

Heritage Impact Statement

Burlington Terrace, 396 Albert Street East Melbourne –alterations



Acknowledgement of Country

RBA recognises that our conservation practice takes place on Country whose sovereignty has never been ceded. It is land that should be treated with respect. We recognise the First Nations Peoples of Australia and celebrate their continuing cultural practices and Connections to Country.

We acknowledge the Traditional Custodians of the lands on which we live and work, and pay our respect to Elders past, present and emerging. We respect the longstanding environmental and cultural knowledges held by Aboriginal and Torres Strait Islander peoples and the continuum and diversity of Indigenous land management, science and design that endures across Australia.

We are mindful of the role that the built environment held - and still holds - in shaping Country, and we are acutely aware of our responsibility in the heritage sector to unlearn, improve and repair.



Report Register

This report register documents the quality assurance and issue of Stage 3, Heritage Impact Statement as prepared by RBA Architects + Conservation Consultants in compliance with our ISO 9001 certified Quality Management System.

Project No.	Version	Written by	Checked by	Issued to	Date Issued
2026.19	1	KS	AH	Kent Desarmia – Desarmia Projects (on behalf of owner Arthro Health)	13 August 2026



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01 Introduction

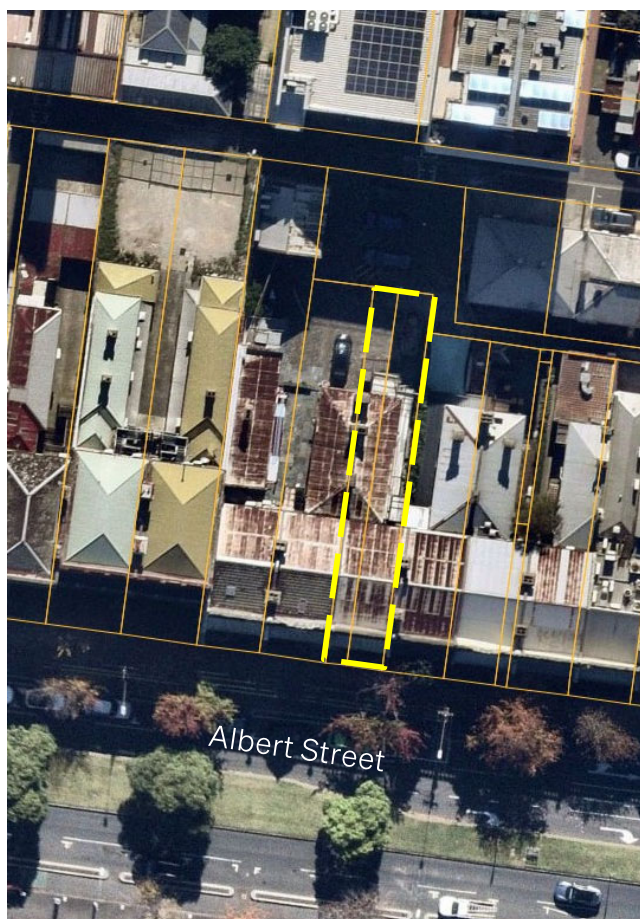


Figure 1: Aerial with subject site indicated (yellow dash) (Nearmap, April 2026)

This report provides an independent assessment of the potential heritage impact of the proposed works on the identified heritage significance of the subject place.

1.1 Project Details

Heritage Impact Statement for:

Burlington Terrace

Victorian Heritage Register Number:

VHR H0797 'Burlington Terrace'

This Heritage Impact Statement forms part of a permit application for:

This Heritage Impact Statement (HIS) has been prepared to accompany a heritage permit application for internal and external works to the terrace house to suit its future use as a medical specialist's consulting rooms and offices.

Pre-application meeting number:

P42316 (on site prior to RBA involvement)

P42546 30 July 2026 (online)

Address and location description:

Burlington Terrace is located at 15-27 Lansdowne Street and 384-400 Albert Street, East Melbourne. The subject property forms part of the terrace group and is located at 396 Albert Street, East Melbourne.

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Prepared for:

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Date: 13 August 2026

1.2 Background

1.2.1 Site Inspection(s)

Site inspections were carried out by RBA representatives on 4 June 2026 and 6 August 2026.

1.2.2 Pre-application Meetings

Initial pre-application advice was provided to the client after a pre-application (**P42316**), which was a meeting on site, prior to the engagement of RBA Architects + Conservation Consultants. Follow up written advice was provided by Heritage Victoria to the client in the form of a letter dated 12 May 2026.

After the engagement of RBA Architects + Conservation Consultants an additional pre-application meeting was requested and held online. This online pre-application meeting (**P42546**) with Heritage Victoria was held on 30 July 2026. The discussion and feedback is summarised as follows:

- An overview of the proposed works was presented.
- Heritage Victoria noted that the proposal appears to be generally 'light touch'.
- Locations of externally mounted air conditioner condensers and fixing should be nominated.
- Signage is to be indicated on the drawings. Signage should be kept to the minimum necessary, suitably placed and not too large, it should not be illuminated.
- Fixing of the atrium to the brickwork should be carefully considered and non-expanding fixings should be used.
- The proposed removal of paint from brickwork is a positive outcome.
- Heritage Victoria confirmed that the works would require a heritage permit.

1.2.3 Additional References

- *The Burra Charter: the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance* (2013),
- *Heritage Victoria Guidance – Principles for change to places in the Victorian Heritage Register* (May 2026),
- *Heritage Victoria Guidance – Reasonable or economic use* (May 2026).

02 Heritage Status + Provisions



Figure 2: Map showing the extent of VHR listing for H0797 (outlined blue) with the subject property indicated with blue dashed line. The boundary of the VHR listing coincides with the boundary of the local heritage overlay for the place H0154. (Source: VicPlan)

2.1 Victorian Heritage Register

Burlington Terrace, at 15-27 Lansdowne Street and 384-400 Albert Street East Melbourne is included on the Victorian Heritage Register as 'Burlington Terrace' (H0797), for its architectural and historical/social significance to the State of Victoria.

Extent of Registration

The extent of the VHR registration is indicated in Figure 3 and includes all of the land outlined in red as L1 and the buildings and structures labelled as follows:

- B1 Terrace Houses
- B2 Toilets
- B3 Terrace Houses
- B4 Terrace Houses
- B5 Wall
- B6 Stables

The subject property falls within the group of terrace houses facing Albert Street and annotated on the plan as B1. The brick wall noted on the plan as 'B5 Wall' at the rear of 396 and 398 Albert Street, no longer exists.

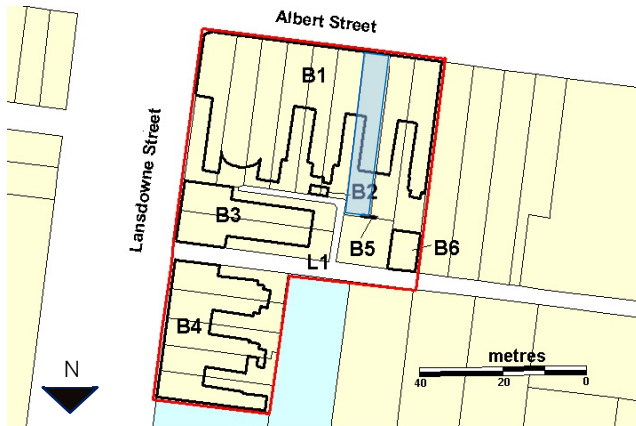


Figure 3: Map showing extent of the VHR listing, and the individual elements, with the subject property shaded blue, note north is down the page in this image. (Source: Victorian Heritage Database with RBA overlay)



Figure 4: Image included in the VHR report for the place, showing the group of three terrace houses at 396-400 Albert Street in 1999, the subject property is on the right. (Victorian Heritage Register)

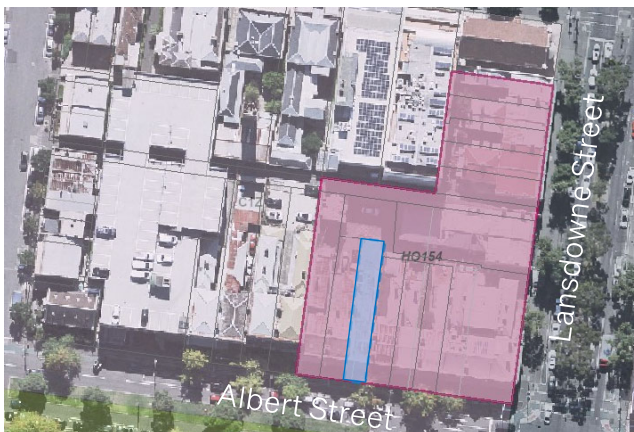


Figure 5: Map showing extent of Heritage Overlay HO154 in the Melbourne Planning Scheme, with the subject property shaded blue. (VicPlan with RBA overlay)

2.1.1 Statement of Significance

The Victorian Heritage Database provides the following Statement of Significance in relation to the VHR listing for Burlington Terrace:

What is significant?

Burlington Terrace is a row of sixteen houses built between 1866 and 1871 to the designs of architect Charles Webb for HP Harris. It was a speculative venture for Harris and he did not live in any part of the terrace. The terrace forms a facade to both Lansdowne Street and Albert Street. Burlington Terrace makes an elegant return with a curved corner at 384 Albert Street. All the houses in the terrace have the same overall classically-derived decorative characteristics. The windows have simple mouldings. A bracketed render cornice runs uninterrupted the full length of the Albert Street facade and returns on Lansdowne Street, curving down at every junction of each group to follow the slope of the ground. A balustraded parapet runs the length of both parts of the terrace. Party walls are elaborately decorated with pressed cement details including elaborate brackets and acanthus leaves on top of each party wall forming the sides of the verandahs. The verandah is a continuous two-storey composite cast iron and timber construction. It contains a small decorative cast iron frieze below a dentillated cornice. Surviving original balustrade panels depict a pair of birds within an intricate foliated pattern. 400 Albert Street has a two storey brick stable block at the rear. The stable has parapeted gable ends and a corrugated iron roof. The pitched courtyard adjacent to the stables, served by the right of way from Lansdowne Street, was a common area for all the houses. At the rear of each property there was originally an outside toilet. The pair of toilets at 19 and 21 Lansdowne Street are excellent examples, as the only two with decorated Dutch gables. In all cases the night soil access has been bricked up. Internally each house in the terrace had identical layouts

How is it significant?

Burlington Terrace is of architectural and social significance to the State of Victoria.

Why is it significant?

Burlington Terrace is architecturally significant as an unusual example of intact terrace housing dating from the 1860s. The terrace is highly unusual for its facade to two streets with an equally unusual curved corner linking the two parts. It is one of the longest terraces in Melbourne and is an important example of the early work of noted architect Charles Webb, the designer of the Windsor Hotel, Melbourne Grammar School and Royal Arcade. The composite construction of the verandah with timber columns and cast iron balustrade panels and frieze demonstrates the evolution of the verandah before the later general use of cast iron.

Burlington Terrace is historically significant for its nineteenth century associations with members of Melbourne's business and Jewish communities who occupied the terrace as tenants. Through the survival of the coach house and the pitched yard at the rear of the terrace, Burlington Terrace demonstrates the communal provision for horse based transport at the rear of nineteenth century terraces.

2.2 Other Listings

2.2.1 Melbourne Planning Scheme

Burlington Terrace is listed as HO154 in the Schedule to the Heritage Overlay in the Melbourne Planning Scheme. The extent of the heritage overlay coincides with that of the VHR listing. In the Schedule to the Heritage Overlay there are no specific controls at the subject site, as it is included on the VHR.

2.2.2 Non-statutory heritage lists

The site is classified by the National Trust (Burlington Terrace, Place ID: B2008). There are no statutory implications associated with this listing.

2.3 Permit Policy

As the subject site is included on the VHR, Heritage Victoria is the responsible authority.

Relevant sections from the following documents are reproduced below.

- Heritage Act 2017
- *Principals for considering change to places in the Victorian Heritage Register* (Heritage Victoria, December 2022)
- *General Permit Exemptions* (Heritage Victoria, August 2024)
- Victorian Heritage Database Report – Burlington Terrace (permit exemption policy; specific permit exemptions)
- General permit exemptions

2.3.1 Heritage Act, 2017¹

The following provisions from Section 101(2) and S101(3) of the Heritage Act (2017) are relevant in relation to determining applications:

- 2) In determining whether to approve an application for a permit, the Executive Director must consider the following—
 - (a) the extent to which the application, if approved, would affect the cultural heritage significance of the registered place or registered object;
 - (b) the extent to which the application, if refused, would affect the reasonable or economic use of the registered place or registered object;
 - (c) any submissions made under section 95 or 100;
 - (e) any matters relating to the protection and conservation of the registered place or registered object that the Executive Director considers relevant.
- (3) In determining whether to approve an application for a permit, the Executive Director may consider—
 - (a) the extent to which the application, if approved, would affect the cultural heritage significance of any adjacent or neighbouring property that is—
 - (i) included in the Heritage Register; or
 - (ii) subject to a heritage requirement or control in the relevant planning scheme; or
 - (b) any other relevant matter.

2.3.2 Supporting principles and guidelines

Heritage Victoria provides guidance for considering change to a place in the Victorian Heritage Register. The document *Principles for considering change to places in the Victorian Heritage Register* (December 2022) provides a basis for sound conservation and management activities based on the Burra Charter.

The main principles as relevant to the proposed works are reproduced below:²

Principles for managing change

There are several best practice principles consistent with the Burra Charter that should be addressed when considering change to a place in the Victorian Heritage Register. While every place is different and every application is assessed on its own merits, the following principles are considered by Heritage Victoria when determining heritage permit applications and

should also be considered by applicants.

Principle 1. Understand why the place is significant

The heritage values and physical characteristics of a place must be clearly understood and articulated before contemplating change. The statement of significance is a useful starting point, but a more thorough analysis is often required.

Principle 2. A cautious approach

In accordance with the Burra Charter, Heritage Victoria supports a cautious approach to change at places in the Victorian Heritage Register: do as much as necessary to care for a place and to make it useable, but otherwise change it as little as possible so that its significance is retained. As stated in Article 15, change may be necessary to retain cultural significance, but is undesirable where it reduces cultural significance. The significance of a place should always be respected.

Principle 3. Protect significant settings and views

Places in the Victorian Heritage Register cannot be separated from the setting and often derive significance from it.

Principle 4. Respectful change and new built form

Once an appropriate level of change has been established, consideration should be given to any new built form proposed as part of that change. The development of new built form should consider:

- Setting
- Scale
- Massing
- Setback
- Architectural style and expression
- Materials and finishes
- Structural and engineering capacity of the place
- Impacts of the building code compliance, seismic strengthening and environmentally sustainable design requirements

Principle 5. Provide for upkeep

The use of a place in the Victorian Heritage Register is important for its ongoing maintenance and retention of its cultural heritage significance. The reasonable use and economic use provision of the Heritage Act helps to determine this but should not be used to justify change which is inappropriate. In determining whether to approve an application for a permit, Heritage Victoria must balance the impacts an approval may have on the cultural heritage significance of a place against the impacts a refusal may have on the reasonable use or economic use of a place.

2.3.3 Burlington Terrace–Permit Exemptions

Permit exemption policy

The following extract outlines the relevant permit exemptions policy for the site, and is included in the VHD listing for Burlington Terrace.

The purpose of the permit exemptions is to allow works that do not impact on the significance of the place to take place without the need for a permit. The main facades, to Albert Street and Lansdowne Street, are integral to the significance of the buildings and should be preserved with alterations, including painting, subject to permit application.

Original internal layouts have been preserved in most of the houses and therefore the hierarchy of the original internal space can still be clearly understood. Structural internal

¹ Heritage Act, 2017 S101(2), S101(3) p109-110

² Heritage Victoria, Principles for Considering Changes to Places in the Victorian Heritage Register, December 2022, p3

alterations will require a permit.

The external area to the rear of the terrace, including the pitched courtyard and stables and surviving toilets, are substantially intact and permits should be obtained for all alterations.

Specific permit exemptions

Specific permit exemptions are included in the VHR listing for Burlington Terrace. The specific exemptions and the conditions they are subject to, are outlined below:

General Conditions:

1. All exempted alterations are to be planned and carried out in a manner which prevents damage to the fabric of the registered place or object.
2. Should it become apparent during further inspection or the carrying out of alterations that original or previously hidden or inaccessible details of the place or object are revealed which relate to the significance of the place or object, then the exemption covering such alteration shall cease and the Executive Director shall be notified as soon as possible.
3. If there is a conservation policy and plan approved by the Executive Director, all works shall be in accordance with it.
4. Nothing in this declaration prevents the Executive Director from amending or rescinding all or any of the permit exemptions.

Nothing in this declaration exempts owners or their agents from the responsibility to seek relevant planning or building permits from the responsible authority where applicable.

Exterior

- Minor repairs and maintenance which replace like with like.
- * Removal of extraneous items such as air conditioners, pipe work, ducting, wiring, signage, antennae, aerials etc, and making good.
- * Installation or repair of damp-proofing by either injection method or grouted pocket method

Interior

- Painting of previously painted walls and ceilings provided that preparation or painting does not remove evidence of the original paint or other decorative scheme.
- * Removal of paint from originally unpainted or oiled joinery, doors, architraves, skirtings and decorative strapping.
- * Installation, removal or replacement of carpets and/or flexible floor coverings.
- * Installation, removal or replacement of curtain track, rods, blinds and other window dressings.
- * Installation, removal or replacement of hooks, nails and other devices for the hanging of mirrors, paintings and other wall mounted artworks.
- * Refurbishment of bathrooms, toilets and or en suites including removal, installation or replacement of sanitary fixtures and associated piping, mirrors, wall and floor coverings.
- * Installation, removal or replacement of kitchen benches and fixtures including sinks, stoves, ovens, refrigerators, dishwashers etc and associated plumbing and wiring.
- * Installation, removal or replacement of ducted, hydronic or concealed radiant type heating provided that the installation does not damage existing skirtings and architraves and provided that the location of the heating unit is concealed from view.
- * Installation, removal or replacement of electrical wiring provided that all new wiring is fully concealed and any original light switches, pull cords, push buttons or power outlets are retained in-situ. Note: if wiring original to the place was carried in timber conduits then the conduits should remain in-situ.
- * Installation, removal or replacement of bulk insulation in the roof space.
- * Installation, removal or replacement of smoke detectors.
- * Installation, removal or replacement of grilles, bars and security locks to doors and windows

General permit exemptions

General exemptions apply to all places and objects included in the Victorian Heritage Register (VHR). General exemptions have been designed to allow everyday activities, maintenance and changes, which don't harm the cultural heritage significance, to proceed without the need to obtain approvals under the Heritage Act 2017.

Relevant general permit exemptions can be found in the *General Permit Exemptions* document (Heritage Victoria, 2024), which identifies general exemptions that may apply to Burlington Terrace, however only if they are relevant to entirety of the proposed works.³

³ General Permit Exemptions, August 2024, p17

03 The Place



Figure 6: Detail from a 1866 panoramic view of Melbourne, showing the site on the corner of Lansdowne and Albert Streets as a reserve. Approximate location of the subject property indicated with yellow star (Source: SLV, Henry de Gruchy & Stephen Leigh)

3.1 Place History

3.1.1 Pre-Contact History

The subject site is located on Wurundjeri Woi-wurrung Country. The Wurundjeri Woi-wurrung People have an unbroken relationship with their Country which extends north to the Great Dividing Range and beyond, west to the Werribee River, south to Mordialloc Creek, and east to Mount Baw Baw.

The Wurundjeri Woi-wurrung People have lived on their traditional lands and cared Wurundjeri Woi-wurrung Country over many thousands of years. The Registered Aboriginal Party is the Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation.

For further information, visit:

<https://www.wurundjeri.com.au/>.

3.1.2 East Melbourne

The original survey of East Melbourne allowed for much of the suburb to be put aside for public purposes and religious institutions. The land bounded by Albert Street, Victoria Parade, Gisborne Street and Lansdowne Street was originally reserved for a Reservoir, with a water tower indicated towards the corner of Victoria Parade and Gisborne Street.⁴

The land on the north-west corner of Albert and Lansdowne streets, being allotments 12, 13, 14, 15 and 16 was originally granted to an owner by the name of Petty (Figure 8).

To the north of this, allotments 10 and 11, with frontage to Lansdowne Street were purchased by H P Harris for four hundred and fifty pounds and ten shillings each in September 1866. Harris must have subsequently also purchased Petty's allotments, facing Albert Street, for the construction of Burlington Terrace.

⁴ PROV Historic Plan Collection, VPRS 8168/P0002, SydneyM42, Melbourne East, 1854;



Figure 7: An 1850 survey plan of East Melbourne showing the approximate location of the subject site (yellow star) in a government reserve. (PROV VPRS8168/P0002)

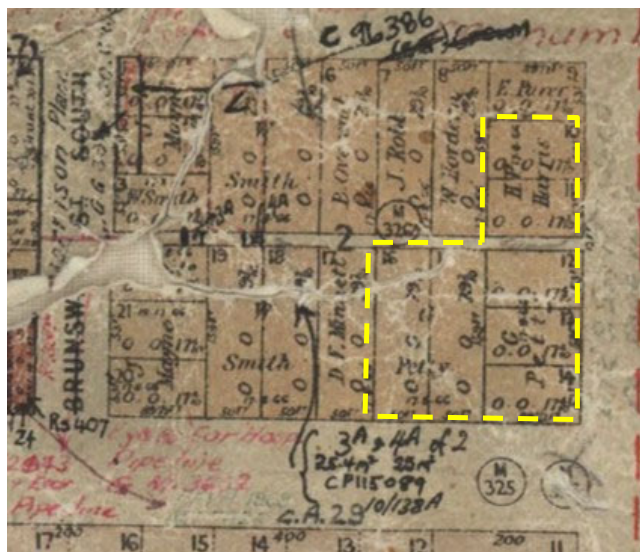


Figure 8: Parish Plan with allotments owned by Petty on the north west corner of Albert and Lansdowne Streets, and allotment 10 and 11 owned by HP Harris, outlined in yellow dashed line (Parish Plan, VPRS16171, PROV)

3.1.3 Burlington Terrace

Burlington Terrace consists of sixteen houses constructed as a speculative venture, for H P Harris between 1866 and 1871, to a design by noted architect Charles Webb. The terrace fronts both Albert Street and Lansdowne Street, with a curved façade at the intersection. It is one of the longest extant terraces in Melbourne.

The house at 1 Burlington Terrace (now 400 Albert Street) was originally the home of H P Harris and his family, who owned the property until 1920.

The terrace group was originally numbered 1–9 Burlington Terrace on the Albert Street side, and 10–16 on the Lansdowne Street side. The subject property, 396 Albert Street, was initially identified as 3 Burlington Terrace, East Melbourne.

Directories show that the Burlington Terrace houses on the Albert Street side were occupied by 1868. They are an early example of a two storeyed verandah, and use of timber posts in combination with cast iron.

Burlington Terrace has associations with prominent people business owners including Frank B Clapp (who established the Melbourne Omnibus Company) and Maurice Brodzky and prominent members of the Jewish community including Rabbi Reverend Dr Jos Abrahams, who occupied various houses within the terrace group.

The first occupants no. 396 (previously known as 3 Burlington Terrace) include:⁵

- George T Bald (1868-1871),
- Lewis (Louis) Solomon (1872-1880),
- Miss Isabella Brown (1881-1882),
- Alfred Levi (1884-1885),
- Dr Brownless (1890-1892).

In 1871, in preparation for his departure, newspapers reported an auction sale to be held at 3 Burlington Terrace of the contents of G T Bald Esquire's residence. This included an elegant walnut drawing room suite, a mahogany dining room suite, Brussels carpets and rugs, curtains with brass poles, artworks, oak bedroom suites and kitchen equipment.⁶

Charles Webb placed tenders in the *Argus* during March 1875 and again in February 1881 for repairs and painting of Burlington Terrace.⁷

In 1882, the contents of the residence of the late Miss Isabella Brown were auctioned, this included 'elegant and superior household furniture' and a piano.⁸

From the late 1800s onwards, the tenancy of 396 Albert Street changed with regularity.

⁵ Sands & McDougall directories, East Melbourne, 1868-1892

⁶ *Argus*, 31 January 1871, p3

⁷ Victorian Heritage Database Report, Burlington Terrace, March 2000

⁸ *Argus*, 10 April 1882, p2

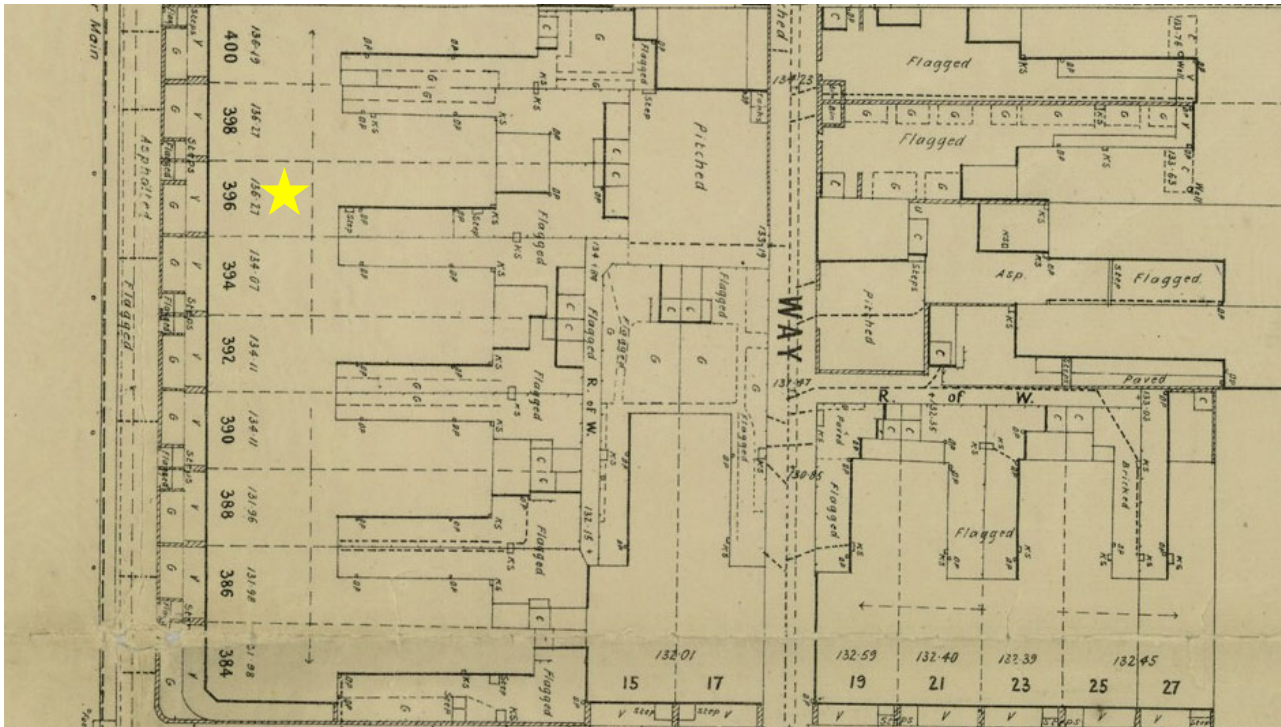


Figure 9: 1899, MMBW plan showing the subject site in the terrace row, location indicated by star (MMBW, detail plan no. 1028, 1029, 1036 & 1040, SLV)



Figure 10: Detail of a 1942 aerial showing the subject site (arrow) in relation to the terrace group (dashed) (Geoscience Australia, Map 1820, run 15, frame 72333)



Figure 11: 1963 view, showing the subject property indicated by arrow (Photographer: Mark Strizic; SLV Accession No. H2011.55/1450)



Figure 12: 1975 view, the subject property is on the right of the group of three (Source: State Library Victoria, H95.200/707)

3.1.4 Terrace houses

The first terraces built in Melbourne were constructed by the 1840s, with the earliest known surviving terraces dating from the early and mid-1850s. These early terraces were designed in a variety of conservative classical idioms and are noted as being of interest for the development of their floor plans.

The construction of terrace dwellings became more prolific in the 1860s and 1870s, their styles varying from relatively austere, through to highly ornamented. The use of cast iron for the decoration of verandahs can be traced to this period of development.

Terrace houses are characterised by their shared party walls, identical or mirrored floor plans, and repetitive facades. Rear pitched or flagged laneways provided access to services and for the removal of waste, with outbuildings at the rear including laundries and toilets.

3.1.5 Architect Charles Webb

Charles Webb (1821-1898), who designed Burlington Terrace, was the son of a builder, born in Suffolk, England, where he studied under architect Thomas Allom. He emigrated to Australia in 1849 and entered into partnership with his brother James, one of their early buildings was Mac's Hotel.

Between 1854 and 1858 Webb was in partnership with Thomas Taylor, during which time they designed numerous churches in the Gothic Revival style.

From 1858 -1888 during his time in sole practice, Charles Webb designed many of Melbourne's important buildings including nearby Tasma Terrace (1878), the Grand (later Windsor) Hotel (1883-4), Royal Arcade (1869), Wesley College Prahran (1864), Mandeville Hall in Toorak (1876) and the South Melbourne Town Hall (1878).⁹

⁹

Goad and Willis, *Australian Architecture*, Melbourne 2012, p757

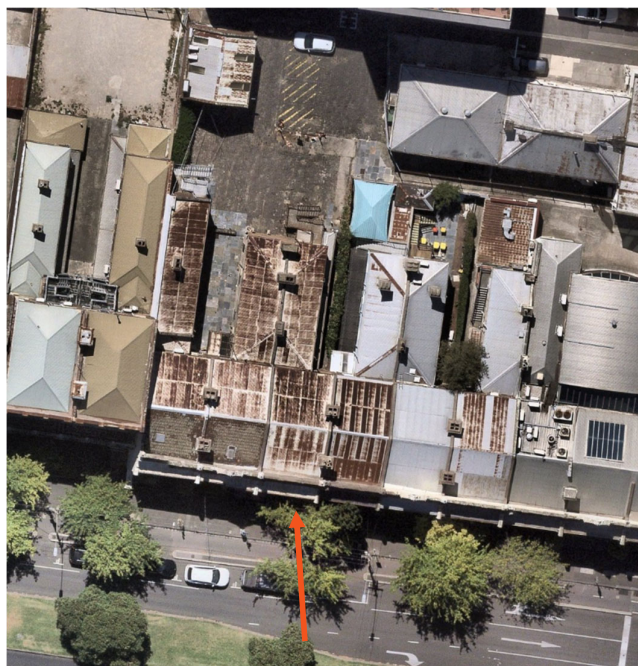


Figure 13: Aerial view showing the subject site in the terrace row, location indicated by arrow (Nearmap, 14 February 2026)



Figure 14: Street view, showing the subject property location indicated by arrow (RBA 6 August 2026)

3.2 Site

396 Albert Street, East Melbourne, the subject property, is part of the terrace group of sixteen two storey Victorian era houses known as Burlington Terrace which wraps around the corner from Albert Street into Lansdowne Street. The terrace houses fronting Albert Street are arranged in three groups of three, are demarcated by their balustraded parapets which step down towards the east, each with a central pediment, and decorated with regularly placed urns. All have a front verandah and balcony (some reconstructed, however the subject site retains its original verandah).

The easternmost group on the corner of Lansdowne Street and Albert Street has a curved corner treatment. The central group of three includes a parapet which incorporates a panel with the words 'BURLINGTON TERRACE 1867'. The westernmost group of three incorporates a pediment with swags and a cartouche.

The subject property is the third house from the right in the westernmost group (Figure 13).

3.3 Place description

Exterior

396 Albert Street, East Melbourne is a two-storey brick Victorian era terrace house positioned on the east/right-hand end of a group of three (and the westernmost group of Burlington Terrace). The terrace houses in this group all share the same design details, including rendered façade, a balustraded parapet and are separated by party walls adorned with cast enrichments including lions' heads, scrolls and floral motifs.

The original cast iron palisade fence on a basalt plinth marks the front boundary and incorporates a pedestrian gate. The stair and verandah deck are not original fabric and have a concrete finish.

The front wing has a gable roof, concealed by the parapet, and the rear wing has a half-hip form. There are two brick chimneys to each wing. The roof was recently re-sheeted under a separate heritage permit (not part of this scope of work or advice). The verandah is supported on timber posts with curved brackets. The upper balcony is also timber-framed however with a cast iron balustrade and frieze.

The main front façade is rendered and is arranged symmetrically. The principal windows have timber framed sashes and are defined by profiled architraves and are fitted with security grilles. Above the original four panelled timber door is a highlight window.

The building is approached from the rear by an unnamed pitched laneway. The brickwork of the rear return wing of the building is overpainted. The paint is degraded at the upper levels (brown colour) and more recent along the lower level of the eastern elevation (off white colour).

The MMBW plan and 1942 aerials show an earlier single storey configuration at the rear (no longer extant). A small brick, circa mid-20th century addition with a toilet is appended at the rear below a late 20th century external metal fire escape stair.

A sideway paved in basalt flagstones extends along the eastern side of the rear wing, adjacent to a raised concreted plinth (walkway) with a single slate step. Several doors and windows penetrate this side elevation, with original lintels having brick voussoirs and non-original lintels being concrete (all painted). An original rear doorway at the south end of the east wing (identified on the MMBW plan) has been partially bricked in to create a window. There is a non-original rear door on the northern elevation of the front wing leading into the sideway.



Figure 15: Side (east) elevation at rear of the property (RBA 6 August 2026)



Figure 16: Rear view of the property (RBA 5 June 2026)



Figure 17: Overpainted brickwork with voussoir over doorway (RBA 6 August 2026)

There is a timber member and penetrations into the brickwork along the side elevation where it appears an awning or lean-to structure has been removed. Below this is the overpainted brickwork in an off white colour, and above is overpainted brickwork in a brown colour.

Interior

Internally, the building shares a similar footprint with others in the row, and the plan and arrangement of rooms is largely intact, particularly the principal rooms at the front on the ground and first floors.

The entrance hallway with a plaster corbelled archway, leads to the main staircase. Accessed off the right of the hallway are the two front rooms, which would have constituted the main reception/lounge rooms of the residence.

At the rear incorporated into the rear wing are a series of rooms, the layout of which appears to have been altered over the years. Similarly, upstairs, there are two large front rooms and smaller rooms in the rear wing, which have had plaster ceilings removed. The original timber staircase remains intact and has turned timber balusters. The stringer is shaped at the sides with curlicues.

Original features remain throughout the interior on both levels. The building retains original plaster walls and ceilings (although some removed), plaster ceiling roses, deep profile cornices, timber floorboards, high timber skirtings, four-panelled timber doors and timber architraves, wall vents, plaster scrolls and marble fireplace surrounds and slate stone hearths. Original windows throughout are generally the timber framed sash variety. There are a few non-original doors also (panelled or flush), generally with upper glazing. Four rooms retain marble fireplaces and some have slate hearths.

3.4 Constraints and Opportunities

Burlington Terrace was designed by one of Melbourne's most notable architects. This presents an opportunity to acknowledge and respect this in the adaptation of the place as medical consulting suites as an impressive place which reflects the State level significance of the place and shares this with visitors, staff and patients.

The exterior and interior of the building are significant. The original external fabric, form and architectural details of the building and its setting are important characteristics.

The main façade as part of a terrace group, is of primary significance, the rear and side elevations of the building and any original fabric is also significant. Important internal features including floorboards, skirting boards and architraves, decorative plaster details, fireplaces and mantles and the arrangement of rooms presents both opportunity and constraint in relation to the development of the proposal.

RBA have provided the project team with early and iterative heritage advice in the form of a memorandum which outlined the history and significance of the place, and highlighted the constraints and opportunities relating to the proposed works. The project design team has reviewed the opportunities and constraints outlined in the heritage advice memorandum in the development of the documentation.

RBA provided iterative heritage advice in the form of comments on drawings and design details as they were developed, and helped the project team by identifying significant fabric.



Figure 18: Marble fireplace surround ground floor (RBA 5 June 2026)



Figure 19: Ground floor hallway with arch (RBA 5 June 2026)



Figure 20: First floor windows with original skirtings and architraves (RBA 5 June 2026)

Constraints relating to the significance of the place include the careful design and detailing of the works in a way that retains and respects heritage fabric while balancing the need to create a functional office and consulting suites. With advice from RBA, the project design team has been able to highlight and retain heritage fabric, and recognise it as an integral part of the design.

The opportunity to maintain an understanding of the original configuration of rooms, has been embraced by designing a layout which takes advantage of existing walls and room relationships wherever practical. Original internal layouts remain largely intact so that the hierarchy of internal spaces can be clearly understood.

The project team also acknowledge the opportunity to incorporate conservation works into the scheme. This includes paint removal from overpainted brickwork at the rear and removing redundant services.

There is an opportunity to improve the presentation of the interior. This includes painting of previously painted surfaces, cleaning of fire places and removal of redundant (non-original) fixtures such as gas heaters. There are some constraints in relation to the installation of floor finishes, which can be carefully carried out by incorporating a separating layer between the original floor boards and new floor finishes.

With a new audience, there is opportunity for forms of interpretation to be incorporated into the fitout, including images or information which help to convey the history and significance of Burlington Terrace to visitors. These could potentially be located in the front waiting room, for maximum visibility.

Constraints in relation to providing accessibility were identified early in the design process by the project team, including whether ramps, chair lifts and door widening was required. The design team was able to negotiate an alternative approach to accessibility which reduces the need for door widening and impact to heritage fabric.

3.5 Current use

The building is currently unoccupied. The original use was residential, and its most recent use was as part of the archives office of the Catholic Archdiocese, before being sold to the current owner.



Figure 21: Front elevation, ground floor (RBA 6 August 2026)



Figure 22: Front garden (signage location) (RBA 6 August 2026)



Figure 23: Rear wing, east elevation (RBA 6 August 2026)



Figure 24: Rear, slate flagstones along sideways (RBA 6 August 2026)



Figure 25: Rear wing, north end (RBA 6 August 2026)



Figure 26: Rear, north end (RBA 4 June 2026)



Figure 27: Ground floor, front room to hallway with original door (RBA 4 June 2026)



Figure 28: Ground floor, front room fireplace (RBA 4 June 2026)



Figure 29: Ground floor, second room fireplace and non-original door (RBA 4 June 2026)



Figure 30: Stair from hallway (RBA 4 June 2026)



Figure 31: First floor, front room (RBA 4 June 2026)



Figure 32: First floor, landing of front wing (RBA 4 June 2026)



Figure 33: First floor room example of non-original door (RBA 12 May 2026)



Figure 34: First floor, front wing original fireplace (RBA 12 May 2026)



Figure 35: First floor, front wing, rear room note elaborate architrave moulding (RBA 12 May 2026)



Figure 36: First floor, rear wing, (RBA 12 May 2026)

04 The Proposal

4.1 Proposed activity

The design proposal for the alterations at 396 Albert Street has been prepared by Studio C + E architects. The proposal is outlined in the set of architectural drawings noted as Construction issue C and dated August 2026 (refer Appendix A).

Generally, the proposed works seek to adaptively reuse the existing terrace house for the purpose of medical consulting rooms. The facilities are required to be suitable for use by staff and visitors and will incorporate a waiting room, consulting rooms, staff offices and amenities including kitchens, laundry and bathrooms. A covered atrium is proposed to the rear along the side walkway, to provide a sheltered passage to the consulting rooms located in the rear wing. Access will be maintained through the front entrance and at the rear.

The spatial layout and general arrangement of rooms on the ground floor will be retained, and converted to consulting rooms and a waiting room, with a new accessible toilet within the rear wing. The arrangement of rooms on the upper level will generally be retained, with the consolidation of two rooms into one large space, at the back of the rear wing. First floor rooms are intended to be used by staff only.

The proposed changes to the building are indicated on the plans provided and are summarised as follows.

Demolition

Demolition has been kept to the minimum required to facilitate the adaptation of the building to suit its new purpose as a medical consulting practice. The proposed demolition includes:

- Removal of a section of the internal wall to the front room on the ground floor to create a large archway,
- Removal of redundant services and light fittings,
- Removal of a section of original brickwork at the rear on the eastern elevation and a non-original window to create a new doorway,
- Demolition of part of the wall of the non-original

bathroom at the rear,

- Removal of rear gate,
- Removal of some internal and external doors to create openings or to be replaced,
- Removal of security bars from windows at rear

Internal works

- Internal fitout works, including painting, new joinery, new toilets and kitchens, to provide suitable consulting rooms, waiting room and staff amenities,
- Installation of new floor finishes over existing floorboards,
- Upgrade of services including electrical, lighting, air conditioning and plumbing, including mechanical ductwork,
- Cleaning and conservation of fireplaces (removal of redundant gas/electric heater insert),
- Installation of air conditioning units on internal walls,
- Installation of plasterboard ceilings on first floor.

External works

- Installation of new steps and automatic sliding door at rear,
- Installation of concrete slab to create wider walkway, over the top of existing slate flagstones,
- Installation of new glass and steel framed covered canopy – attached to external brickwork,
- Installation of air conditioning condenser units to external face of brick walls of rear wing and penetrations for ducting,
- Installation of signage including a sign plate and large 'sculptural' numbers in front garden as wayfinding.

Conservation works:

- Removal of paint from external brickwork at rear (after testing),
- Cleaning of fireplaces, mantles and surrounds,
- Repair of damage to brickwork from previous fixings

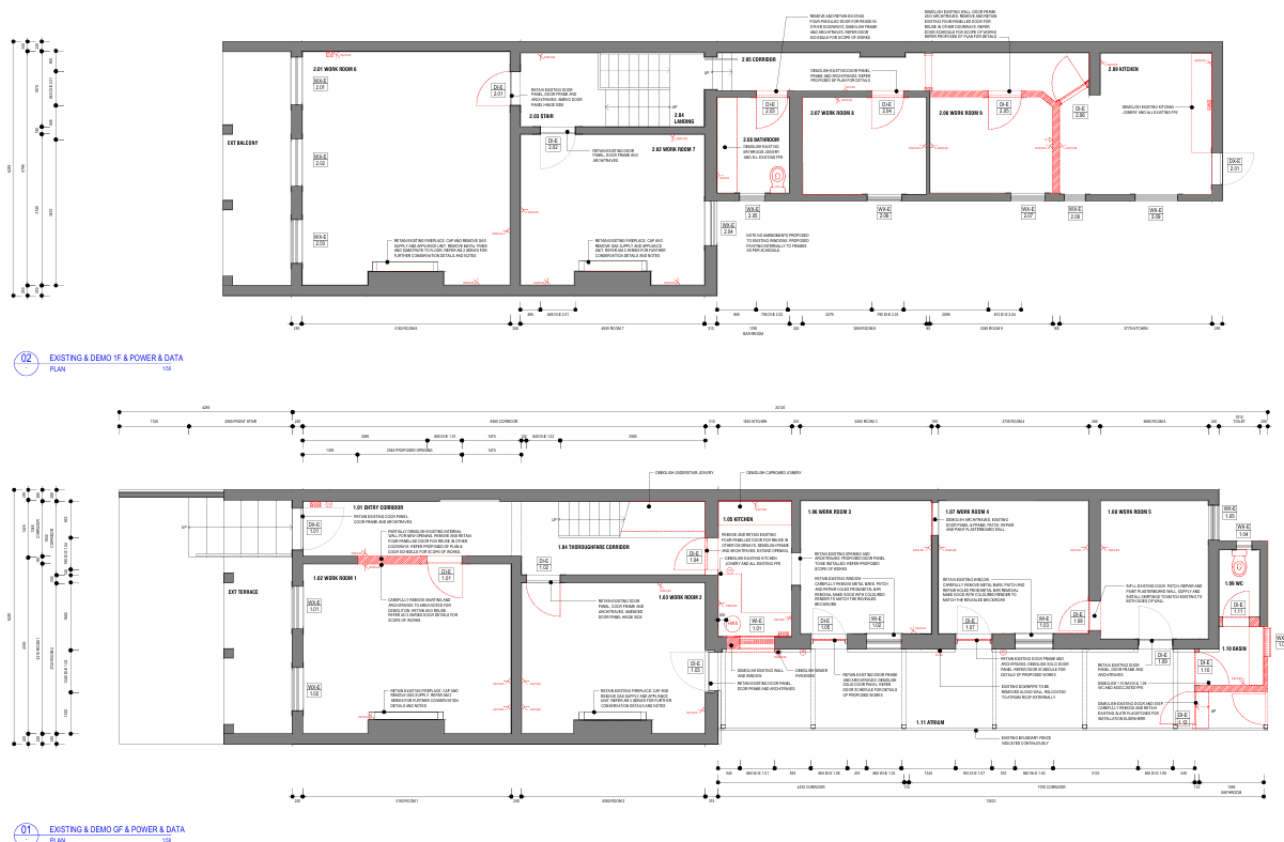


Figure 37: Drawing AE 1.01 indicates the main areas of proposed demolition to ground and first floor, shown in red (Studio C + E)

4.2 Reasons for the activity and options considered

The reason for the proposed works is to convert the building for use as a medical specialists consulting rooms and offices. The upgrade works are required to improve the facilities for staff and for the provision of services, and to improve the condition of the building for this purpose.

Do nothing

The option to do nothing to the place would not be appropriate, as a certain level of intervention is required to adapt the building to suit its new use as medical consulting suites. The proposed works also provide the opportunity to improve the level of presentation of the building and incorporate conservation works.

Alternative schemes

Earlier schemes being developed were aiming for full DDA accessibility, however due to site constraints, including change in level and the cobbled laneway, the client held discussions with access consultants and building surveyor to negotiate an alternative solution. This has resulted in a lesser impact on original internal fabric, as doorways were no longer required to be widened.

It was originally contemplated to render or repaint the area of brickwork at the rear of the building, however on obtaining heritage advice, a positive outcome is the proposal to remove paint from the brickwork to expose the original unpainted surface.

Furthermore, the documentation package was developed and modified taking into consideration iterative heritage advice provided by RBA.

05 Assessment



Figure 38: View of east elevation of rear of building (RBA 6 August 2026)

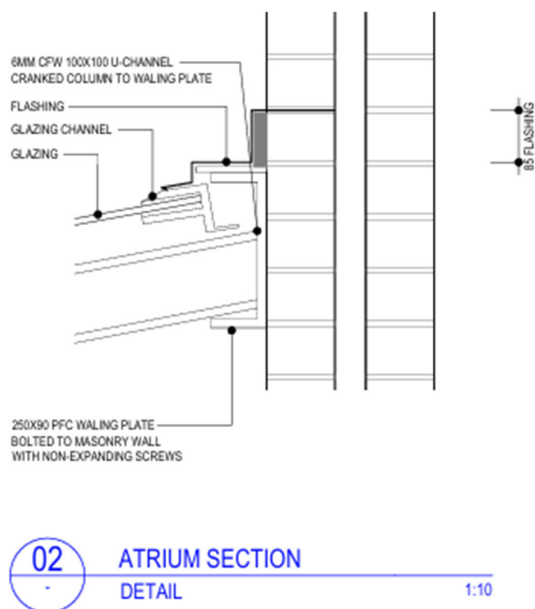


Figure 39: Proposed fixing detail – atrium to brickwork (Studio C+E drawing am 3.03)

The following section assesses the proposal against the relevant statutory requirements for permits under the *Heritage Act 2017*.

Overall, the proposed change impacts original external fabric, views of the façade (signage), and interior fabric.

5.1 Assessment against Clause s101(2)(a)

s101(2)(a)—the extent to which the application, if approved, would affect the cultural heritage significance of the registered place or registered object;

5.1.1 Exterior

Atrium/Covered walkway

The construction of a steel framed and glass covered walkway alongside and attached to the side and rear elevations of the building will provide a weatherproof route and access to the consulting rooms in the rear wing.

It is proposed to attach the structure to the brick wall of the building via a waling plate, as detailed on drawing am 3.03. There will be some impact to the original fabric where new fixings are required.

In order to create a level pathway, the existing path along the side way of the building is proposed to be raised and widened, with the installation of a concrete slab. This would require the removal or covering of the existing slate flagstones which extend along this side way. After considering removing and reinstalling the flagstones on top of the new slab, it was decided that there would be insufficient to cover the entire surface, and that it would be difficult to achieve a level finish which did not introduce trip hazards. It is proposed to treat the flagstones as 'archaeology' and to leave them in situ, protected by a layer of plastic with a bed of sand and crushed rock over (see detail on drawing number am 3.03).

The pathway will incorporate steps and a landing at the rear with a new automatic sliding door.

Recommendations: Impact to the fabric should be mitigated by utilising existing fixings or fixing into mortar joints where possible. Care should be taken to use non-expanding screws/fixings. Avoid fixing into brick voussoirs above windows and doors.

Repair any penetrations from old fixings.



Figure 40: View of window (with grille) proposed to be converted to a doorway (RBA 6 August 2026)

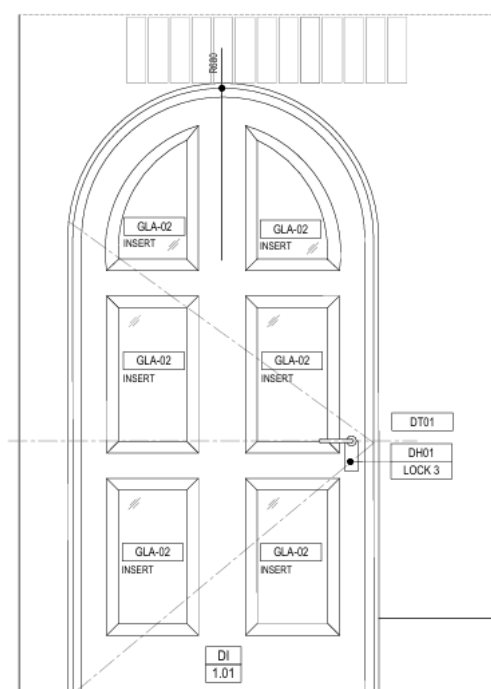


Figure 41: Elevation of proposed new door (Studio C+E drawing AD 1.03)



Figure 42: View of wall where one of the condenser units is proposed to be mounted (RBA 6 August 2026)

New rear door

An existing window is proposed to be enlarged to create a new doorway. While it is likely that this was an original doorway, as indicated on the MMBW plans and by inspection of the internal wall surface, the new opening will be wider than the existing, and it is proposed that some original brickwork be removed to create extra width at the left of the opening. It is envisaged that there will be some non-original brickwork infilling the opening below the window, which can be removed. Paint removal will confirm which brickwork is original fabric.

The original voussoirs will be retained, and the new opening constructed below the existing lintel.

The new opening will have an arched head. It was recommended that the opening retain a rectangular shape, for consistency across the elevation, however the preference of the owner was an arched head, to differentiate the doorway from the adjacent door into the consult room, to visually identify it as the main entrance.

Recommendation: The existing documentation notes saw-cutting of the brickwork. It should be noted that saw-cutting is not advised, and that any original bricks should be individually removed by a specialist with experience working with heritage brickwork to neatly create the desired opening. The width of the new opening should be calculated to align with brick dimensions (half or full brick) and bricks turned as necessary to create the new reveal, using original bricks. The curve of the arch should also be carefully formed using original bricks. Any spare original bricks should be retained on site for any future repairs

Air conditioning condenser units

The installation of two externally mounted air conditioning condenser units is proposed. One is proposed to be mounted below the first-floor window of the rear elevation of the main wing of the building, and the other is proposed to be mounted between two windows of the first floor (pictured in Figure 42). There will be an impact on the visual presentation of the elevations at the rear, and a physical impact on the brickwork where fixings and penetrations for ducting are required, however the installation of sufficient heating and cooling to the building is a requirement of its new function and is a reasonable intervention, and confined to the rear of the building.

Conservation works and paint removal

It is proposed to remove the paint finish to the brickwork of the rear elevations of the building. The extent is outlined on drawing am 3.02 (Studio C+E). The removal of paint is a positive intervention which should be carried out with the advice and supervision of a qualified heritage conservation specialist, including preliminary testing of the most suitable method.

Recommendations:

It is recommended that the paint removal process: includes testing to establish the most appropriate methodology (i.e. that will not damage the substrate). The likely method may be some form of chemical peel, note that sandblasting and high pressure washing is not appropriate). Testing should be carried out under the supervision of a qualified conservation architect. Testing will also identify the condition of the brickwork under and mitigate risk.

Anticipate potential brick and mortar repairs following paint removal, as the condition of the bricks is not yet known. Mortar repairs should be traditional lime base mortar (that is, non-cementitious).

Any patching of holes in the brickwork required should involve use a colour matched render/mortar.



Figure 43: View of part of the existing rear bathroom (RBA 6 August 2026)

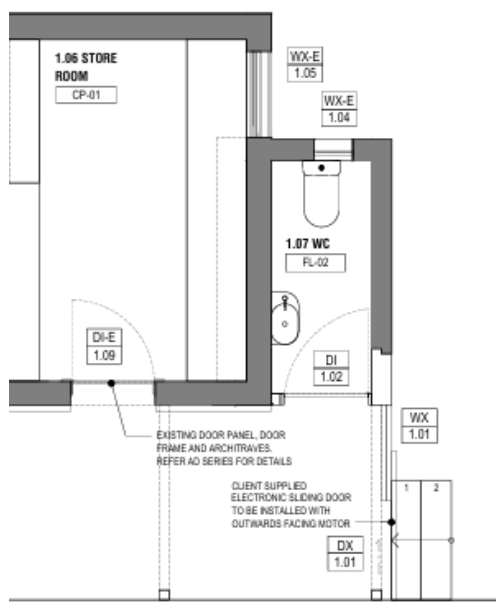


Figure 44: Part plan of proposed rear bathroom (Studio C+E drawing AC 1.01)

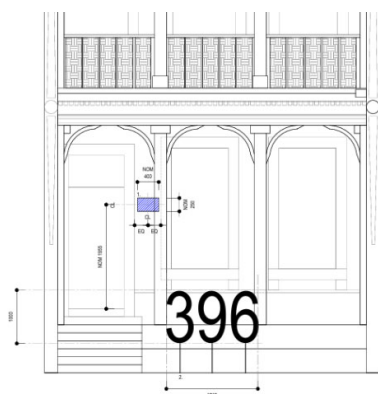


Figure 45: Detail of proposed signage (Studio C+E drawing am 1.01)

Rear bathroom

The existing bathroom addition at the rear is being modified and refurbished, including the removal of the existing front wall and the construction of a new front wall.

The bathroom is a non-original addition (likely mid-20th century), so there is no heritage impact. The new front will be recessed slightly and expressed with a shadowline junction to differentiate it from the original fabric of the main side elevation. It is noted that the deep skirting which wraps around the rear of the elevation should be retained and a detail developed to accommodate this.

Recommendation: Confirm the finish of the rear bathroom external walls to ensure differentiation from the adjacent original brickwork (which will have paint removed). Retain the deep skirting.

Signage

Signage to the front of the building includes a fixed panel to the right of the main entry door. Obsolete signage will be removed (one panel at the side of the main entry and one panel on the door).

Large 'sculptural' numbers in bronze to indicate the street number '396' are proposed to be installed in the front garden as a form of wayfinding for visitors.

The small fixed sign panel beside the front door will be fixed to the façade, and is nom 400mm x 250mm, in similar location to an existing sign panel which be removed. Some make good works may be required.

The wayfinding numbers, while large, are not fixed to the fabric of the building, and will be located in the front garden. These are designed to be readily removable and would be confined to a low level so as not to obscure the main views of the façade. There will be landscaping around the base to soften the view of the supports. The bronze finish will patina over time.

5.1.2 Interior

The proposed internal works are required to improve the buildings functionality and to accommodate its new use. They generally comprise works which include the conversion of existing spaces to consulting rooms and offices. The refurbishment of kitchens and bathrooms, and the opening up of some spaces with the removal of walls, which is confined to the creation of a larger opening to the front room, and the creation of a larger staff room at the rear of the first floor. Some doors will be removed in hallways and between some rooms to allow easy access for staff.

Other works include repainting, new lighting and services, new fixed joinery, new floor finishes and retention and cleaning or original fireplaces.

Some of the proposed interventions would be categorised under general or specific exemptions, including the removal of redundant services and interior painting.

The partial demolition of the front wall of the first room to accommodate a large arched opening is identified as a heritage impact, as it would involve the removal of an original panelled timber door and part of the adjacent wall. This, however will facilitate the use of the room as a waiting room and provide easy access for visitors and a good visual connection for staff. The height of the archway has been designed to match the height of the original archway in the adjacent hallway, and the retention of the wall either side of the archway enables the original front wall of the room to remain legible. The skirting boards at the new opening will be installed to match the existing skirtings from salvaged materials.



Figure 46: View of hallway looking towards front room (RBA 6 August 2026)

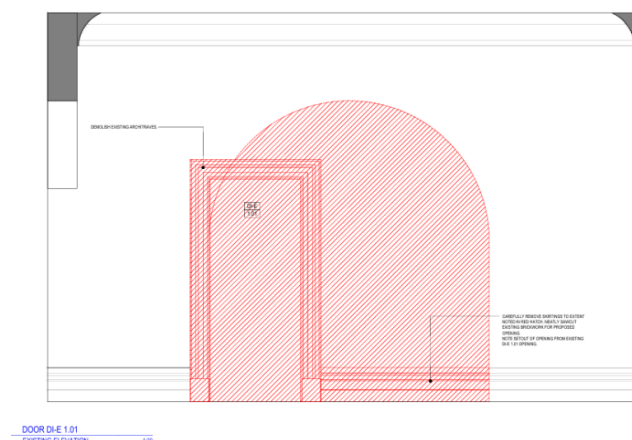


Figure 47: Elevation of new opening (Studio C+E drawing AD 1.05)



Figure 48: View of level 1 fireplace to be conserved (RBA 6 August 2026)

The general approach to internal work is to do as little as possible to make the interior functional and presentable for its new use, and is generally sympathetic to the significant fabric of the place. The drawings note that original cornices, decorative plaster details, fireplaces, mantles, hearths, skirtings and architraves are to be retained. The staircase is being retained, along with its timber handrail and balustrade and decorative stringers. The hierarchy of the original principal internal spaces would remain clearly understood.

Some original or early panelled timber doors are noted for removal, and it is advised that these either be re-used in other openings or stored on site.

The fitout of the interior has been designed in a way that is both sympathetic and complementary to the existing original internal elements, particularly in the principal spaces (main rooms, entry hallway and staircase).

Recommendations:

Care should be taken to ensure that the installation of finishes and joinery is generally reversible without damage to the heritage fabric.

Suitable flooring substrates should be installed without damage to the original floorboards and to protect them.

Any removed original doors are reused or stored on site.

Structural advice should be sought prior to the demolition work for the new arched opening to the front room.

5.2 Clause s101(2)(b)

s101(2)(b)—the extent to which the application, if refused, would impact the reasonable or economic use of the registered place or registered object;

5.2.1 Reasonable use

The building was originally designed for domestic use as a residence. More recently the place has been used for commercial purposes, as an office and archive centre for some years by the previous owner, the Catholic Archdiocese. The building is currently vacant and has recently been purchased by a medical specialist.

The proposed works would enable the conversion of the place for a reasonable use as the specialist's consulting rooms and offices, within a medical precinct. The new use is able to be largely integrated into the terrace house in a sympathetic manner. The proposed interventions and upgrades have been developed in a way which generally retains the original layout of the principal rooms and limits the impact to original fabric, while enabling ongoing commercial use. The upgrades enable the provision of suitable contemporary facilities which integrate building services and amenities which comply with current standards and codes.

5.2.2 Economic use

The conversion of the terrace house enables the owner to carry out a business at the premises and to generate an income which would in part fund the improvements, including the conservation works proposed and ongoing maintenance. The works allow a compatible commercial use and would enable the place to continue to be used and maintained in a sustainable way into the future.

5.2.3 Conservation Works

The application includes some works contributing to the ongoing protection and conservation of the place. Apart from the general improvement in the presentation of the place, these works primarily constitute the removal of paint from the side and rear elevation of the building.

5.3 Recommendations and summary of impacts

Generally, if carried out with consideration of the recommendations outlined in this report, the works are considered relatively 'light touch'. The physical impacts of the installation of the covered walkway and the insertion of a wider doorway at the rear should be mitigated by the employment of a careful construction and conservation methodology and the engagement of suitably qualified contractors with experience working with heritage fabric. The impact of the walkway on the slate flagstones is mitigated by their retention in situ underneath the new ground surface.

The recommendations outlined in the section above should be implemented to mitigate impacts and minimise risk of damage to original fabric.

5.3.1 Management and mitigation - recommendations

To ensure that all work is carried out in a manner which prevents damage to the fabric of the place it is recommended that:

- a paint removal and brick and mortar repair methodology be provided, along with a methodology for the brick removal and reconstruction of the new arched opening at the rear,
- any works impacting original brickwork including forming of the new arched opening for the rear door, paint removal and repairs to mortar and brickwork be carried out by a highly skilled qualified contractor with experience working with heritage brickwork,
- an allowance should be made for potential brick and mortar repairs following paint removal,
- a structural engineer provide advice in relation to the formation of the enlarged opening to the front room,
- a materials and finishes schedule be provided with details which communicate the substrate for floor finishes and the installation methods to ensure no damage to original floorboards, and to ensure work is reversible,
- further detail for installation/attachment of the covered walkway and the mechanical units and platforms,
- retain any original removed fabric on site (including doors and bricks and any slate flagstones not left in situ),
- take care not to damage the slate flagstones and protect them suitably during the installation of the new concrete slab.



Figure 49: 1975 street view, the subject property is on the right of the group of three (Source: State Library Victoria, H95.200/690)

06 Conclusion

396 Albert Street is one of a row of sixteen houses which comprise Burlington Terrace. The design for the adaptation of the building as a medical specialist's consulting suites has been informed by heritage advice and close collaboration with the project team. It would have minimal impact on the cultural heritage significance of the place and the broader terrace group.

The proposed works and design response has been developed to achieve a sympathetic and compliant outcome that respects the heritage significance of the place, minimises impacts and incorporates heritage conservation works, while enabling the building to be adapted in a functional way for a compatible and ongoing use.

With consideration of the recommendations outlined in this report, the proposed works can achieve a sympathetic and compliant outcome that balances the need to conserve original fabric and significance of the place with its adaptation for a compatible use.

Works of potential impact are primarily limited to the exterior and are mainly to the rear and largely relate to reinstating an original doorway, (albeit in a different configuration), fixings relating to air conditioning condensers, and concealing original flagstone paving

Internal works would retain the floor plan intact with the principal changes being the creation of a large opening, the removal of some original timber panelled doors and the installation of new floor finishes over floorboards.

Appendix A

The list of drawings used to prepare this HIS are the Architectural Documentation Series. These are attached as Appendix A.

Issue: Construction C.0 (except for paint removal elevations which are noted as Preliminary Diagrams)

Date: August 2026 (Provided by Studio C+E on 10 August 2026 via email), as listed below:

AC 0-00	Cover Page & General Notes		
AE 1.01	Existing & Demo GF & 1F Plan, Power & Data Plan	am 3.02	Scope of Paint Removal Elevations (PRELIMINARY DIAGRAMS)
AE 1.02	Existing & Demo GF & 1F RCP	am 3.03	Atrium Section & Detail
AC 1.01	Proposed GF & 1F Plan	am 3.04	Separation Detail
AC 1.02	Proposed GF & 1F RCP	ai 1.01	Kitchen, Tea station & Store Joinery
AC 1.03	Proposed GF & 1F Power & Data	ai 2.01	Proposed Store Room Plan & Elevations
AD 1.01	External Door DX-E 1.01	ai 3.01	2.03 Laundry Plan & Elevations
AD 1.02	Door DI-E 1.02 / DI-E 1.03 DI-E 1.05 & WI-E 1.02 / DI-E 1.07 & WI-E 1.03	ai 4.01	Proposed 1F Bathroom Plan & Elevations
AD 1.03	Door DI-E1.09 & Door DI 1.01	ai 4.02	Bathroom Elevations
AD 1.04	Door DI 1.02, DI 1.03, DX 1.01 & WX 1.01, Opening OP 1.02	ai 5.01	2.06 Kitchen Plan & Elevations
AD 1.05	Opening OP 1.01	ai 6.01	Proposed WC Plan & Elevations
AD 2.01	Door DI-E 2.01 / DI-E 2.02 / DI 2.03 DI 2.04	aj 1.01	Waiting Room & Consult Room Joinery Plan, Elevation
AD 2.02	Opening OP 2.01 / OP 2.02	aj 1.02	Consult Room Joinery Plan, Elevation
am 1.01	Albert Street Signage		
am 2.01	Heritage Conservation Elements GF Entry Corridor		
am 2.02	Heritage Conservation Elements GF Waiting Room		
am 2.03	Heritage Conservation Elements GF Consult Rm 01		
am 2.04	Heritage Conservation Elements GF Atrium		
am 2.05	Heritage Conservation Elements 1F Admin		
am 2.06	Heritage Conservation Elements 1F Admin		
am 2.07	Heritage Conservation Elements GF/1F Staircase		
am 3.01	Atrium & Façade Plan & Elevations		
am 3.02	Atrium Section & Detail		

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