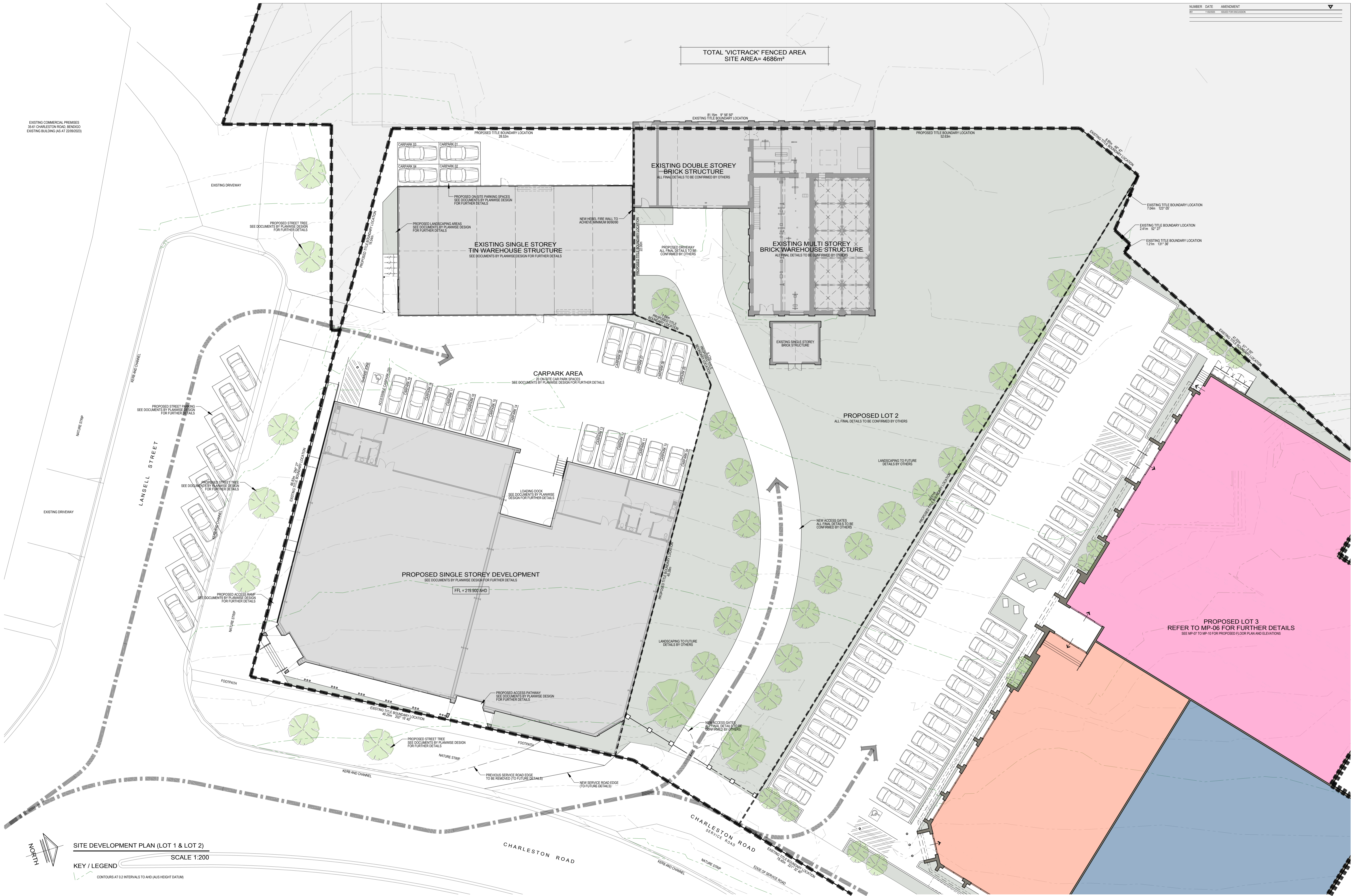
SURVEY DOCUMENTATION

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GEELONG, VICTORIA - BALLARAT
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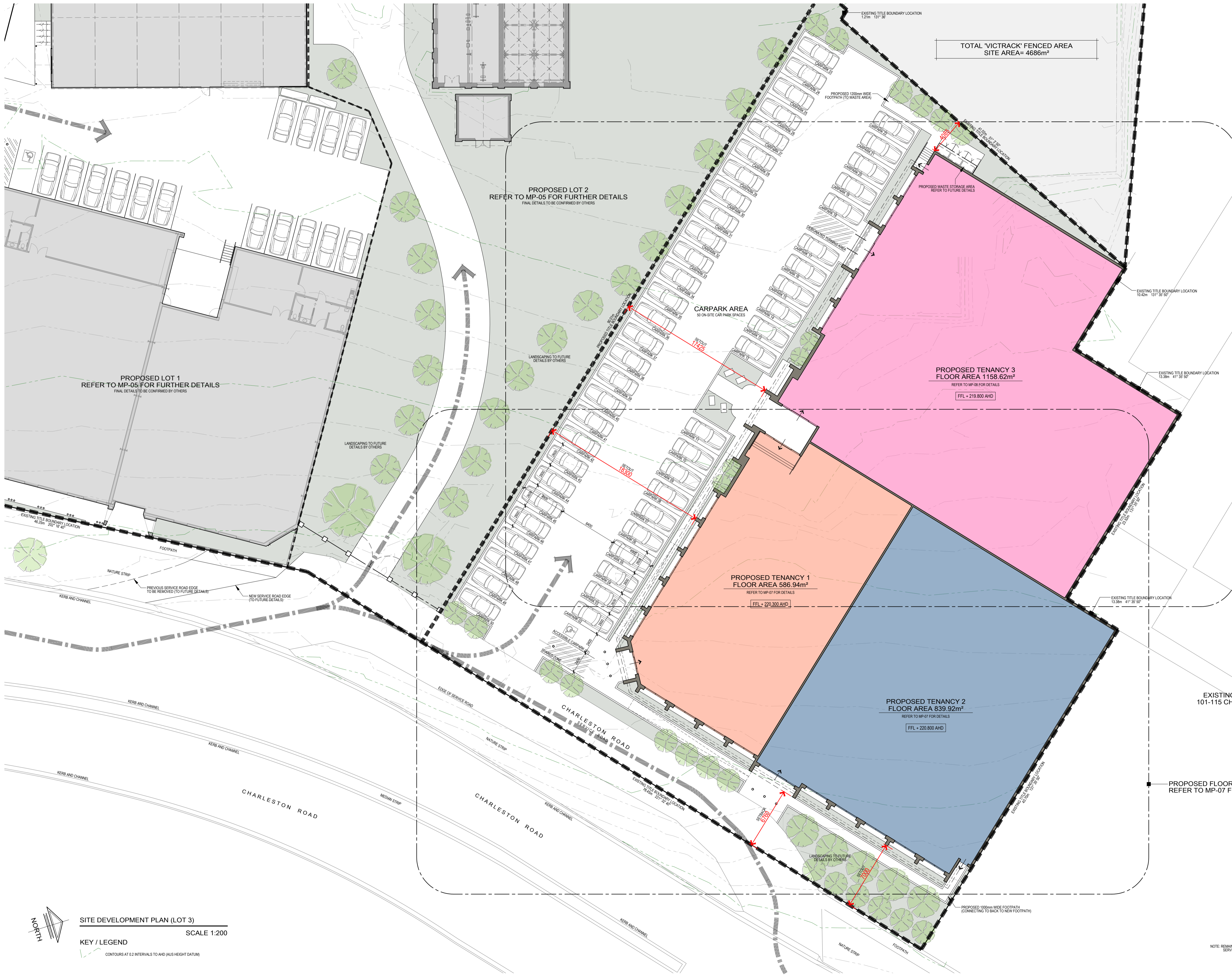
SITE AREA BREAKDOWN

PROPOSED LOT 1 SITE AREA	2814m²
PROPOSED LOT 2 SITE AREA	2816m²
PROPOSED LOT 3 SITE AREA	456m²
TOTAL VICTRACK FENCED AREA	4686m²

PROPOSED MASTER PLAN
SCALE 1:400
KEY / LEGEND
CONTOURS AT 0.2 INTERVALS TO AHD (AUS HEIGHT DATUM)



SITE DEVELOPMENT PLAN (LOT 1 & LOT 2)
SCALE 1:200
KEY / LEGEND
 CONTOURS AT 0.2 INTERVALS TO AHD (AUS HEIGHT DATUM)



PROPOSED FLOOR PLAN (TENANCY 3)
REFER TO MP-08 FOR DETAILS

PROPOSED LOT 1
REFER TO MP-05 FOR FURTHER DETAILS
FINAL DETAILS TO BE CONFIRMED BY OTHERS

PROPOSED LOT 2
REFER TO MP-05 FOR FURTHER DETAILS
FINAL DETAILS TO BE CONFIRMED BY OTHERS

CARPARK AREA
30 ON-SITE CARPARK SPACES

PROPOSED TENANCY 3
FLOOR AREA 1158.62m²
REFER TO MP-08 FOR DETAILS
FFL + 219.800 AHD

PROPOSED TENANCY 1
FLOOR AREA 586.94m²
REFER TO MP-07 FOR DETAILS
FFL + 220.300 AHD

PROPOSED TENANCY 2
FLOOR AREA 839.92m²
REFER TO MP-07 FOR DETAILS
FFL + 220.800 AHD

EXISTING COMMERCIAL PREMISES
101-115 CHARLESTON ROAD, BENDIGO
EXISTING BUILDING (AS AT 22/09/2023)

PROPOSED FLOOR PLAN (TENANCY 1 & 2)
REFER TO MP-07 FOR DETAILS

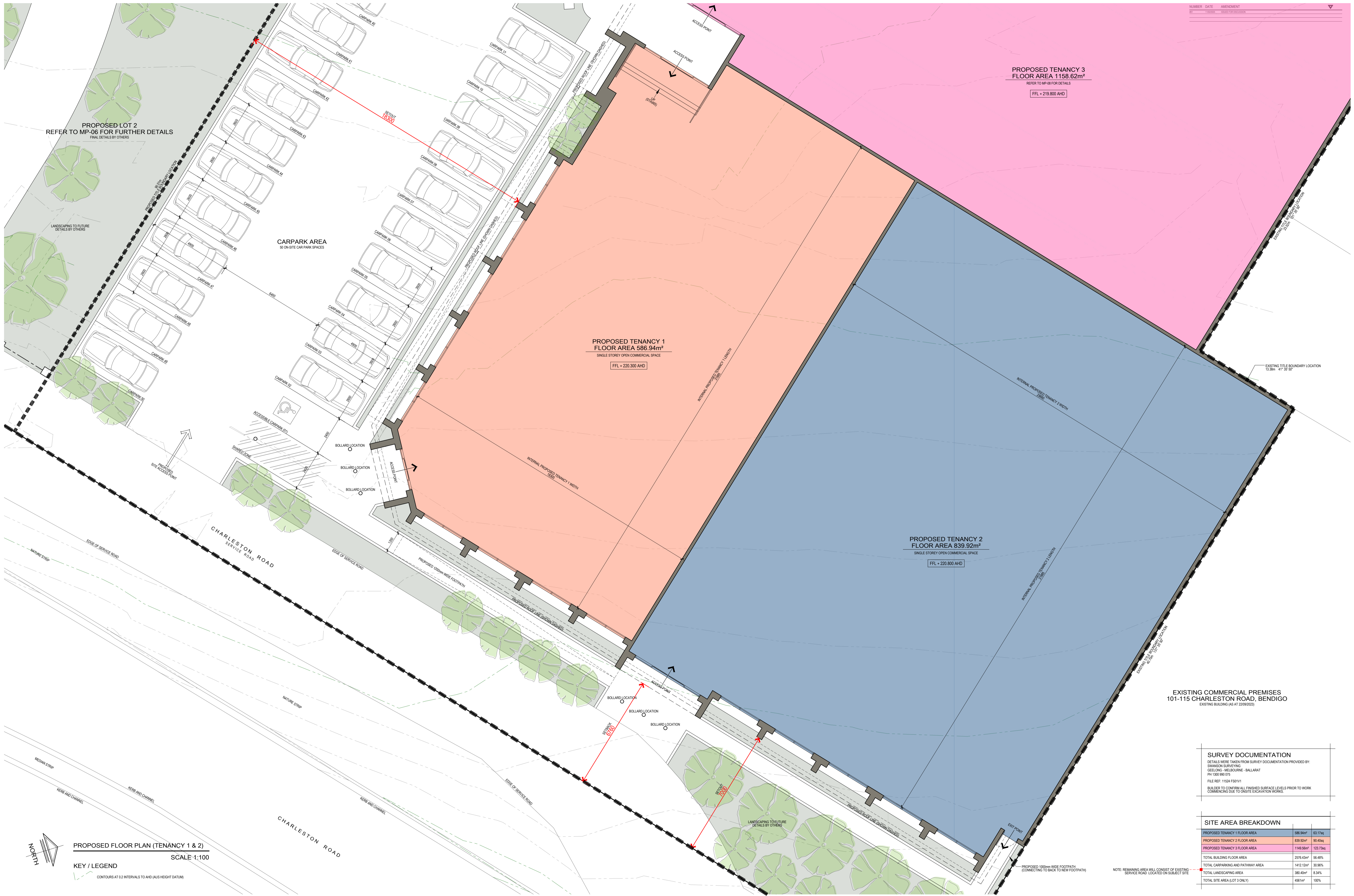
SURVEY DOCUMENTATION
DETAILS WERE TAKEN FROM SURVEY DOCUMENTATION PROVIDED BY:
SWANSON SURVEYING
GEOLOGIC - MELBOURNE - BALLARAT
PH 1300 960 075
FILE REF: 11524 FSD01V1
BUILDER TO CONFIRM ALL FINISHED SURFACE LEVELS PRIOR TO WORK COMMENCING DUE TO ON-SITE EXCAVATION WORKS.

SITE AREA BREAKDOWN		
PROPOSED TENANCY 1 FLOOR AREA	586.94m ²	63.17%
PROPOSED TENANCY 2 FLOOR AREA	839.92m ²	90.40%
PROPOSED TENANCY 3 FLOOR AREA	1158.62m ²	123.73%
TOTAL BUILDING FLOOR AREA	2575.48m ²	56.48%
TOTAL CARPARKING AND PATHWAY AREA	1412.12m ²	30.96%
TOTAL LANDSCAPING AREA	380.40m ²	8.34%
TOTAL SITE AREA (LOT 3 ONLY)	4567m ²	100%

NOTE: REMAINING AREA WILL CONSIST OF EXISTING SERVICE ROAD, LOCATED ON SUBJECT SITE

SITE DEVELOPMENT PLAN (LOT 3)
SCALE 1:200
KEY / LEGEND
CONTOURS AT 0.2 INTERVALS TO AHD (AUS HEIGHT DATUM)

NUMBER	DATE	AMENDMENT
01	1 FEBRUARY 2025	ISSUED FOR DISCUSSION



PROPOSED LOT 2
REFER TO MP-06 FOR FURTHER DETAILS
FINAL DETAILS BY OTHERS

CARPARK AREA
50 ON-SITE CAR PARK SPACES

PROPOSED TENANCY 1
FLOOR AREA 586.94m²
SINGLE STOREY OPEN COMMERCIAL SPACE
FFL + 220.300 AHD

PROPOSED TENANCY 3
FLOOR AREA 1158.62m²
REFER TO MP-06 FOR DETAILS
FFL + 219.800 AHD

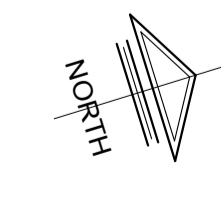
PROPOSED TENANCY 2
FLOOR AREA 839.92m²
SINGLE STOREY OPEN COMMERCIAL SPACE
FFL + 220.800 AHD

EXISTING COMMERCIAL PREMISES
101-115 CHARLESTON ROAD, BENDIGO
EXISTING BUILDING (AS AT 22/09/2023)

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SITE AREA BREAKDOWN		
PROPOSED TENANCY 1 FLOOR AREA	586.94m ²	63.17%
PROPOSED TENANCY 2 FLOOR AREA	839.92m ²	90.40%
PROPOSED TENANCY 3 FLOOR AREA	1149.56m ²	123.73%
TOTAL BUILDING FLOOR AREA	2576.43m ²	56.48%
TOTAL CARPARKS AND PATHWAY AREA	1412.12m ²	30.96%
TOTAL LANDSCAPING AREA	380.42m ²	8.34%
TOTAL SITE AREA (LOT 3 ONLY)	4567m ²	100%

PROPOSED FLOOR PLAN (TENANCY 1 & 2)
SCALE 1:100
KEY / LEGEND
CONTOURS AT 0.2 INTERVALS TO AHD (AUS HEIGHT DATUM)





KEY / LEGEND

CP	CONCRETE TILT PANEL
FB	FACE BRICKWORK
RF	RENDERED WALL FINISH
WD	WINDOW OR DOOR LOCATION
▲	SPOTS LEVELS TO AHD (AUSTRALIAN HEIGHT DATUM)

