



ASPECT
PLANNING SERVICES

Heritage Impact Statement

87 Charleston Road, Bendigo



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1. Summary and project details

1.1. Summary

This heritage impact statement has been prepared to accompany an application to Heritage Victoria for the development of two restricted retail premises at 87 Charleston Rd, Bendigo.

1.2. Project details

Heritage Impact Statement for:

87 Charleston Road, Bendigo

Name of heritage registered place or object Victorian Heritage Register Number:

H2433

This Heritage Impact Statement forms part of a permit application for:

Development of the land for two restricted retail premises

Pre-application meeting number:

P39853 (preliminary feedback from Heritage Victoria is discussed on pages 20 - 23)

Address and location description:

A description of the subject site and the surrounding area is provided overleaf

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Prepared for:

David Bolton – Lakoteh ATF David Bolton Family Trust

Date of HIS:

29/11/2024

2. Significance of the place or object

Prior to considering the significance of the heritage place, an overview of the subject site and the surrounding area is provided as follows:

2.1. The subject site

The subject site is located on the north western corner of Charleston Road and Lansell Street, in Bendigo. It is a commercial / industrial property.

The site is irregular in shape and has a frontage of approximately 40m to Charleston Road (to the east), a frontage of approximately 67m to Lansell Street (to the south) and an overall area of approximately 2590 square metres. The site has a gentle fall to the west.

It contains a large galvanised iron shed which is sited at the west of the property. To the east of the shed is a weigh bridge. Four water tanks are located to the south and west of the shed.

The remainder of the site is vacant of buildings and predominantly paved, with some vegetation at the east of the site.

High chain mesh fencing presents to both frontages of the site.

A wide concrete driveway is located at the centre of the Lansell Street frontage.

Grassed nature strips are located at the south and east of the site, along both street frontages.

2.2. The surrounding area

To the north west of the site, to the immediate north of the shed on the site, is a historic flour mill building. The building is constructed of face brick and is five storeys in height (it comprises four storeys with a fifth storey contained within the steeply pitched roof).

The flour mill building is the primary consideration in this application, in terms of how the proposed buildings relate this building, as they sit in the foreground environs of the flour mill building.

The mill building is sited approximately 4m from the northern side boundary of the subject site and approximately 13m from the existing galvanised iron shed on the subject site.

It is setback approximately 55m from Charleston Road 45m from Lansell Street.

It is built to the west boundary of the property, which is the interface with Vic Track land.

To the north east of the site, is a single storey brick industrial building with a flat roof which is sited close to the Charleston Road frontage. A large concreted area is located between the above mentioned building and the flour mill building.

To the west of the site is a driveway which leads to industrial buildings further north. The driveway is accessed from the west side of Lansell Street.

To the west of this is a railway line and associated Vic Track land. Residential land is located to the west side of the railway line.

Opposite the site to the south is a Mitre Ten (hardware store) building and car park.

Opposite the site to the east is the Bendigo Tafe. The tafe buildings are sited to the north east of the property, with car parking areas to their north and south and a large grassed area containing native vegetation located opposite the subject site.

(Refer Figures 1 – 5 and Photographs 1 - 21)

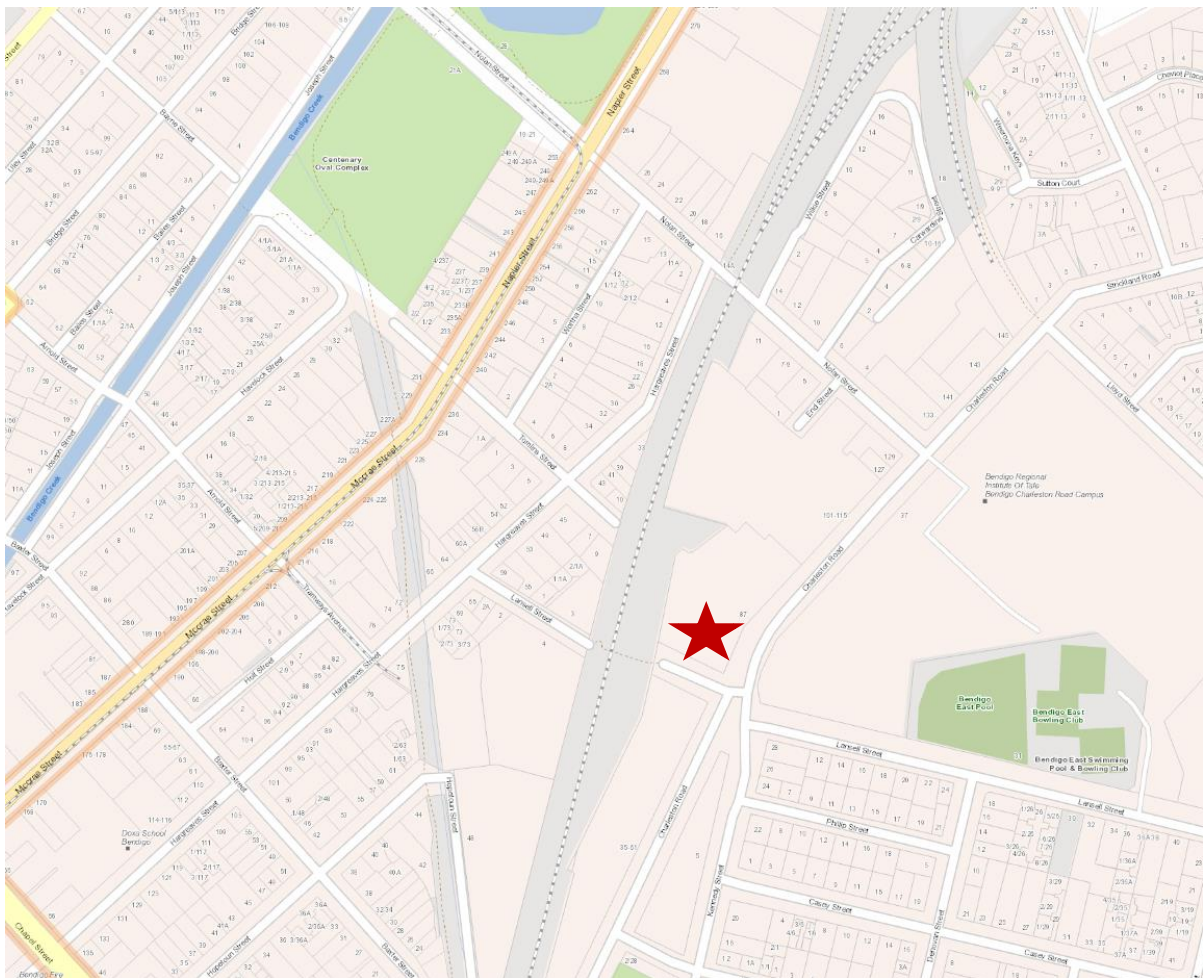


FIGURE 1 – Location Map



FIGURE 2 – Aerial Photograph A



FIGURE 3 – Aerial Photograph B



FIGURE 4 – Aerial Photograph C



FIGURE 5 – Existing Conditions Plan



Photograph 1 – Lansell Street Frontage of the subject site



Photographs 2 & 3 – East and south east views along Lansell Street



Photographs 4 & 5 – Rear entry to the service yard of the opposite commercial premises to the south (Mitre 10)



Photographs 6 & 7 – Entry to the Vic Track land to the west (photo 6) and shed at the rear of the subject site (photo 7) with the adjacent heritage flour mill building in the background



Photographs 8 & 9 – Lansell Street entry to the subject site



Photographs 10 & 11 – Eastern end of the Lansell Street frontage of the subject site



Photograph 12 – Charleston Road frontage of the subject site and surrounding streetscape



Photographs 13 & 14 – West view across the subject site and adjacent land to the north



Photographs 15 & 16 – Existing buildings on the adjoining land to the north of the subject site



Photograph 17 – Opposite land to the east and intersection of Lansell Street and Charleston Road



Photographs 18 & 19 – East views towards the intersection of Lansell Street and Charleston Road



Photographs 20 & 21 – Opposite Mitre Ten building and car park

2.3. The cultural heritage significance of the place or object

The site is a parcel of land which is located to the south of a historic flour mill building. Whilst the site does not contain the flour mill building, it is included in the Heritage Database due to its former inclusion in a larger parcel of land which contained the mill.

The following information is outlined in the Victorian Heritage Database Report for the subject site and the adjoining land to the north:

Statement of Significance

What is significant?

The Tomlins Simmie and Co Flour Mill, a five-storey red brick flour mill designed by John Beebe and constructed by George Davey in 1912 with objects integral, an adjoining gas suction room and engine room (c. 1929), and a timber stables and lorry shed (1912).

The mill building retains significant early features including grain elevators, chutes, hoppers, flywheels, rotating shafts, fireproof doors, internal timber-clad silos, roller mills and an electric motor.

How is it significant?

The Tomlins Simmie and Co Flour Mill is of historical and architectural significance to the State of Victoria. It satisfies the following criterion for inclusion in the Victorian Heritage Register:

Criterion A

Importance to the course, or pattern, of Victoria's cultural history.

Criterion D

Importance in demonstrating the principal characteristics of a class of cultural places and objects

Why is it significant?

The Tomlins Simmie and Co Flour Mill is historically significant for its association with the flour milling industry in Victoria. From the 1830s until the mid-twentieth century, flour milling played a vital role in the health and economy of towns across Victoria. By the 1950s, Victoria was a major international exporter of flour to nations including South Africa, India, and China. Through the retention of key fixtures and machinery, the Tomlins Simmie and Co Flour Mill clearly demonstrates the processes of storing, cleaning, and milling grain. It allows the wheat milling process of the early twentieth century to be better understood than other comparable places in Victoria. It has the additional distinction of being the first electric powered flour mill in Victoria. [Criterion A]

The Tomlins Simmie and Co Flour Mill is architecturally significant as a fine and highly intact example of a twentieth-century flour mill, built in an advantageous setting on the Bendigo-Swan Hill/Echuca railway line. The flour mill building (constructed in 1912) exhibits one of the most intact mill interiors in Victoria, having retained a wide array of fixtures and objects integral including grain elevators, chutes, hoppers, flywheels, rotating shafts, fireproof doors, internal timber-clad silos, early roller mills and electric motor.

The internal layout of the flour mill also reflects the early milling process, with the storage silos concealed behind the windowless portions of the building; grain distribution and cleaning undertaken in the department adjacent to the railway; and the flour milling undertaken in the southern section of the building. Later additions, including the gas suction room and engine room (built c.1929) demonstrate the expanding capabilities of the mill during the early twentieth century. [Criterion D

Heritage Victoria have summarised the significance of the heritage place in their correspondence to David Bolton on 28/6/24 as follows:

Summary

The Tomlins Simmie & Co Flour Mill was included in the Victorian Heritage Register in December 2022 as a place of State significance. The significance of the place relates to:

- **Historical** significance for its association with the flour milling industry in Victoria. Through the retention of key fixtures and machinery, the place clearly demonstrates the processes of storing, cleaning, and milling grain. It has the additional distinction of being the first electric powered flour mill in Victoria.
- **Architectural** significance as a fine and highly intact example of a twentieth-century flour mill, built in an advantageous setting on the Bendigo-Swan Hill/Echuca railway line.

2.4. Existing condition of the place or object

The description of the heritage mill and surrounding environs is provided in section 2.2. above.

The heritage mill building is in good condition but is derelict internally.

The surrounding environs comprise extensive concreted areas to its north, south and south east, with an existing single storey shed building found to its south (within the subject site) and a derelict single storey commercial building to its north east.

The proposal does not create any changes to the place of object (the mill building) as the site is located to the south of the mill building.

2.5. Current use of the place or object

The mill building has been abandoned for some time and is not in use.

2.6. Constraints and opportunities resulting from the significance of the place or object

The subject site is a corner lot which is sited to the south of the heritage mill buildings.

As the mill building is redundant in use but relatively well preserved in terms of its external appearance, an opportunity exists to create a sympathetic contemporary commercial development in the foreground, which can reference the materiality and physical composition of the mill building in the background.

It is important that the built form of the buildings in the foreground (i.e. those currently proposed) are reduced in height in order to preserve views towards the Mill building.

There is also an opportunity to create new buildings in the location of previous buildings that existed at the east of the site, adjacent to the intersection.

Given the face brick composition of the mill building, the use of brick in the façade of any new buildings is considered to be imperative, in order to create a visual connection between the new built forms and the significant heritage fabric to the rear.

It is important that the architectural detailing on the mill is echoed in the new buildings, whilst taking care to avoid replication or mimicking in the design.

Despite the current robust industrial environs and previous industrial history of the site, it was considered appropriate to create a landscaped interface to the street, in order to soften the appearance of the new built form and distinguish between the modern commercial forms in the foreground and the industrial heritage forms in the background.

An important consideration is that the adjacent properties to the north are likely to be developed in the coming years, but no development plans for these properties currently exist. As such, the design must ensure that blank facades are avoided along the north elevation in the event that the adjoining land is not developed for some time.

The design must also be future proofed so that it does not impede the development of adjoining properties.

This can be achieved via the articulation of the northern façade and the creation of vehicle access from Lansell Street, which allows for the continuation of the driveway through to the north, should this ever be required.

This is a consideration given that Charleston Road is a Road Zone and the adjoining properties may experience difficulties from the Department of Transport, should new driveways be proposed from this road.

Finally, the design should ensure that harsh corner interfaces are avoided.

3. The Proposed Works



FIGURE 6 – 3D Perspective of the South Elevation

- The proposal is for the development of two single storey commercial buildings at the east of the site which will be used as restricted retail premises.
- One restricted retail building will be for office supplies and the other restricted retail building will be used as an outdoors and fishing store.
- The buildings are shown as shop 1 and shop 2. Shop 1 is 334 sq.m in size and shop 2 is 369 sq.m in size.
- The existing shed is retained at the west of the site. It is shown as building 3. It is used for storage and administration.
- The restricted retail buildings have frontages to Charleston Road, with extensive glazing along this frontage.
- Shop 1 is setback 1.2m from Lansell Street and 2.5 – 3m from Charleston Road. Shop 2 is setback 1.8 – 3m from Charleston Road.
- Pedestrian access to shop 1 is located adjacent to the corner of the site and pedestrian access to shop 2 is located at the southern end of its frontage.
- A pedestrian path extends along the Lansell Street frontage and the southern side of the Charleston Road frontage.
- To the west of the proposed buildings is a vehicle accessway and car parking area. Additional car parking is provided along the Lansell Street frontage and at the west of the shed.
- A total of 27 car parking spaces are provided, with 18 spaces provided on site and 9 spaces provided along Lansell Street.
- Landscaped areas are provided in the front setback to Charleston Road and in the internal access areas.
- The buildings are constructed of brick, concrete and rendered cladding.
- The buildings are articulated via vertical brick features, horizontal banding and prominent entries comprising batten features. The built form profile of the buildings is reduced via the use of a flat roof.
- The overall height of the development is 6.9m.
- Shop 2 has a splayed corner in order to open up views towards the mill building.
- The northern side elevation of shop 2 is articulated in order to avoid blank facades in the event that the adjoining land to the north is not developed for some time or developed in a manner where this elevation is exposed.
- Signage is proposed in the canopies at the north east and south east corners of the building and in the centre of the Charleston Road façade.

(Refer Figures 6 - 15)

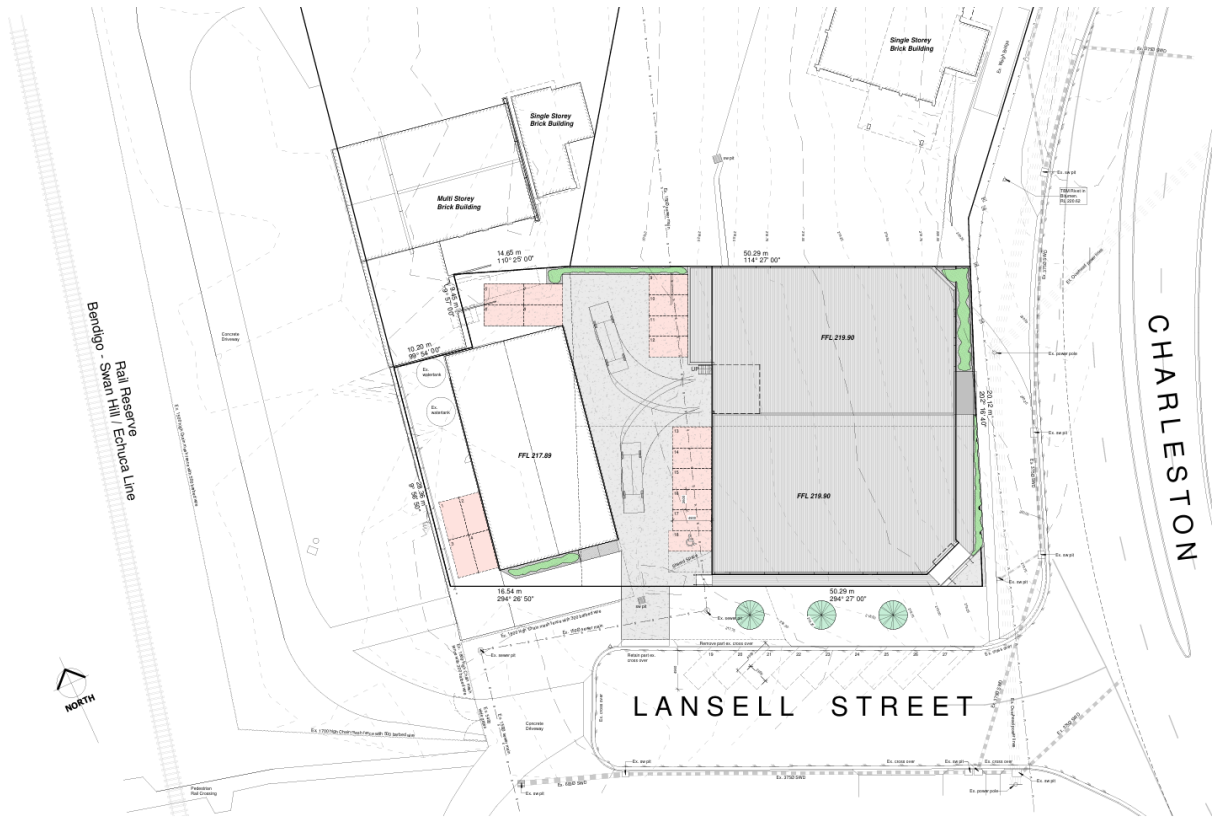


FIGURE 7 – Design Response Plan



FIGURE 8 – Site Plan



FIGURE 9 – South and East Elevations Showing the Adjacent Mill Building

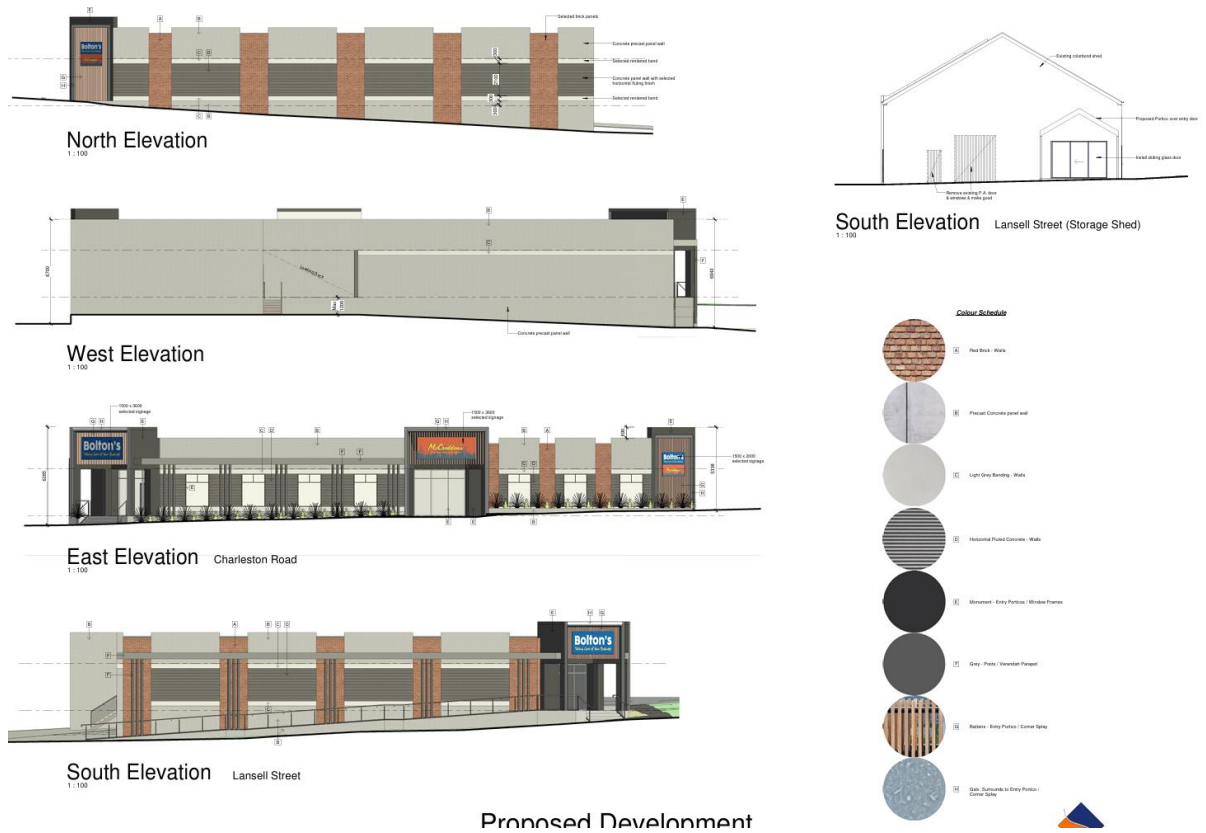


FIGURE 10 – Elevations and Materials Schedule



FIGURE 11 – 3D Elevations



FIGURE 12 – 3D Perspective of the Lansell Street Facade





FIGURES 13 - 15 – 3D Perspectives of the Charleston Road Facade

4. Options considered

The permit applicant has obtained preliminary advice from Heritage Victoria and pre-application meetings with both Council and Heritage Victoria have been undertaken.

The preliminary advice provided was based on a previous revision of the plans, which are shown below. These plans demonstrate that other options that were considered.

The previous design included a more commercial materials palette, a closer setback to Lansell Street, car parking on the road reserve and a sharp north eastern corner.

The previous scheme had a more bland presentation to the Charleston Road, which was offset via the use of rust coloured entry features with angled verandah roofs.

In addition to consulting both authorities, the services of Peter Andrew Barrett – Architectural Conservation Consultant – were engaged. Peter has made a series of suggestions which have been incorporated into the design. These changes are outlined in his accompanying letter.

The incorporation of Council’s Heritage Advisor, Heritage Victoria and Peter Barrett’s advice has achieved a more sympathetic contextual response to the adjacent mill building.

The previous plans are shown below, followed by an analysis of how the proposal ensures that the design requirements of both authorities have been incorporated.



FIGURE 16 – Previous floor plan (pre-app scheme)



FIGURE 17 – Previous elevations (pre-app scheme)

Heritage Victoria Comments:

- A proposal to construct two shops on Lots 2 and 7 collectively could be considered, providing the development:
 - Retains the landmark qualities of the former Mill building, and is respectful of any long public realm views from along Charleston Road, as well as internal short-range views from within the property, i.e. is of single-storey height to allow views through to the Mill building from public vantage points.
 - Includes appropriate setbacks and boundary treatments to Charleston Road and Lansell Street, such as a simple landscaping treatment to soften any new development.
 - Is of a high-quality design and material response to the site, i.e. maintains a simple, industrial form and aesthetic which would complement the existing site character but does not mimic heritage details.
- Is located where historically there was built form. I refer you to [this historic image](#) which shows a caretaker's residence, or similar, historically in the location of existing Lots 2 and 7.

Councils Heritage Advisors Comments:

The proposed development is located in one of the less sensitive areas of the site and will have no direct impact on the heritage significance of the site. The re-use of an existing building is generally supported.

In principle, the new car parking and commercial buildings are appropriately sited away from the significant elements of the site, making use of existing access points and prioritising built form to the edges of the site. The boundary alignment means that the sightlines from Charleston Road to the significant structures are maintained. The single-storey scale is also appropriate, allowing the taller mill building to remain a dominant feature of the site. The new buildings are simple in form and are identifiably new structures. They make use of an industrial materials palette, although there is little sympathy in either forms or materiality with the significant structures of the site. This may be less necessary as the new development moves towards Lansell Street, but should be considered where it is closest to the Mill building. On the whole, though, the proposal is generally appropriate for the setting.

The development responds to this advice, noting that:

- The setback to Lansell Street has been significantly increased.
- The indented car parking spaces on the road reserve have been removed and are now provided along Lansell Street. The grassed nature strip and street tree planting along Lansell Street softens views towards the development from this perspective.
- Landscaping is provided at the end of the accessway and in front of the shed, softening the presentation of the development.
- New street trees are provided along the Charleston Road frontage.
- The materiality of the building has been amended to include face brick, which creates a visual link to the materials of the mill building in the background.
- The use of white render banding is employed, taking a design cue from the lintels above and below the windows on the mill building.
- The north eastern corner is splayed to open up views towards the mill building. This avoids a harsh corner interface and creates a level of balance in the design, with the splayed corner matching the treatment of the south eastern corner of the buildings.
- The northern elevation has been articulated to ensure that it achieves an attractive presentation and includes brick materiality to reference the mill building.

Given the above, the proposal has evolved in a positive way, by incorporating the suggestions of Heritage Victoria and Councils Heritage Advisor into account.

Whilst Heritage Victoria have suggested a gable roof be adopted, this would increase the height of the building and reduce the visibility of the mill building in the background. The 3D images on pages 18 & 19 demonstrate that the flat roof opens up views to the mill.

In relation to the final dot point from the Heritage Victoria advice on page 21, it should be noted that the proposed commercial buildings are located where historically there was built form, as shown in the comparisons of the site plan and the historic image below.



FIGURE 18 – Comparison of the historic built form and proposed built form

5. Information to support an assessment against sections 101(2) and 101(3) of the Heritage Act 2017

Impact of the proposal on the cultural heritage significance of the place or object

What will be the effect on the cultural heritage significance of the registered place or object if the proposal were to be approved [s101(2)(a)]? List the impacts, positive and/or negative of the various aspects of the proposal on the cultural heritage significance of the place or object as set out above.

If the proposal will result in negative impacts, outline the options that were considered, why more sympathetic options were not feasible, justification for the impacts, and mitigation measures proposed. Where adverse impacts cannot be avoided, set out the recommended mitigation, safeguards or other management measures necessary to retain the values of the place as much as possible. If there are detrimental impacts on the cultural heritage significance of the place or object, provide reasons why the proposal should be permitted.

Whilst the subject site is included in the heritage register, the heritage place is located to the north of the site, where the heritage mill building sits in the background. As such, the main effects on the cultural heritage significance of the registered place relate to the siting of buildings in the foreground of the mill building.

This requires consideration of how any new buildings impact on the visibility of the mill building and whether any new buildings are aesthetically compatible with the mill building.

As shown above, whilst the previous options were low in scale and allowed view lines to be maintained, they were not aesthetically compatible. The current proposal creates a more sympathetic design that will contribute positively to the rejuvenation of the site.

The façade incorporates the use of face brick with vertical expression and horizontal render banding. These details echo the materiality and architectural detailing of the mill building.

This design approach achieves an appropriately sympathetic architectural outcome, whilst avoiding the mimicking of the adjacent heritage forms.

Importantly, the northern elevation is well articulated to avoid a blank façade, in the event that the adjoining land to the north remains undeveloped for some time.

The development embraces the prominent corner location of the site by achieving a high level of urban design which contributes positively to the public realm, whilst maintaining views towards the historic heritage mill building to the north west.

The south eastern corner of the building is splayed to embrace the corner of the site and the north eastern corner is splayed to open up views towards the mill building.

Provide reasons why the proposed works should be supported. Reasons must address the matters which the Executive Director is to consider under s101(2) including:

What will be the effect on the reasonable or economic use of the registered place or object if the proposal were to be refused [s101(2)(b)]? Refer to Heritage Victoria's policy *Reasonable or economic use: Relevant matters for the consideration of section 101(2)(b) of the Heritage Act 2017* when providing reasons for support of the proposal.

If the applicant is a public authority what will be the effect on the ability of the public authority to perform a statutory duty specified in the application if the proposal were to be refused [s101(2)(d)].

What other matters relating to the protection and conservation of the registered place or object may be relevant [s101(2)(f)]?

Whilst the site is not on the same land as the mill building, this application has an indirect link to the future use of the mill building and the development of the vacant land to the north.

If this application were to be refused, it would have a negative impact on the use and development of the adjoining land, by creating a perception that the heritage constraints are overly prohibitive.

If the site is not developed and the derelict and austere site conditions remain, this will create a drab and dismal outlook from any new use within the mill building. This would also be counter-productive to any adaptive re-use of the mill building.

As such, it is important that a facilitative and timely approach is taken, so that the owners of the adjacent lots can proceed with similar proposals with certainty and confidence.

The approval of the proposed development would have a positive flow on effect which would encourage the adjacent landowner to put forward a new use of the mill building, where it can accommodate another lifespan and be more widely appreciated.

This principle would also apply to the other vacant sites surrounding the mill.

As such, the vibrancy that the development brings to the surrounding area, both in terms of economic development and physical rejuvenation, is of benefit to the surrounding land.

If the vibrancy, economic development, rejuvenation and streetscape activation is not achieved, this will have a detrimental impact on the re-use of the mill building and the development of the adjacent lots to the north.

Reasons may address the matters which the Executive Director may consider under s101(3) including:

Impacts on adjacent or neighbouring heritage places, or any other relevant matter. This should include assessment of the application against local government heritage policy.

The relevant local government heritage policy is found at Clause 15.03-1L – *Post Contact Heritage Conservation – Greater Bendigo* of the Greater Bendigo Planning Scheme.

The relevant sections of this clause state:

Policy application

This policy applies to all applications for development in the Heritage Overlay.

General strategies

Ensure integration of new development by encouraging design that respects the heritage place through its setting, location, bulk, form, materials and appearance.

General policy guidelines

Consider as relevant:

- *Heritage Design Guidelines (City of Greater Bendigo, September 2020) and any statements of significance.*

Car parking strategies

Support car parking, car accommodation and associated accessways that do not dominate or affect the significance of a heritage place.

Infill development and new building strategies

Support new buildings that do not adversely affect the significance, character or appearance of the heritage precinct, and are visually recessive.

Ensure that the design of new buildings responds to the context of the heritage precinct and nearby contributory buildings including scale, height, mass, form, siting, setbacks and materials.

Ensure that infill buildings in a heritage place or precinct do not detract from the significance or views to adjoining heritage places from the public realm.

Support new development within a heritage precinct that is contemporary in appearance and that does not mimic historic styles or details.

The relevant sections of the Greater Bendigo Heritage Guidelines are shown below:

Infill Development

Objectives

- *To encourage new buildings that do not adversely affect the significance, character or appearance of the heritage precinct and are visually recessive.*
- *To ensure that the design of new buildings responds to the context of the heritage precinct and nearby contributory buildings including scale, height, mass, form, siting, setbacks and materials.*
- *To encourage new development within a heritage precinct that is contemporary in appearance and does not copy historic styles or details.*

Design advice

- *Atypical buildings found in the heritage precinct should not be used as the reference point for new development design; the design approach should be respectful of the dominant characteristics of the precinct.*
- *Views of the principal façade(s) of an adjacent heritage place should not be obscured by new development.*
- *Design should be good quality design that uses the main features of the heritage precinct as a reference point; design that closely imitates, replicates or mimics historic styles is discouraged because it distorts an understanding of the significance of a heritage precinct.*
- *A range of design options from conservative to contemporary to modern is appropriate.*
- *Conservative design may include new buildings which have similar forms, proportions and materials to historic buildings, but they should be simplified and should not include decorative elements such as cast iron lacework, multi-pane windows or patterned brickwork.*

The proposal responds appropriately to the objectives above and on the previous page, noting that:

- The vehicle accessway is located at the side street, at the rear of the buildings, where it will have a recessive presentation to the street.
- The infill buildings are responsive to the context of the nearby heritage building in terms of their scale, height, form, siting setbacks and materials.

- Views towards the mill building from the public realm are retained.
- The development is contemporary in appearance and uses the main features of the mill building as a reference point without copying historic styles.
- The building uses similar materials and proportions as the mill building, however it maintains a simplistic contemporary form.

Setback (front and side)

- *Front setbacks should be consistent the adjoining contributory elements e.g. verandahs should be set back to match adjoining verandahs and facades should be set back to match adjoining front walls.*
- *Where there are different adjoining setbacks, the greater setback will apply.*
- *Where the site does not adjoin a contributory building or adjoins an atypical setback, adopt the setback common for contributory buildings in the streetscape*
- *Adopt the side setbacks which are common thin the heritage precinct*

The aerial photographs on pages 6 & 7 demonstrate that the Mitre Ten building to the south and the single storey commercial building to the north east are sited against or close to their property frontages.

The development will integrate appropriately within this context, as well as the generally robust industrial and commercial environs that surround the site.

Importantly, a landscaped interface to the street is achieved.

Rhythm, orientation to the street

- *New development integrates well into the existing character of the streetscape when it adopts the established spacing between buildings and respects the layout pattern in the heritage precinct.*

The development will integrate with the massing of the surrounding buildings, noting that several of the surrounding properties comprise long horizontal forms.

The buildings are relatively small in size when compared to some of the larger commercial buildings in the area (as shown by the aerial photographs on pages 6 & 7) and a built form break is achieved via the driveway between the new buildings and the existing shed.

Form and massing

- *The overall shape and volume and the arrangement of the parts of any new development should not dominate the Contributory buildings within the heritage precinct.*
- *Roofs should respond to any predominant roof form characteristic of the streetscape including regard for pitch of roofs, ridge height, eaves level and any other predominant detailing in the streetscape*

The development has a flat roof in order to reduce the height and volume of the building, so that it does not dominate the heritage building to the north of the site.

Most buildings in the area have flat roofs and the development will integrate well with this context, whilst maintaining visibility of the mill building.

Height and scale

- *Encourage similar façade heights (roofs and eaves) to the adjoining contributory elements in the street. Where there are differing façade heights, the design should adopt the average height.*
- *Where an infill site contains significant or contributory heritage buildings to be retained, the new development should respect the scale and setting of these heritage buildings whilst also responding to the prevailing building scale of the heritage precinct.*
- *On corner sites and open situations, the overall new building height should not dominate adjoining Contributory buildings when viewed from the footpath directly opposite in both streets or from the open situation e.g. adjoining parks*
- *Where an infill site contains significant or contributory heritage buildings to be retained, the new development should respect the scale and setting of these heritage buildings whilst also responding to the prevailing building scale of the heritage precinct.*

The development has a significantly lower height than the heritage mill building.

The new buildings will integrate with the surrounding built forms, which are generally single storey (apart from the mill building).

As the site is an exposed corner lot, the overall height of the building has been reduced via the flat roof form, with the central and corner detailing protruding above the height of the building to reduce its horizontal massing, but without adding significant additional height or obscuring views to the mill building.

Materials and finishes

- *Materials, textures, colour schemes and finishes should complement and respect the appearance and character of contributory buildings within the streetscape. A mix of sympathetic materials and colours is often good to lessen the impact of a new building.*
- *The colours, textures and extent of materials used for cladding can add an element of continuity between buildings.*

The use of face brick echoes the materials of the mill building and creates a strong visual connection.

The materials palate is contemporary but restrained, with the overall aesthetic being one that will make a positive architectural statement, whilst creating an architectural reference to the mill building.

Window and door openings

- *Window and door openings of new developments should complement the size, proportions, and locations of windows and door openings in the significant buildings in the heritage precinct.*

The window and door openings are reduced to avoid the large expanses of glazing typically found within a commercial setting and are complementary to the proportions of those found on the mill building.

Architectural detailing

- *The use of simple shapes of similar scale, proportions and materials is appropriate, however, the use of traditional details should not confuse an understanding of the historic fabric or significance of the heritage place; new buildings should always be distinguishable as new development.*

The horizontal render banding along both elevations creates an architectural connection to the lintels above and below the windows in the mill building.

Landscaping

- *Landscaping is encouraged to soften and blend new buildings into a heritage precinct.*

New canopy trees will be planted in the nature strips at the site frontage, with low level landscaping provided in the front setback and in the internal driveway area.

Designs in diverse streetscapes

- *Where the heritage precinct's characteristics are diverse, with variations in style, form, materials, scale massing and height, the design parameters may be greater than in consistent areas or streetscapes.*

As there is a degree of variation in the streetscape, this allows for greater parameters of design to be considered.

Given the above, the provisions of Clause 15.03-1L – *Post Contact Heritage Conservation – Greater Bendigo* and the City of Greater Bendigo Heritage Guidelines are satisfied.

It is important to note that Councils heritage advisor is supportive of the proposal as outlined on pages 21 and 22.

Whilst Councils heritage advisor had stated a need for more “sympathy in either forms or materiality with the significant structures on the site” this has been achieved by the subsequent introduction of face brick and the use of render banding, which echo the brick materials and window lintel detailing on the mill building.

6. Conclusion

This document demonstrates that the matters raised during the pre-application meetings with Heritage Victoria and Councils Heritage Advisor have been addressed.

The design is of a high standard and the layout and design of the proposed buildings will set an appropriate benchmark for the undeveloped properties to the north of the site.

Overall, it is submitted that the heritage place can accommodate the degree of change proposed without it impacting on the cultural heritage significance of the adjacent flour mill buildings.

Paul Connolly | DIRECTOR



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