

Heritage Impact Statement

Glenferrie Oval Grandstand



Acknowledgement of Country

RBA recognises that our conservation practice takes place on Country whose sovereignty has never been ceded. It is land that should be treated with respect. We recognise the First Nations Peoples of Australia and celebrate their continuing cultural practices and Connections to Country.

We acknowledge the Traditional Custodians of the lands on which we live and work, and pay our respect to Elders past, present and emerging. We respect the longstanding environmental and cultural knowledges held by Aboriginal and Torres Strait Islander peoples and the continuum and diversity of Indigenous land management, science and design that endures across Australia.

We are mindful of the role that the built environment held - and still holds - in shaping Country, and we are acutely aware of our responsibility in the heritage sector to unlearn, improve and repair.



Report Register

This report register documents the quality assurance and issue of the Heritage Impact Statement for proposed additions and alterations to the Glenferrie Oval Grandstand as prepared by RBA Architects + Conservation Consultants in compliance with our ISO 9001 certified Quality Management System.

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01 Introduction



Figure 1: Aerial of the Glenferrie Oval showing the Michael Tuck Stand indicated by arrow (Nearmap, 25 April 2026)

1.1 Purpose

This Heritage Impact Statement (HIS) accompanies a permit application for proposed alterations and additions at the Glenferrie Oval Grandstand (subject site), also known as the Michael Tuck Stand. It has been prepared for Architectus by RBA Architects + Conservation Consultants.

The subject place is listed on the Victorian Heritage Register (VHR) as Glenferrie Oval Grandstand (H0890). It is also included in the City of Boroondara Planning Scheme under an individual Heritage Overlay (HO83).

The proposal seeks to alter the grandstand building's internal spaces, and to construct a new community function space addition within the upper grandstand seating area. Conservation works would also be undertaken as part of this proposal. The proposed works are required to enable the ongoing use of the building as a sporting venue, grandstand and community facility.

This report provides an independent assessment of the potential heritage impact of the proposed works on the identified heritage significance of the subject place.

1.2 Location

The subject site is located to the south of Linda Crescent between Grace Street and Hilda Crescent. It is situated to the north of a trainline with views of the grandstand obtainable from passing trains.



Figure 2: Diagram illustrating City of Boroondara's 'Key Initiatives' for the subject site (City of Boroondara, 'Sport and Recreation', Place Plan for Revitalising Glenferrie, 2023, p80)

1.3 Background

The proposed works are associated with the staged implementation of a masterplan for Glenferrie Oval, Grace Park and L E Bray Reserve. A concept masterplan was adopted by the Boroondara Council in 2009, and the area was included as a sports and recreation sub-precinct in the Glenferrie Place Plan, adopted by the Boroondara Council in 2023.

The 2023 Glenferrie Place Plan provides a description of the sports and recreation sub-precinct:

Proposed improvements to the Sports and Recreation SubPrecinct aim to provide expanded community gardens, a renovated Tuck Stand, enhanced pedestrian connections and extra recreational facilities.

These improvements would draw on previous work by Council as well as the views of local residents and associations. The goal is to make better use of existing assets, better integrate local facilities, and help draw visitors to the precinct.¹

The intentions of works to the Michael Tuck Stand are also described:

Renovations to the Tuck Stand would restore this iconic heritage building and enable better community use of this historic sporting facility.

These renovations would allow the Tuck Stand to serve a wider range of community groups and activities.

The project would provide a fully activated vibrant hub integrating health and fitness, arts and culture, and sport and recreation in a multi-purpose development.¹

The Glenferrie Place Plan informed the vision and design brief for the Glenferrie Oval precinct revitalisation project.

1.4 Proposed Works

The proposed additions and alterations to the Glenferrie Oval Grandstand would allow for the continued and ongoing use of the site as a sporting facility. Additionally, the building would accommodate a variety of community uses – some of which have been previously situated within the grandstand building.

In summary, the proposal includes:

- Removal of unsympathetic alterations;
- Reconfiguration of the ground floor to provide compliant sports facilities (player and umpire changing rooms, first aid rooms, and storage), band room, and ancillary spaces (public amenities, kitchen);
- Addition of community meeting rooms accessed from the promenade;
- An enclosed addition to the grandstand seating area;
- Internal vertical circulation (stairs and lift);
- Landscape works to the front of the grandstand and northern oval retaining wall;
- Conservation works to the existing fabric;
- Interpretation.

1.5 Accompanying Documents

- Application form (via Heritage Desk)
- Letter of owner or land manager's consent, Saajida Laher, Project Manager, Capital Projects, Places & Spaces, City of Boroondara (24 June 2026)
- Schedule of Conservation Works, RBA Architects + Conservation Consultants (2026)
- Architectural drawing set, Architectus (5 June and 9 July 2026)
- Landscape drawing set, Rush Wright Associates (28 May 2026)
- Michael Tuck Stand Roof Condition and Assessment Report, Rotabond Consulting (9 December 2025)
- This Heritage Impact Statement, RBA Architects + Conservation Consultants (9 July 2026)
- Certificate of Title (produced 26 June 2026)
- Pre-Tender Estimate Cost Plan, Donald Cant Watts Corke (24 June 2026)

1.6 Site Inspection

RBA have attended the site several occasions including:

- Project commencement meeting on 17 September 2024;
- Schematic design phase (with Architectus and the Structural Engineer)
 - 25 November 2025
 - 19 January 2026
- Design development phase (with Architectus and the façade engineer)
 - 25 February 2026
 - 18 May 2026
- Inspections in preparation of the Schedule of

¹ City of Boroondara, 'Sport and Recreation', Place Plan for Revitalising Glenferrie, 2023, p79.

Conservation Works on 14 April 2026.

A site inspection with Heritage Victoria was undertaken on 25 February 2026.

1.7 Pre-Application Meetings

An online pre-application meeting (P41795) with Heritage Victoria was held on 4 December 2025, at the end of Schematic design stage. Written pre-application advice was provided by Heritage Victoria, summarised as follows:

- Recent works revealing the original form and scale of the promenade are positive and should be retained – introduction of storage into this area should be minimal.
- The part of the northern elevation (at street level) proposed for demolition appears to be a later addition.
- Any proposed new extension should be contemporary, sympathetic and deferential to the grandstand in design.
- Modern access standards may necessitate a new passenger lift – the location of a lift should be considered to minimise impact on the original spaces.
- Concern that the introduction of enclosed space within the grandstand seating area may have a negative impact on the architectural significance of the place. It should be investigated whether alternate positions are viable for siting the addition. If no other options are viable, the new built form should be as minimal as practical and sympathetic to the original design.
- The application would need to be justified on reasonable and economic use grounds.
- It is recommended that public consultation through Boroondara Council takes place prior to the permit application.

A site inspection and second pre-application meeting (P41795) with Heritage Victoria was held in-person on 25 February 2026. Further pre-application advice was provided by Heritage Victoria, summarised as follows:

- Use of the undercroft for storage, community rooms and amenities appears logical and practical and the reinstatement of the promenade and western windows is positive.
- The proposed passenger lift within an existing opening appears to be positioned at the most appropriate location, minimising potential demolition.
- Maintaining strong horizontal lines in the design of the new addition is encouraged.
- Further discussion regarding glazing, new built form, and materiality prior to submission of an application may be useful after council-led community consultation.
- Removal of the airlocks at promenade level and making stairs inaccessible raises no preliminary concerns.
- The application must be justified on reasonable and economic use grounds explaining why new built form and adaptation is necessary to use the grandstand and provide an income to support its ongoing use, maintenance and conservation.
- Other options and locations for new built form should be explored/discussed to demonstrate why the proposal provides the most benefits for the place.

- The ability for the design to provide compliant access across the spaces is considered under s.101(3)(b).
- Preference that as much original bench seating as possible is retained and reused. Opportunities to do so within the landscaping or existing concrete plats is encouraged.
- The landscape scheme identifies the ticket booth and turnstile for retention and restoration which is positive.

1.8 Public Consultation

From 14 August – 15 September 2026, City of Boroondara undertook community consultation on the draft design for the works to the Glenferrie Oval Grandstand. Feedback was sought via online surveys, drop-in sessions and workshops with the community groups and sports clubs who are proposed to use the facilities.

The feedback was reviewed from September–November 2025. Key findings are summarised as follows:

55% of people supported the draft designs, 35% had neutral feedback and 10% had negative feedback.

People told us they want:

- Function and use: A facility that serves both sporting clubs and the wider community.*
- Heritage: A design that respects and celebrates the stand's heritage while adding modern features.*
- Facilities: Better amenities so the stand feels welcoming and useful for diverse groups.*
- Design input: Thoughtful architectural design and well-planned spaces.*
- Precinct connection: A design that fits well into the surrounding area and minimises impacts on neighbours.²*

Schematic design and design development followed this public consultation.

1.9 Additional References

- Glenferrie Sports Ground & Grace Park Precinct Heritage Assessment, Context* (2006)
- Glenferrie Oval, Grace Park & LE Bray Reserve: Concept Masterplan*, City of Boroondara (2009)
- Place Plan for Revitalising Glenferrie*, City of Boroondara (2023)
- The Burra Charter*, Australia ICOMOS (2013)
- Guidelines for preparing heritage impact statements*, Heritage Victoria (2021)
- The Victorian Heritage Register Criteria and Threshold Guidelines*, Heritage Council Victoria (2022)
- Heritage Permit P38879, issued 28 November 2023, allowing structural rectification works to the grandstand including replacement of flooring, remediation works to terrace and bathrooms, reconstruction of the brick parapet, waterproofing and removal of existing bench seating for salvage and storage
- Drawings forming part of Heritage Permit P28879.

² City of Boroondara, 'Consultation outcome: Tuck Stand designs and Glenferrie Oval lighting' *City of Boroondara*, accessed June 2026: <https://docomomoaustralia.com.au/mcphersons-pty-ltd-building/>

02 Heritage Status + Provisions

2.1 Heritage Victoria

The subject site is included in the Victorian Heritage Register as Glenferrie Oval Grandstand (H0890).

2.1.1 Extent of registration

The extent of registration for the Glenferrie Oval Grandstand includes the building itself as well as much of its surrounding area (including the parking lot to the immediate west) and the northern edge of the oval (shown in Figure 3). It is understood that the northern edge of the oval is included to protect views to the building, and to allow for the former ticket booths to fall within the extent of registration – though the ticket booth at the northeastern edge of the oval has been previously demolished.

The description of the extent of registration included in the Victorian Heritage Database Report has been reproduced below:

To the extent of:

1. The building known as the Michael Tuck Grandstand and entry pavilion as shown in the Marsh and Michelson original drawings of 1938 held by the Director, Historic Buildings Council, being the building marked B-1 on Plan 6004088 endorsed by the Chairperson, Historic Buildings Council and held by the Director, Historic Buildings Council.
2. The land marked L-1 on Plan 6004088 and being a portion of the land described in the Register Book Certificate of Title Volume 3028 Folio 552.

[Victoria Government Gazette No. G38 30 September 1992 p.2922]



Figure 3: Extent of registration for subject site, H0890 (annotated, VicPlan)

2.1.2 Statement of Significance

The site was first registered to the VHR on 30 September 1992, and the Statement of Significance was most recently updated on 2 July 1999.

What is significant?

Completed in 1938, the Glenferrie Oval Grandstand was built more than a decade after the Hawthorn Football Club was admitted to the Victorian Football League (now the Australian Football League) in 1924 with Footscray and North Melbourne Football Clubs, and was the flagship for this relatively new league club. The grandstand was designed in the Moderne style by Stuart Calder in association with Marsh and Michaelson and constructed in red brick.

How is it significant?

The Glenferrie Oval Grandstand is of historic and architectural significance to the State of Victoria.

Why is it significant?

The Glenferrie Oval Grandstand is historically important to the history of Victoria and the State's development of leisure activities through its social and cultural associations with Australian Rules Football, the favoured spectator sport for many Victorians for much of its history. The grandstand is also historically important through its association with the growth of the Victorian Football League (now the Australian Football League).

The design of the grandstand in the Moderne style is unique and demonstrates the middle class values of the club, in contrast to the working class origins of most of the league clubs. The Glenferrie Grandstand is historically important in illustrating the status sought by the Hawthorn Club in the league through its Moderne design, most other league clubs favouring a traditional nineteenth century design for their grandstands. The Glenferrie Oval Grandstand is important in its ability to exhibit good design and the principal characteristics of the Moderne style applied to a sporting facility.

Though specific reference to VHR criteria and threshold guidelines are not included in the Statement of Significance (HERCON criteria were not widely introduced until after the subject site had already been attributed with state-level heritage recognition), it is noted that the Glenferrie Oval Grandstand is of historic and architectural significance.

Generally, historic significance is associated with Criterion A, whilst architectural significance is characterised by Criterion E. The definition of these criteria provided in the Heritage Council of Victoria document titled *The Victorian Heritage Register and Threshold Guidelines* (2022) are as follows:

- Criterion A: Importance to the course, or pattern, of Victoria's cultural history.
- Criterion E: Importance in exhibiting particular aesthetic characteristics.

2.2 Other listings

Council

Glenferrie Oval Grandstand is included in the City of Boroondara Planning Scheme as an individual place overlay (HO83). The boundary of the Heritage Overlay aligns with the VHR Extent of Registration.

The broader site at the Glenferrie Oval (excluding the extent of HO83) is additionally situated within the Grace Park and Hawthorn Grove Precincts (HO152). Though the proposed works limited to HO83, the relationship between the two

overlays is noted in the Boroondara Planning Scheme Statement of Significance (which is separate from the VHR Statement of Significance).

City of Boroondara are a responsible authority under section 100 of the Heritage Act 2017.

Non-statutory heritage lists

The subject site is included on the non-statutory National Trust Register as the Glenferrie Sports Ground Grandstand (file no. B6353).

It is additionally included on the non-statutory Docomomo Australia Buildings Register of significant modernist buildings, sites and neighbourhoods in Australia.

2.3 Permit Policy

2.3.1 General Permit Policy

The Heritage Act (2017)

As the Glenferrie Oval Grandstand (H0890) is state-listed, Heritage Victoria is the responsible authority. The following provisions from Section 101 of the Heritage Act (2017) are relevant in relation to determining applications:

- (2) In making a determination under subsection (1), the Executive Director must consider the following—
 - (a) the extent to which the application, if approved, would affect the cultural heritage significance of the registered place or registered object;
 - (b) the extent to which the application, if refused, would affect the reasonable or economic use of the registered place or registered object;
 - (c) any submissions made under section 95 or 100;
 - (d) if the applicant is a public authority, the extent to which the application, if refused, would unreasonably detrimentally affect the ability of the public authority to perform a statutory duty specified in the application;
 - (f) any matters relating to the protection and conservation of the registered place or registered object that the Executive Director considers relevant.
- (3) In making a determination under subsection (1), the Executive Director may consider—
 - (a) the extent to which the application, if approved, would affect the cultural heritage significance of any adjacent or neighbouring property that is—
 - (i) included in the Heritage Register; or
 - (ii) subject to a heritage requirement or control in the relevant planning scheme; or
 - (b) any other relevant matter.

Supporting Principles and Guidelines

Heritage Victoria provides guidance for considering change to a place in the Victorian Heritage Register in accordance with Part 5 of the Heritage Act 2017. The document Principles for considering change to places in the Victorian Heritage Register (December 2022) provides a basis for sound conservation and management activities based on the Burra Charter. Relevant principles for from this guiding document have been outlined below:

Principles for managing change

There are several best practice principles consistent with the Burra Charter that should be addressed when

considering change to a place in the Victorian Heritage Register. While every place is different and every application is assessed on its own merits, the following principles are considered by Heritage Victoria when determining heritage permit applications and should also be considered by applicants.

Principle 1. Understand why the place is significant

The heritage values and physical characteristics of a place must be clearly understood and articulated before contemplating change. The statement of significance is a useful starting point, but a more thorough analysis is often required.

Principle 2. A cautious approach

In accordance with the Burra Charter, Heritage Victoria supports a cautious approach to change at places in the Victorian Heritage Register: do as much as necessary to care for a place and to make it useable, but otherwise change it as little as possible so that its significance is retained. As stated in Article 15, change may be necessary to retain cultural significance, but is undesirable where it reduces cultural significance. The significance of a place should always be respected.

Principle 3. Protect significant settings and views

Places in the Victorian Heritage Register cannot be separated from the setting and often derive significance from it. [...]

Before considering any type of change it is important to understand all elements of the place in the context of their setting including:

- The historical, visual and physical connections between the place and its setting.
- The historical, visual and physical relationships between elements of the place including buildings and landscape features, and how they all work together.
- The significance of the spaces between buildings and landscape features

Principle 4. Respectful change and new built form

Once an appropriate level of change has been established, consideration should be given to any new built form proposed as part of that change. The development of new built form should consider:

- Setting
- Scale
- Massing
- Setback
- Architectural style and expression
- Materials and finishes
- Structural and engineering capacity of the place
- Impacts of the building code compliance, seismic strengthening and environmentally sustainable design requirements

Inappropriate setting, scale or massing cannot be compensated for by architectural style, expression, materials and finishes. Any new built form should present as a well-designed companion building(s) which defers to the place. The presence of a place should not be diminished, and the emphasis should always remain on the heritage elements. New built form should:

- Be proportionate to other buildings and structures at a place. It should not dominate, challenge, disrupt or compete with the heritage elements.
- Reference the heritage elements of the place

without replication or mimicry.

- Avoid highly contemporary design which is starkly different to the heritage elements.
- Avoid cantilevering or extending into airspace over the place.
- Retain important views to and from the place.
- Reflect the State level significance of the place through the quality of the new design, materials and finishes.
- Avoid demolition of heritage elements.
- Avoid the need to dismantle and reconstruct heritage elements.
- Avoid structural interventions that may harm heritage elements.

Principle 5. Provide for upkeep

The use of a place in the Victorian Heritage Register is important for its ongoing maintenance and retention of its cultural heritage significance. The reasonable use and economic use provision of the Heritage Act helps to determine this but should not be used to justify change which is inappropriate. In determining whether to approve an application for a permit, Heritage Victoria must balance the impacts an approval may have on the cultural heritage significance of a place against the impacts a refusal may have on the reasonable use or economic use of a place.

2.3.2 Specific Permit Exemptions

There are no Specific Permit Exemptions for the place.

03 The Place

3.1 History

3.1.1 Pre-Contact History

The subject site is located on Wurundjeri Woi-wurrung Country. The Wurundjeri Woi-wurrung People have an unbroken relationship with their Country which extends north to the Great Dividing Range and beyond, west to the Werribee River, south to Mordialloc Creek, and east to Mount Baw Baw.

The Wurundjeri Woi-wurrung People have lived on their traditional lands and cared Wurundjeri Woi-wurrung Country over many thousands of years. The Registered Aboriginal Party is the Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation.

The Glenferrie Oval is located on land which traditionally formed part of a waterway prior to its post-contact development (see Figure 4). Aboriginal people in Victoria often had deep connection with waters and waterways, which would have been essential to Spiritual and Cultural practices, as well as environmental management, food production, language and (Lore) law.³

For further information, please visit:
<https://www.wurundjeri.com.au/>.

3.1.2 Relevant Post-Contact History

The history of the Glenferrie Oval Grandstand is directly tied to the emergence of the Hawthorn Football Club and its role in the establishment and development of Hawthorn as an early locality within Melbourne, Victoria.

Establishment of Hawthorn

Hawthorn's first land sales took place in the 1840s, and the area was designated as a village in 1852. The Municipality of Hawthorn was later established in 1860, and it was officially proclaimed as a town in 1887. Even during this early period in its development, Hawthorn was described as one of 'the privileged suburbs' with large-scale family homes perceived as 'huge mansions of the extremely wealthy upper middle-class'.⁴



Figure 4: c1855 land allotments in Hawthorn showing land owned by Michael Lynch, later was subdivided and sold to council by his grandson (Frederick Michael Lynch) for the purposes of designating a sports ground in c1902. Note the location of waterways extending across the site and to the south. Subject site indicated by orange dash with Glenferrie Oval and Grandstand indicated in white.
(PROV, VPRS 8168/P0002, FEATR410)

³ Victorian Aboriginal Heritage Council, 'Waters are our spirit,' *Victorian Aboriginal Heritage Council*, accessed June 2026: <https://www.aboriginalheritagecouncil.vic.gov.au/taking-care-culture-discussion-paper/waters-are-our-spirit>

⁴ Meredith Gould, *Hawthorn Heritage Study Volume 1a: Hawthorn – Melbourne's Inner City Garden Suburb*, November 1992, pp23-45.

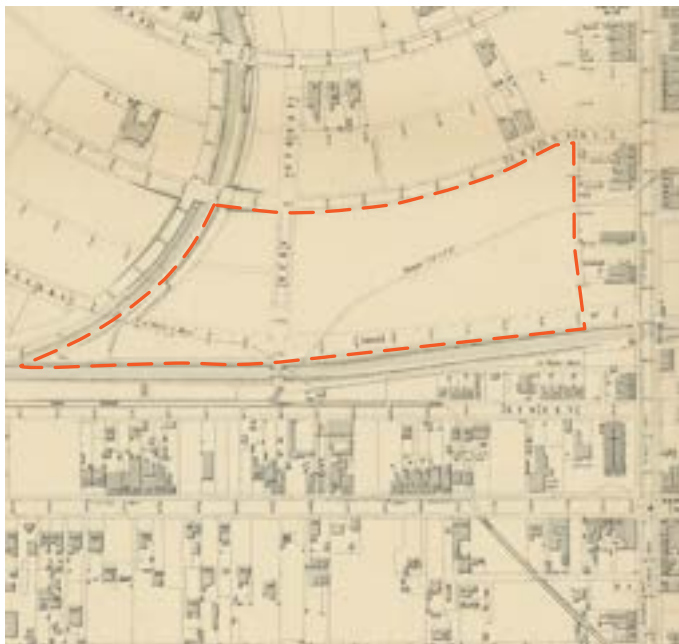


Figure 5: c1900 plan showing location of Glenferrie Sports Ground (indicated by dash) prior to council acquisition and its formal designation (MMBW, Plan no. 55, SLV)



Figure 6: c1924 Front elevation of Kennon and Owen Grandstand (William Pitt & Walkley Architects, SLV, WV/SPO/2/1)

Australian Rules Football

Australian Rules Football is understood to have originally derived from a combination of sports including:

- Marngrook, an Aboriginal ball game predating colonisation and documented as early as the 1840s,⁵
- Gaelic football, originally played in Ireland,
- and various forms of English football including Harrow, Eton, Rugby, Winchester and Shrewsbury.

The first organised game of Australian Rules football took place in 1858, and the widespread adoption of the sport in Victoria followed shortly leading to the establishment of the Victorian Football Association (VFA) in 1877.⁶

Hawthorn Football Club and Glenferrie Oval

Early unofficial origins of the Hawthorn Football Club (HFC) likely date back to the 1860s, with evidence of a club named “the Hawthorn” participating in football matches.⁷

From September 1872, match coverage of the Hawthorn Football Club began to appear regularly in newspaper sports columns.⁸

In May 1898, the Hawthorn Football Club was removed from match fixtures reportedly due to the lack of a ground which sparked urgency to organise the provision of a sports ground in the coming years. Land to be designated for the Glenferrie Oval and Grace Park was sold to council in c1902, but delays in transferring land to council were ongoing until c1904. Following this delay, the sports ground was officially established in c1905.⁹

In January 1914, Hawthorn officially joined the VFA, prompting works to provide additional sporting facilities at the ground including a timber dressing shed. Later, further facility upgrades included the relocation of a c1909 timber grandstand from the Melbourne Cricket Ground (MCG) to Glenferrie Oval in 1922, and the construction of the Kennon & Owen Grandstand (designed by William Pitt & Walkley Architects) in 1924.¹⁰

Hawthorn City Band established its permanent headquarters in a building behind the oval in 1933.¹¹

5 Rita Metzenrath, ‘The AFL’s Aboriginal origins,’ AIATSIS, accessed June 2026: <https://aiatsis.gov.au/blog/afls-aboriginal-origins>

6 National Museum Australia, ‘Defining Moments: Australian Rules football,’ National Museum Australia, accessed June 2026: <https://www.nma.gov.au/defining-moments/resources/australian-rules-football>

7 ‘The Herald: Impartial, Not Neutral,’ *The Herald*, 27 June 1866, p2.

8 ‘Football,’ *The Herald*, 6 September 1872, p3.

‘Saturday, September 7, 1872,’ *The Argus*, 7 September 1872, p5.

‘Local Jottings,’ *South Bourke Standard*, 22 September 1872, p3.

9 Context, *Glenferrie Sports Ground & Grace Park Precinct Heritage Assessment*, September 2006, pp8-9.

10 Context, *Glenferrie Sports Ground & Grace Park Precinct Heritage Assessment*, September 2006, pp11-12.

Note: ‘Kennon & Owen’ refers to the name of the grandstand, it derives from the names of Bill Kennon and George Owen who funded the project.

11 Context, *Glenferrie Sports Ground & Grace Park Precinct Heritage Assessment*, September 2006, p26.

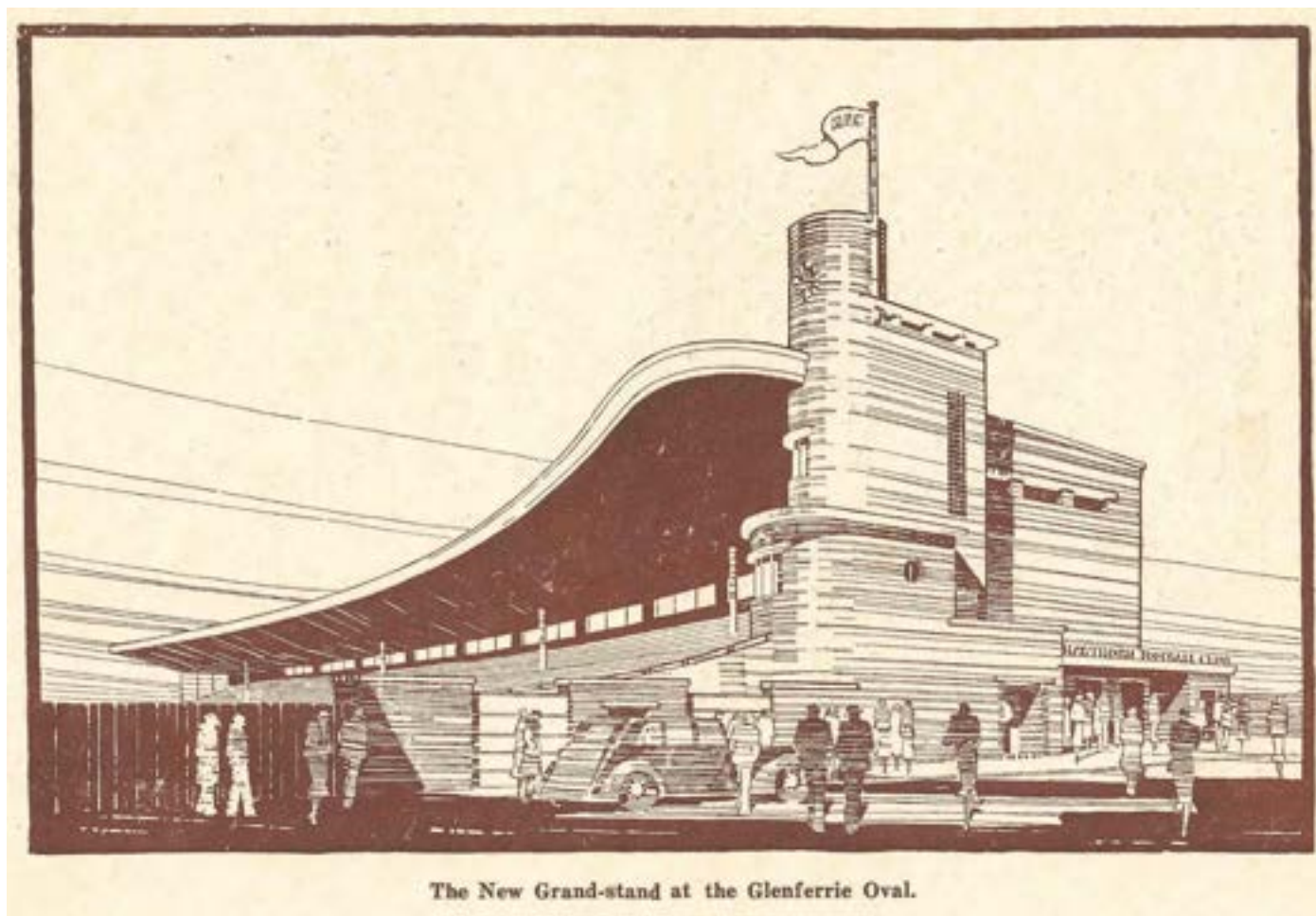


Figure 7: c1938, Perspective drawing of the proposed grandstand – note the columns depicted in this visualisation do not appear to be splayed, indicating that this may not have been the original design intent, but possibly a later decision introduced for practical stabilisation purposes (Hawks Museum)



Figure 8: 12 February 1938, Construction of the grandstand at Glenferrie Oval (Edwin G Adamson, SLV, H2017.337/52)

1938 Grandstand

The subject grandstand was constructed in 1938. It replaced an earlier c1914 dressing shed and the smaller c1924 Kennon & Owen Stand, providing greater seating accommodation to meet the needs of a growing audience.¹²

The grandstand was designed by Stuart P Calder in collaboration with Marsh & Michaelson. The project was part of local council policies to provide community recreational facilities.¹³ It was originally known as the 'Red Brick Stand' and was renamed the 'Michael Tuck Stand' in 1991 to honour the retired HFC premierships captain.¹⁴

Prior to its construction, several news articles describe highly anticipated works to introduce a new grandstand at the Glenferrie Oval. According to these articles the estimated costs for the grandstand increased as the project progressed. Initially in September 1937, it was reported that £7,000 would be designated for the redevelopment, but by the time the project reached completion in June 1938 it was reported that the grandstand was built at a cost £17,000.¹⁵

¹² Context, *Glenferrie Sports Ground & Grace Park Precinct Heritage Assessment*, September 2006, p16.

¹³ 'New Grandstand,' *Argus*, 27 June 1938, p18.

¹⁴ Context, *Glenferrie Sports Ground & Grace Park Precinct Heritage Assessment*, September 2006, p15.

¹⁵ 'Hawthorn Plan For New £7000 Grandstand,' *The Sun News-Pictorial*, 9 September 1937, p24.

'New Grandstand at Glenferrie Oval,' *Argus*, 9 September 1937, p17.

'Grandstand at Hawthorn May Cost £10,000,' *Argus*, 8 October 1937, p23.

'New £13,000 Grandstand At Glenferrie,' *The Sun News-Pictorial*, 4 November 1937, p32.

'New Grandstand,' *Argus*, 27 June 1938, p18.



WORK IS PROGRESSING RAPIDLY on the new stand at the Glenferrie Oval. Costing £15,000, the stand will have three tiers, seat 2000 and be completed before the start of the football season.



TODAY'S PICTURE at the Richmond Football Ground, where the new stand is in progress of erection. When completed, it will seat between 1200 and 1500. It is expected that it will be finished by April at an estimated cost of £8000.

Figure 9: Construction photographs featured in *The Herald*, showing simultaneous progress on new grandstands at Glenferrie Oval and Richmond Football Ground.

('Getting Ready for Football,' *The Herald*, 2 February 1938, p22)

The stand was undergoing construction simultaneously to another new grandstand at the Richmond Football Ground.¹⁶ The two projects both reached completion within weeks apart from one another during April 1938.¹⁷

A newspaper article from the *Australasian* dated 30 April 1938 describes the new grandstand's first use as construction was nearing completion:

*About 1,000 spectators were able to use it on Saturday, and they were pleased with the facilities. The dressing-rooms and bathrooms, the accommodation for committee, and the general offices are splendid, and when all is ready no team will be more comfortable than Hawthorn. Mr. V Hocking, the Hawthorn secretary, was as proud as Punch in showing visitors all the improvements.*¹⁷

Nearly a month later, the *Sun News-Pictorial* described the newly completed grandstand with celebratory Hawthorn colours (in brown and gold paint) applied to all window sashes and fittings.¹⁸

A team photograph taken in front of the grandstand captures the final stages of construction occurring in the background (shown in Figure 10).

Another team photograph reveals the appearance of the grandstand after construction had been completed (shown in Figure 11).

¹⁶ 'Getting Ready for Football,' *The Herald*, 2 February 1938, p22.

¹⁷ 'Getting Ready for Football,' *The Herald*, 2 February 1938, p22.

¹⁸ 'Football in Full Swing,' *Australasian*, 30 April 1938, p18.

¹⁹ 'Gossip From League Club,' *The Sun News-Pictorial*, 20 May 1938, p33.



Figure 10: c1938 team photograph taken in front of the grandstand during the final stages of construction – most likely in April or early May 1938. Here, the introduction of seating is still taking place, with some vertical propping (indicated by arrow) visible within the upper levels of the grandstand. Additionally, balustrades, handrails, signage, and fencing had not yet been fully introduced when the photo was taken. (Charles Edward Boyles, SLV, H2008.122/96)



Figure 11: c1938-1950 team photo in front of the grandstand showing the general configuration after completed construction. (Charles Edward Boyles, SLV, H3008.122/136)

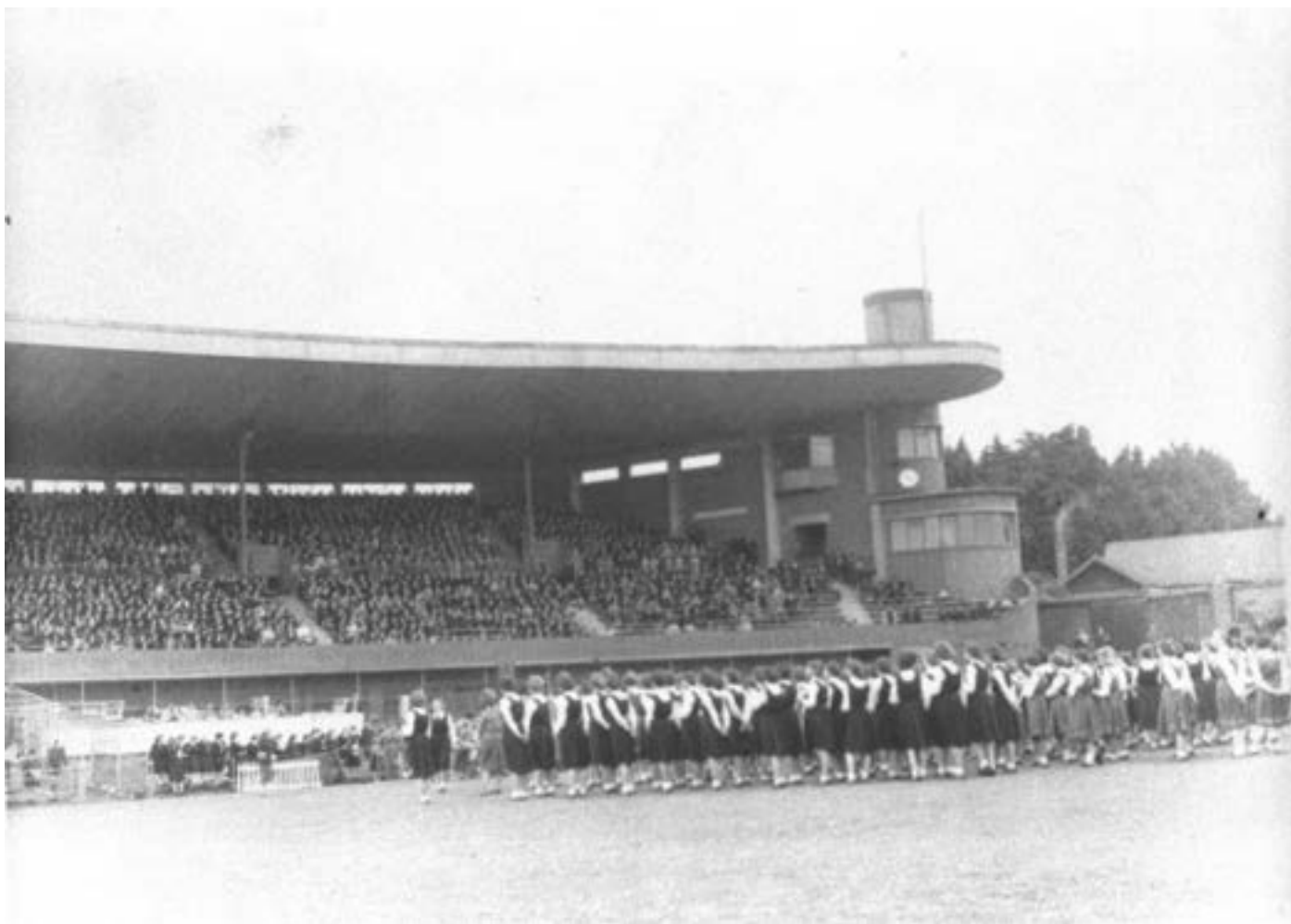


Figure 12: c1958 Swinburne Sports Day photograph showing the grandstand seating fully occupied (Swinburne Technical College, *Swinburne History Collection*, Combined sports at Glenferrie Oval, 1958 – 02)



Figure 13: c1958 Swinburne Sports Day photograph with Glenferrie Oval Grandstand (right) and relocated c1909 timber grandstand (left) in the background (Swinburne Technical College, *Swinburne History Collection*, Combined sports at Glenferrie Oval, 1958 – 04)



Figure 14: c1956 Grandstand from the east, showing seating area and front elevation - note the open/permeable section (orange arrow) to the south of the grandstand seating area and the northern extent of the covered way (yellow arrow) – along with the horizontal high level windows, these have been infilled (Lyle Fowler, SLV, H902.20/5896)

Evolution of the Place

Popularity of the Victorian Football League as a spectator sport continued to increase during WWII with free game tickets offered to unemployed members of the public who could supply a valid sustenance card.¹⁹

In c1966, the c1909 timber grandstand (relocated from the MCG) was demolished and the Ferguson Stand was constructed in its place.²⁰

In 1974, the HFC's primary match ground was relocated to Princes Park which had a larger oval and accommodation for increased attendance, though the Glenferrie Oval continued to serve as their home base and training ground. In 2006, the leases for the two grandstands reverted to the Boroondara City Council, with the oval and grandstand buildings used for recreational clubs and community purposes.²¹

By 2009, the interior of the grandstand had been almost entirely reconfigured, with the ground floor and promenade divided into much smaller rooms.²² This resulted in a widespread loss of legibility of the original design intent.

3.1.3 Architects and Design

The Glenferrie Oval Grandstand is representative of the 'Streamline Moderne' style associated with the Melbourne architect Stuart Calder, and evident in the documented works of Marsh and Michaelson. The application of this style was progressive at the time and reflected the affluence and aspirations of both the Hawthorn Football Club and Hawthorn the suburb.

Stuart Calder

Stuart Calder is a prominent Melbourne architect who studied architecture at Melbourne University (later known as the University of Melbourne). Calder worked at the architecture firm Stephenson & Meldrum prior to starting his own practice.²³

Aside from the Glenferrie Oval Grandstand, his other most notable work is perhaps the former McPherson's factory and showroom on Collins Street, designed in collaboration with architects Reid and Pearson. These two streamline moderne buildings are representative of Calder's designs "characterised by horizontality and light." According to Docomomo Australia, Calder's work contributed to the introduction of the streamline moderne style in Melbourne.²⁴

Marsh and Michaelson

Marsh & Michaelson was an architecture and engineering practice established in 1934. Generally, they worked on commercial buildings and residential architecture, as well as some factories of a similar scale to the grandstand. Notable works include the Former Theosophical Society Building on Collins Street and the Australian Natives Association Building on Elizabeth Street.²⁵



Figure 15: Spectators viewing a HFC match over the fence along Linda Crescent (undated, Hawks Museum)



Figure 16: Crowds gathering at the northern entrance of the grandstand with views of the rear promenade bays prior to infill (undated, Hawks Museum)

¹⁹ Context, Glenferrie Sports Ground & Grace Park Precinct Heritage Assessment, September 2006, pp16-17.

²⁰ Context, Glenferrie Sports Ground & Grace Park Precinct Heritage Assessment, September 2006, pp16-17.

²¹ Context, Glenferrie Sports Ground & Grace Park Precinct Heritage Assessment, September 2006, p18.

²² Lovell Chen, *Michael Tuck Grandstand Measured Drawings*, August 2009, ppA01-A02.

²³ Robin Grow, 'Stuart Calder: Designer & Preserver', *Spirit of Progress*, Spring 2004, vol 5, no 4, issue 19, p10.

²⁴ Docomomo Australia, 'McPherson's Pty Ltd Building', *Docomomo Australia*, accessed April 2026: <https://docomomoaustralia.com.au/mcphersons-pty-ltd-building/>

²⁵ David Stray, 'Some of the work of Melbourne architects Marsh and Michaelson 1934-1951', 2025 p1, accessed April 2026: <http://nla.gov.au/nla.obj-3668782042>



Figure 17: 1942 Aerial photograph showing the Glenferrie Oval – Michael Tuck Stand indicated by arrow. Note the c1909 timber grandstand (relocated c1922) south of the Michael Tuck Stand – now demolished (Geoscience Australia, Map1818, frame 72169, 1 May 1942)

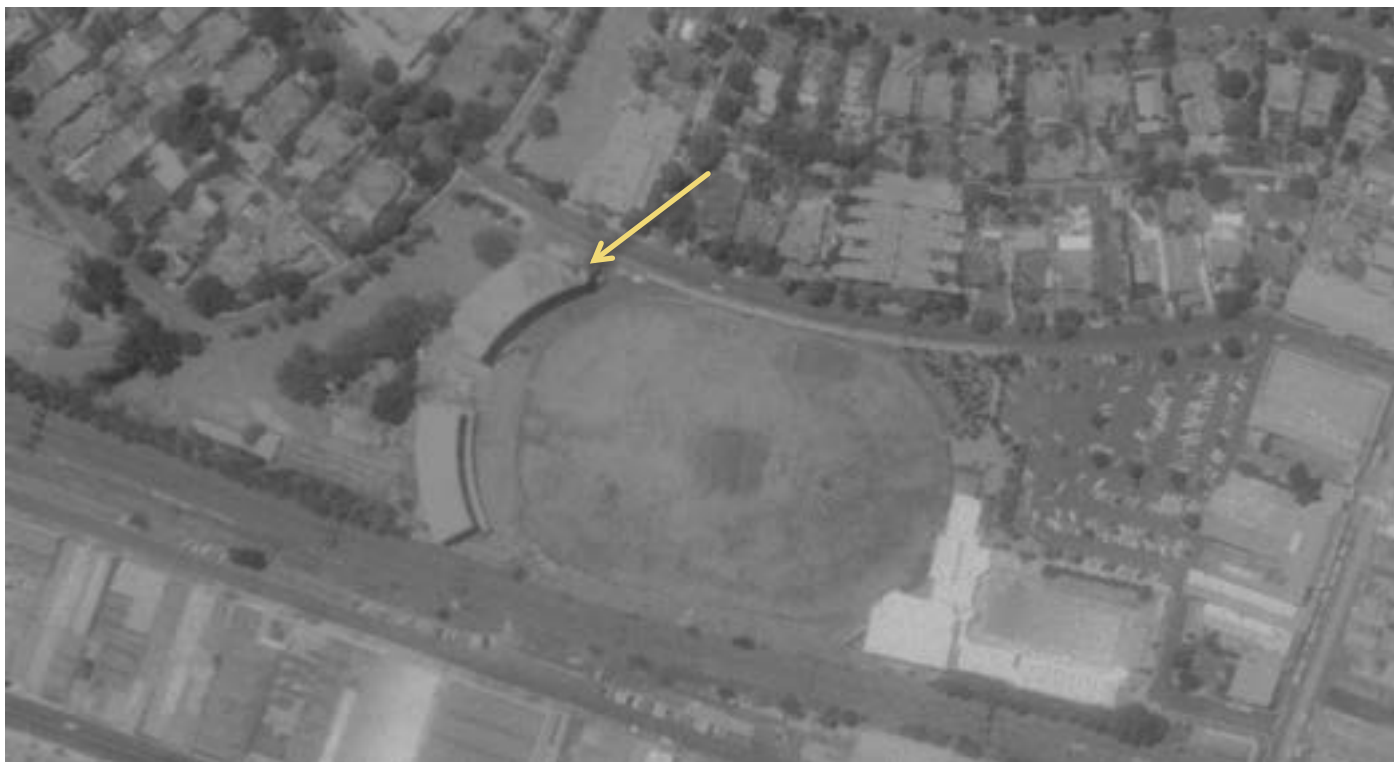


Figure 18: 1984 Aerial photograph showing the Glenferrie Oval – Michael Tuck Stand indicated by arrow. Note the removal of the c1909 timber grandstand (relocated c1922) and the addition of the c1966 Ferguson stand – now demolished (Geoscience Australia, CAD8589, frame 810, 4 January 1983)



Figure 19: c1981, North elevation and entrance to grandstand (Graeme Butler, RAIA 20th Century Architectural Heritage Survey)

Streamline moderne

During the approximate period of 1930-1945, the 'Moderne' style was at the forefront of Melbourne architecture.²⁶

Within this context, the streamline moderne is a style of architecture which evolved from an intersection of both modernist and art deco design sensibilities.

It features prominent and continuous horizontal emphasis, often with rounded corners so as not to break the articulation of smooth horizontal movement.

In a guide to architectural styles, Marcus Whiffen describes the streamline moderne quoted below:

*Streamline Moderne is a horizontal style. In the overall form of the building as a rule, and always in the main elevations, horizontality prevails, with vertical features (if employed at all) reserved for the entrance. Secondly, it is a style of curved surfaces - curved end walls, curved corners, curved bays, and cylindrical projections. Thirdly, it is a style quite without ornament, apart from stringcourses and other trim emphasizing the horizontality of the design. In larger buildings the upper stories are often set back. Roofs are flat and parapeted. The parapets are often surmounted by pipe railings, producing a nautical effect that may be intensified by pipe railings on balconies and outside stairs, by round windows like portholes, and even by imitation rivets. Walls, brick or concrete, are usually plastered. Glass block is much used for translucency and textural contrast.*²⁷

Along with the Former McPherson's factory and showroom, the Glenferrie Oval Grandstand serves as one of Victoria's hallmark examples of the streamline moderne style. This is highlighted in Phillip Goad's book, *Melbourne Architecture*, which examines the stylistic characteristics of the Michael Tuck Stand:

*A practical sculpture of curved Moderne forms, this grandstand makes great use of its required curved plan to arrive at a dynamic three-dimensional composition. A daring cantilevering canopy sweeps horizontally away from the obligatory vertical termination of flagpole and tower.*²⁸

²⁶ Philip Goad, 'The Moderne City', *Melbourne Architecture*, 2001, pp131-135.

²⁷ Whiffen, Marcus, *American architecture since 1780: a guide to the styles*, N.p.: The MIT Press, 1969. Print. Quoted online by Docomomo US, accessed April 2026: <https://www.docomomo-us.org/style/streamline-moderne>

²⁸ Goad, '267 Glenferrie Sports Ground Grandstand', *Melbourne Architecture*, 2001, p147.



Figure 20: View of grandstand from the oval showing the front, eastern elevation

3.2 Description of the Place

Generally, the Glenferrie Oval Grandstand consists of:

- Ground floor space, accessed from the oval and from the car park to the west of the building;
- Upper seating area to the front (eastern) elevation;
- Northern entrance foyer into the building from Linda Crescent;
- Promenade space along the rear, western side of the building – double height and at the same level as the Linda Crescent entry;
- Cantilevering grandstand roof, partially supported by four steel columns;
- Rounded tower (originally for the timekeeper, scorekeeper, and broadcasters) to the north – at the second and third floors, extending above the grandstand roof.

3.2.1 Setting

The subject site is located at the boundary between two commercial streets to the east and south, and a predominantly residential areas to the north and west. The railway line runs along the southern boundary of the oval.

Within this context, the oval and the grandstand building form part of a recreational precinct bounded by the Hawthorn Aquatic and Leisure centre to the east, and Grace Park to the west. The Victorian Weightlifting Association building is located immediately to the south of the grandstand building, and a carparking area to the west is

well used.

The topography of the site slopes downward (north to south) across the building: the ground floor aligns with the topography's lowest levels at the southern end of the building, and the first-floor northern entrance meets the street level at Linda Crescent.

3.2.2 Exterior

Form and massing

The building presents to the oval (east) as a largely horizontal structure, emphasised by the cantilevered flat roof form, brick balustrade, and recessed covered way which run almost the whole length of the elevation. Projecting rendered concrete heads above openings, enhancing the horizontal effect.

The curved plan, dictated by the oval which the building abuts, is legible in this elevation, and combined with brick end walls which splay outwards, softens what would otherwise be highly rectilinear structure.

As a vertical counterpoint, the northern end of the cantilevered main roof terminates in a wide curve where it meets a tiered entry pavilion with a curved tower, dropping down to a single storey brick fence, turn-stile and gate structures facing Linda Crescent.

An ocean liner aesthetic presents in its formal qualities along with the use of a porthole window at the tower's north elevation, visible from Linda Crescent. The western side of this elevation has been altered with the replacement of the original entry by a brick structure with metal roof cladding and aluminium framed windows.



Figure 21: Front of the grandstand showing the race/run out emerging from the covered way, as well as access stairs to the south. Note the metal cladding infilling a previously open section of the southern wing wall (indicated by dash).



Figure 22: Balustrade at grandstand seating area showing umber slips capping brickwork and decorative curved steel bracket attached to handrail



Figure 23: Undercroft interior showing the impact of structural remediation works and storage of original timber seating and balustrades



Figure 24: Rear, west elevation of the grandstand showing brickwork, decorative banding, columns and beams, openings; promenade level's former openings at double height infilled by brown metal cladding. Note the downwards slope of the ground across the building.



Figure 25: Detail lookup upwards at the southwestern corner showing infill (indicated by arrows), horizontal banding, non-original downpipe, concrete plats/soffit, and balustrade of walkway and stair emerging from promenade.

To the west, the building exhibits an austere architectural expression. Though this gently curved elevation was originally open and permeable, substantial infill has resulted in its presentation as a largely solid wall onto the adjacent carpark. The elevation is punctuated horizontally by projecting rendered concrete lintels, and further broken up at intermediate level (aligning with the promenade behind) and to the southern end of the ground floor by original rendered concrete columns and beams.

The grandstand seating, currently with bench seating removed, is a stepped concrete structure enclosed at the rear, north, and partially to the south by the external walls.

The solid nature of the west elevation continues to the south (both resulting from alterations), which is predominantly brickwork with later infill within concrete columns and beams to the west side. A wide brick clad stair wraps around the lower portion of the building.

Openings

Original openings were designed to emphasise the form of the building, and some legibility of this intent remains through the visibility of original projecting rendered concrete lintels. High level windows are generally covered internally but are visible in horizontal bands immediately below roof level.

The ground floor covered way is set back from the building's east façade, and is partially infilled (at the northern end) with boards affixed to aluminium framed windows. The original external wall to the western side of the covered way has been removed in the infilled section. Within the remaining covered way are a series of steel framed multi-paned windows repeating in each structural bay. There is evidence of infilled doors, and non-original doors in the brickwork panels between windows.

To the west and south elevations, original open portions between rendered structural beams and columns have been largely infilled, with metal cladding at upper level, aluminium framed windows at promenade level, and brick to ground floor (refer Figure 24, Figure 25, Figure 26, Figure 27 and Figure 30). This infill has led to the current solid appearance.

The vertical entry pavilion is further differentiated by unique openings on the north elevation – glazed bricks in a vertical layout above a stair, and a small circular window, typical of the streamline moderne style.

Materiality and detailing

The primary material of the Glenferrie Oval Grandstand is brick, utilising varying bonds and slightly different brick colours depending on location. High level brick cornices are stepped, providing a horizontal datum to the north and west elevations.

Where the tops of brick walls are exposed (such as to the front of the grandstand seating), the brickwork is capped glazed amber tiles – a detail characteristic of the interwar period. To the grandstand seating, some of the brick walls form balustrades with circular hollow steel sections welded onto decorative curved steel brackets fixed to the capping tiles.

The roof is partially supported on the upper brick walls, along with four slender steel columns, terminating with diagonal bracing. The curved plan of the building is again emphasised by the roof soffit, where joints between cladding sheets follow the radiating setout of the stairs below. The roof features a wide fascia clad in painted corrugated metal.

Concrete elements are typically rendered and painted a cream colour, contrasting with the red brick.



Figure 26: Rear west elevation of the grandstand with infill of previously open spans indicated by yellow dash

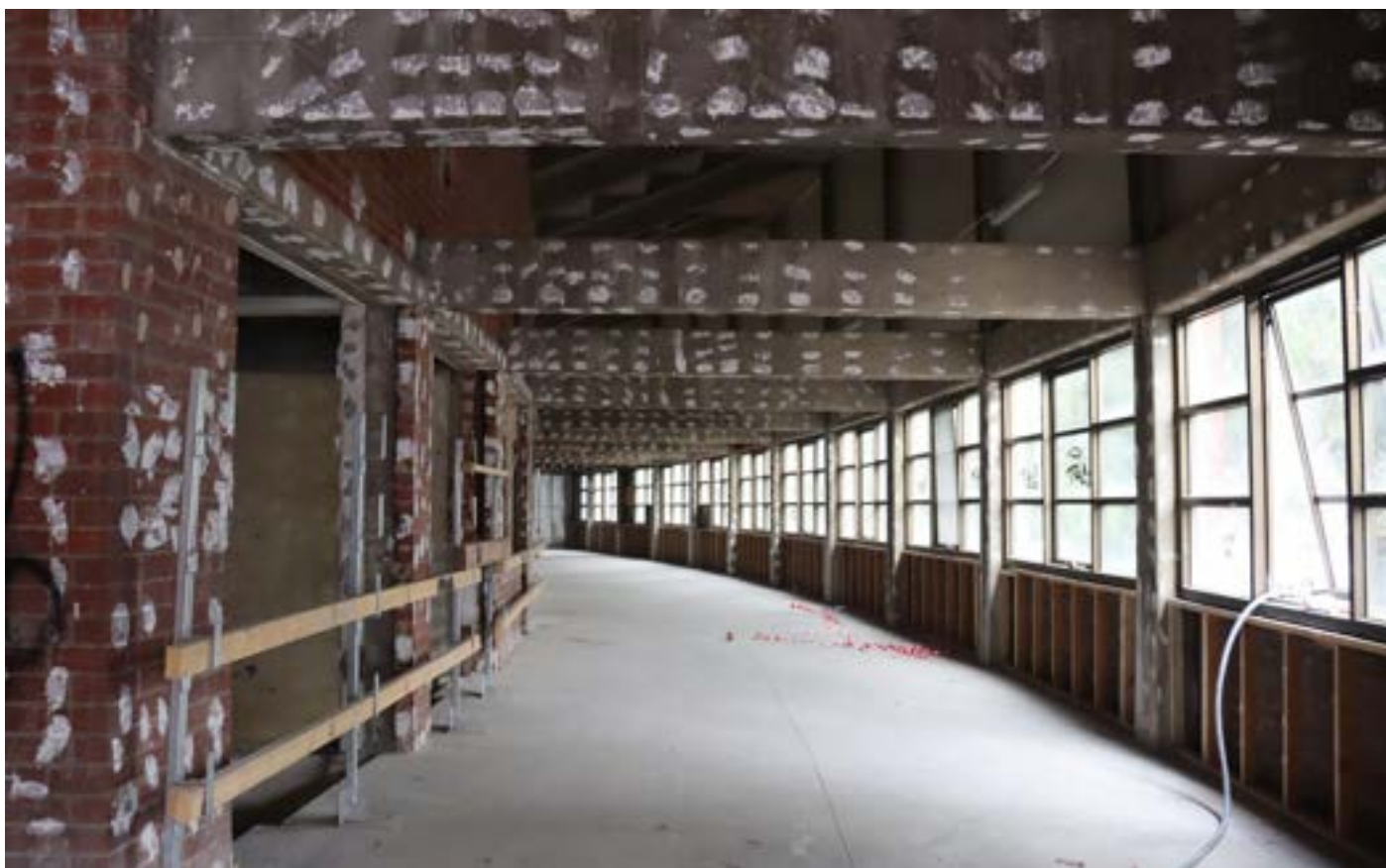


Figure 27: Internal view of the promenade with concrete structure and original fabric exposed after removal of pre-2009 fitout



Figure 28: Double height space of the former training room (ground level) with windows to the promenade above (first floor)

3.2.3 Internal Layout and Plan

Ground Floor

The ground floor comprises an undercroft (originally unenclosed) to the west, remaining internal walls (originally forming the changing rooms and committee room), and the former training room. The former training room retains legibility as a double-height space with upper-level openings connecting it visually to the promenade above.

The covered way follows the internal curve of the building to the east. To the north, smaller spaces (with lower ceilings) lead into the building's vertical circulation elements at the northern end.

The interior of the ground floor retains very little original fabric, and is currently unusable, with no floor to the former changing rooms and training room.

Promenade Level

The primary entrance to the building from Linda Crescent sits one level above the oval and leads into the double height volume of a curved promenade situated below the upper tiers of concrete seating plats. The concrete soffit of the plats and structure are exposed, as are horizontal and diagonal rendered concrete beams.

The entry is largely altered, and is at a lower level than the remainder of the promenade, with a small external ramp and aluminium framed doors.

Walls are typically solid brick, with the brick currently providing the internal finish following the removal of the pre-2009 fit-out of the space. Original steel window frames remain to the east (internal) wall, although the glass and brick sills have been removed, and two have been altered. To the west, the former openings in the external wall have been infilled with aluminium framed glazing at promenade level and lightweight cladding at the second-floor level.

Three concrete stairs provide access from the promenade to the mid-tier level of the grandstand. The southern end of the promenade has been infilled with lightweight cladding. The promenade continues as a concrete deck to the south of the grandstand, providing access via external stairs to the oval.



Figure 29: North elevation showing entrance foyer with tower and turret – non-original brick entrance foyer indicated by dash



Figure 30: Southern elevation of grandstand, note the red-brown metal infill cladding (indicated by dash) at first, second, and third floor levels as well as bricks bound by yellow concrete columns and beams denoting infilled areas



Figure 31: Undercroft interior showing impact of structural works with the removal of interior flooring

3.2.4 Structural Works

Structural rectification works have recently been completed under Heritage Permit P38879. Works included:

- replacement of flooring,
- remediation works to terrace and bathrooms,
- partial reconstruction of the brick parapet,
- waterproofing of the concrete plats, and
- removal of existing bench seating for salvage and storage.

The structural works were completed as 'enabling works' for the current proposal. A positive consequence of the works has been the removal of the pre-2009 internal fitout, revealing much of the original fabric to the promenade.

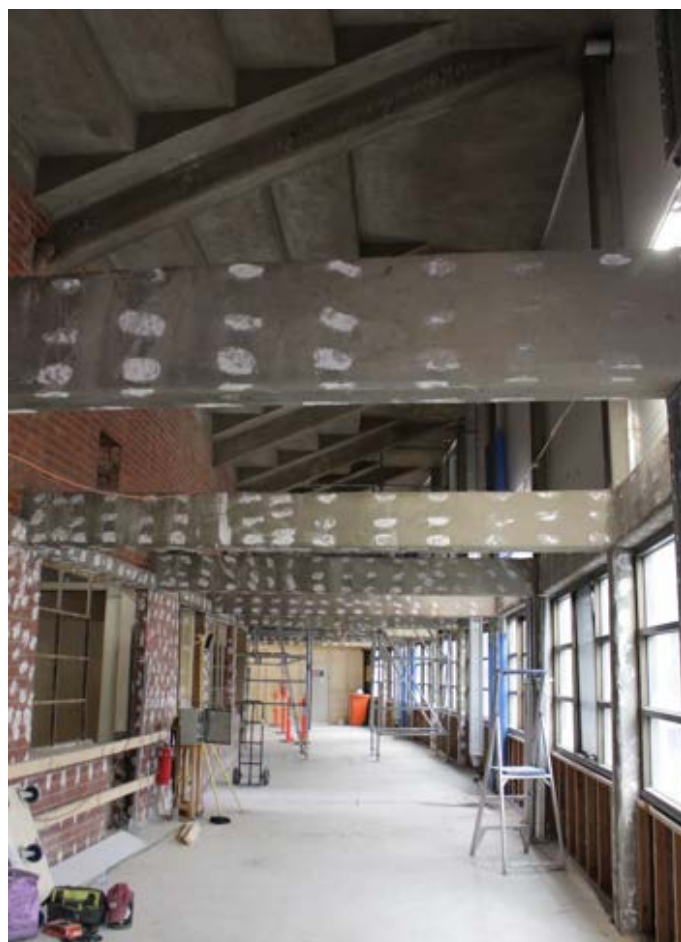


Figure 32: Promenade along the rear of the site with structural works having revealed the expanse of the double height space

3.3 Review of Significance

The Glenferrie Oval Grandstand has been attributed with architectural and historical significance to the state of Victoria.

In addition, the existing statement of significance notes that the Glenferrie Oval Grandstand retains historic associations with Hawthorn Football Club, as well as the architect Stuart Calder. While it is unclear whether these associations would meet the threshold for state-level significance, specific criteria related to these associations are as follows:

- Criterion G: Strong or special association with a particular present-day community or cultural group for social, cultural or spiritual reasons.
- Criterion H: Special association with the life or works of a person, or group of persons, of importance in Victoria's history.

The *Glenferrie Sports Ground & Grace Park Precinct Heritage Assessment* (Context, 2006) identifies the Glenferrie Sports Ground as a specific area within the sporting precinct consisting of the complex of facilities to the eastern portion of the sporting precinct, "including the car park, swimming pool and Glenferrie Oval and Grandstands [the report was prepared before the demolition of the Ferguson Stand in 2023]."²⁹

Further to the VHR statement of significance, the assessment identifies that the Glenferrie Sports Ground is significant at a local level under Criterion G:

Glenferrie Sports Ground has significant social values as a place with long-standing and continued use by the Hawthorn and broader local community for over 100 years for a variety of recreational and community purposes. It is significant as the spiritual home of the Hawthorn Football Club and the Hawthorn Football Club, even though they no longer use the ground.

The landmark qualities of the site as a whole, and iconic elements such as the Michael Tuck Stand contribute to the identity of Hawthorn as a suburb, and, for the local community, provides a visual reference point in their daily lives.

*It is a place where the Hawthorn community has gathered to celebrate and commemorate special occasions over a 100 year period. It is a place that continues to be used and highly valued by the local and football communities as an active and passive recreation resource, community meeting place, a vibrant social hub and a place where football traditions continue.*³⁰

3.4 Constraints and opportunities

Streamline moderne characteristics + features

The architectural significance of the place is directly related to the application of the streamline moderne style. Key characteristics and features representative of this style, including horizontality in form and detailing, curved vertical elements, and the lightweight structural columns in the grandstand should be retained, enhanced, or sympathetically adapted in proposed works.

There are opportunities for positive change which reveal the original design intent to the Linda Crescent entrance, the rear (west) elevation, and the covered way.

Openings and massing

The original design established a dramatic yet well resolved balance of solid and void, which has been unsympathetically altered to the extent where this intent can no longer be interpreted (although structural repairs have improved the legibility of this intent internally). This is particularly evident to the west elevation and promenade space, which would have originally been a vibrant and transparent elevation, but which now reads as the heavily serviced rear of the building.

There is considerable opportunity to remove or adapt these later infills to more clearly express the design intent and structural articulation.

Views + Sightlines

The building is in a prominent location, with key views from Linda Crescent (from the north) and the oval and railway line (from the east). Given this level of visibility, there is little opportunity for new additions to adjacent to the grandstand, or for alterations to the original external walls or roof form.

Any changes to the grandstand seating would also be highly visible and would therefore need to be carefully considered and clearly necessary. When viewed from these key viewpoints, any change must be deferential to the original heritage fabric, and of the minimum size practical.

Landscape

Although the grandstand building is currently vacant, the oval and surrounds continue to be a gathering place for sports and socialising, a use which should also be encouraged.

The site's existing landscaping is broadly similar to the original design. Original features include the ticket booth, turnstile and brick walls to Linda Crescent, the runout from the covered way to the oval, and the retaining wall stepped seating to the norther side of the oval. These original features should be retained.

The area between the oval and the building was original designed as a standing spectator area. Should the capacity of the grandstand be reduced, more formalised spectator areas could be provided in this area.

Compatible Use

The ongoing use of the building as a sporting facility by the public would be a positive outcome. However, its capacity for spectators is limited by current exit widths, and a compatible additional use which respects the significance of the place, and its associations and meanings, would ensure the building is not partially redundant.

As a Council owned building, additional community uses with minimal impact on the significance of the place would be appropriate, particularly where they increase access to and understanding of the place.

Previously alterations

The interior of the ground floor has been largely altered in the past, with all original floors and most internal walls removed. This area has the highest tolerance for change and could house spaces requiring the addition of services with minimal impact on significant internal fabric.

Where they impact on the legibility of the place's significance, later alterations should be removed.

²⁹ Context, Glenferrie Sports Ground & Grace Park Precinct Heritage Assessment, September 2006, p2.

³⁰ Context, Glenferrie Sports Ground & Grace Park Precinct Heritage Assessment, September 2006, p43.

Compliance with contemporary standards

Analysis of stakeholder needs, including safe use of the space and compliance with contemporary standards would need to be completed, with any potential dispensations or approval of partial compliance investigated.

As a Council owned and funded building, there may be a requirement for a higher level of compliance than at privately owned or residential places.

Interpretation

Following the vacating of the site by the Hawthorn Football Club, the significant association with the team is not readily apparent. There is opportunity for this association to be commemorated through interpretation, which could be developed with the Hawthorn Football Club.

It is anticipated that some required changes may impact the significance of the place, in this case interpretation should be provided to assist in mitigating any reduced legibility of the place's cultural significance.

04 The Proposal

4.1 Summary

The proposed works seek to allow changes required to enable the ongoing use of the site for recreational and sporting purposes. It additionally seeks to introduce new, leasable community spaces to the grandstand.

A summary of the proposed works is outlined below:

External works

- Removal of later infill to original openings, including the covered way, high level windows, southern end of the grandstand, and west elevation;
- Alteration to openings within the existing covered way;
- New entrance from Linda Crescent, replacing non-original existing entrance;
- Structural upgrades to the existing roof, and replacement of non-original metal roof cladding and drainage system;
- Installation of photovoltaic panels to the roof;
- Conservation works.

Internal works

- Reconfiguration and fitout of the ground floor (changing rooms, umpires' rooms, multipurpose room and kitchen, storage, and amenities);
- Introduction of new vertical circulation, including a passenger lift and stairs compliant with relevant access requirements.

Additions

- Provision of new function space located within the upper seating area of the grandstand.

Landscape

- Partial replacement of the extant retaining wall along the northern boundary of the oval;
- Introduction of tiered seating and standing areas to the front of the grandstand;
- Introduction of integrated compliant access paths and ramps.

4.2 Background to the Application

4.2.1 Access to buildings for people with a disability

VBA Building Practice Note Access AC-01 describes the requirement for access to buildings for people with a disability:

Section 23 of the Disability Discrimination Act 1992 (DDA) makes it unlawful to discriminate against another person on the ground of the person's disability in relation to access to, or use of, premises. As a result, any new and existing buildings undergoing building work must comply with the Access Code in Schedule 1 of the Premises Standards, which has been incorporated into the National Construction Code (NCC).

A Registered Building Surveyor (RBS) who approves building work that does not fully comply with the access provisions will be acting unlawfully under the DDA, unless it is specifically determined by the Buildings Appeal Board (BAB) that compliance would detrimentally affect the features of the building that are essential to its heritage. The RBS should provide project specific advice on the matter.

Compliance with the access provisions is required to the maximum extent not involving unjustifiable hardship. Further, while the case for unjustifiable hardship may be made in some circumstances, it is often the case that non-compliance with the access standards would limit the use of the building, to the extent that this use may become unfeasible.

At the subject site, accessibility requirements are as follows:

- Accessible car parking;
- Step free access from the accessible car parking to all internal and external public spaces, including changing rooms;
- A passenger lift to all levels;
- Doors to have a clear opening width of 850mm or above;
- Provision of accessible amenities.

4.2.2 The Building Act 1993 and the Building Regulations 2018

The Building Act 1993 and the Building Regulations 2018, including the National Construction Code (NCC), set out the requirements for health, safety and amenity in new buildings or new parts of existing buildings.

The Building Regulations include requirements for compliance, including those in relation to alterations to existing buildings:

...if proposed alterations to an existing building, together with any alterations completed or permitted within the previous 3 years, relate to more than half the original volume of the building, the entire building must be brought into conformity with the Regulations. The original volume of the building refers to the volume immediately before the previous 3 years.³¹

The proposal would relate to more than half the original volume of the building, meaning that compliance with the Building Regulations is required. This includes compliance with the NCC as it relates to:

- structure,
- fire resistance,
- access and egress,
- services and equipment,
- health and amenity,
- energy efficiency.

Notwithstanding this requirement, the Building Act provides the potential for non-compliance of 'historic buildings and special buildings':

Section 28 of the Act provides a power for the RBS to issue a building permit for building work that does not comply with the regulations if the work is to be carried out in connection with a building included on the Heritage Register established under the Heritage Act 2017.

The building permit may be issued to enable the carrying out of work appropriate to the style, manner of construction and materials of the building.

In deciding whether to [...] issue a building permit for building work that does not comply with the regulations, the building surveyor is required [...] to consider:

- i. *The structural adequacy of the building; and*
- ii. *The requirements necessary to make reasonable provision for the amenity of the building and the safety and health of people using the building.³²*

It should be noted that while the RBS has the discretion to issue a building permit for work that does not comply with the regulations, the final decision must be made on a case-by-case basis, often with consideration of expert advice and potential design options.

Further, as discussed in Section 5.4 below, as a Public Authority, Council have additional requirements to provide safe and equitable public spaces which may require a greater level of compliance.

4.2.3 Existing Condition of the Roof

The existing roof was inspected by L&R Structural Engineers in March 2025. The inspection found that:

- The roof structure is original steel framed cantilevered roof trusses, with loading of some members at up to 135% capacity.
- Roof cladding is non-original galvanised Trimdek ribbed metal roof sheeting in moderate condition estimated to be around 25+ years old;
- Ceiling soffits are non-original fibre cement sheets with timber framing, suspended on hoop iron droppers secured to the timber roof purlins;
- The existing stormwater drainage system, in particular the gutters, is blocked and inadequate for the capacity of the roof;
- The roof, including the framing, cladding, ceiling soffit framing and cladding, and stormwater system is in poor condition, likely caused by and leading to ongoing water ingress.

The recommendation by L&R Structural Engineers was that the original structure be remediated, and the remainder of the roof cladding and stormwater system be replaced in full.

31 Victorian Building Authority, 'Building permits and other exemptions BP 12: Exemptions from compliance with Regulations', *Building Practice Note*. 13 May 2024, p6.

32 Victorian Building Authority, 'Building permits and other exemptions BP 12: Exemptions from compliance with Regulations', *Building Practice Note*. 13 May 2024, p4.



Figure 33: Visualisation of proposed works showing the front elevation of the grandstand from the oval (supplied by Architectus)
 Note: Landscape is shown indicative only

4.3 Details of the Proposal

4.3.1 Demolition

It is proposed to remove non-original alterations which reduce the legibility of the original design intent:

- Infill of the northern portion of the covered way, and the chain link enclosure to the southern portion and the external stairs;
- Infill of the southern diagonal wing wall;
- Infill of the openings on the west elevation – both to the promenade and the upper level of the grandstand;
- Infill of the former refreshment bar.

Further demolition is also required to accommodate the proposal:

- Removal of existing ground floor former changing room and WC walls and floors;
- Removal of ground floor windows to allow for replacement with thermally compliant matching windows, and the installation of one door;
- Isolated removal of ground floor brickwork to allow for the installation of new external doors to changing rooms;
- Penetrations through the concrete plats for proposed structure, stairs and lift;
- Removal of non-original entry from Linda Crescent, including non-compliant access ramp, entry doors, walls and roof.

Permit No. P38879 requires the bench seating salvaged and stored to be reinstated within the life of that permit (i.e. by 28 November 2027). Therefore, the proposal not to reinstall this seating to the upper grandstand and the central bays of the lower grandstand is also considered demolition.

4.3.2 Additions and Alterations

It is proposed to undertake the following alterations and additions.

Ground floor

To the covered way, it is proposed to reinstate the previously removed original wall to the west side, and to install a new door providing direct access to circulation space and changerooms. Three original windows to the proposed multi-purpose space would be replaced with new to match the appearance of the original. It is also proposed to install metal railings to the external stair, and new doors within five non-original bays of the west elevation.

Internally, it is proposed to alter the layout to provide:

- Accessible circulation space from the car park on the west of the building to the covered way on the east;
- Passenger lift, including enclosure of the existing stair from promenade north entrance to ground floor;
- Four changerooms, an accessible change room and WC, two umpires' rooms, and a first aid room, accessed from the covered way and circulation space;
- Sports stores and plant, accessed externally from the west;
- Multipurpose room with adjacent stores, kitchen and servery, and WCs;
- Public WCs, accessed from the covered way.



Figure 34: Visualisation of proposed ground floor interiors showing the band room (supplied by Architectus)



Figure 35: Visualisation of proposed ground floor interiors showing female athletic changerooms (supplied by Architectus)



Figure 36: Visualisation of proposed addition within the upper grandstand seating area showing interior of the function room (supplied by Architectus)



Figure 37: Visualisation of reinstated promenade with exposed concrete structure and double height openings to the west (supplied by Architectus)



Figure 38: Visualisation of proposed works showing the north elevation of the grandstand from Linda Crescent (supplied by Architectus)

Promenade level

Due to the level change across the site, the main entry to the building is from Linda Crescent, at promenade level. A single storey, largely glazed public entrance to the building is proposed, incorporating a reception, offices, and services.

Internal layout changes at promenade level are proposed to provide:

- Public WCs within the largely altered former refreshment stand at the southern end;
- Community rooms below the concrete plats, accessible from the promenade;
- Passenger lift and stair from the entry to the ground floor, grandstand and grandstand function space;
- Enclosure of the two central stairs to the grandstand.

Grandstand lower, seating area

It is proposed to maintain the grandstand lower as a seating area, requiring the following works:

- Installation of new grandstand seating, including wheelchair seating, to the central bays;
- Installation of new handrails to the east balustrade wall and the northern and southern grandstand stairs;
- Reinstallation of the previously salvaged and stored bench seating to the north and south bays, and the front row of the grandstand;
- Installation of a new stair from the grandstand level to the upper grandstand addition, above the existing stair to the promenade;

Grandstand upper, addition

Within the upper level of the grandstand, it is proposed to construct a new largely glazed addition, providing a function space, kitchen, balconies and WCs. The addition would be accessed by the lift, and two stairs.

An external plant deck would be provided behind the new addition.

Roof

It is proposed to undertake structural works to the existing roof structure, and to replace the existing, non-original metal roof finish with new. It is also proposed to replace the existing lined roof soffit with new to match the existing, and to replace the existing non-original gutters with new to meet contemporary stormwater drainage requirements.

Solar panels in line with the roof pitch are proposed to the central portion of the roof, with two hatches providing maintenance access from the roof to plant below.

4.3.3 Landscape

The proposed landscape design would provide:

- Compliant access to and around the site;
- Formalised external spectator areas;
- Space for non-sporting / events e.g. markets;
- Extension of the stepped retaining wall and fencing currently located to the northern side of the oval;
- Screened bin store adjacent to the south stair.

4.3.4 Conservation works

A detailed description of proposed conservation works can be found in the Schedule of Conservation Works, which has been included as an appendix to this HIS.

A summary of the proposed conservation works to the existing building include:

- Repairs to the roof structure, finishes and stormwater drainage;
- Removal of remnant plaster dabs to internal render and brickwork;



Figure 39: Visualisation of proposed works showing the promenade entrance foyer (supplied by Architectus)

- Repairs to original internal and external finishes, including repointing brickwork and repairs to damaged render and plaster;
- Repairs to concrete elements, including soffits, roofs and projecting horizontal surfaces;
- Timber repairs and repainting of salvaged and stored bench seating;
- Repairs and repainting of original internal window frames;
- Removal of graffiti;
- Conservation and protection of original heritage features, including painted signage, turnstile and ticket booth.

4.3.5 Interpretation

The proposal allows for interpretive signage, and conservation and explanation of original features, including the bench seating and broadcast areas. It would also include visual and text descriptions of the original design and use, and of the works completed, enabling both to be understood by visitors.

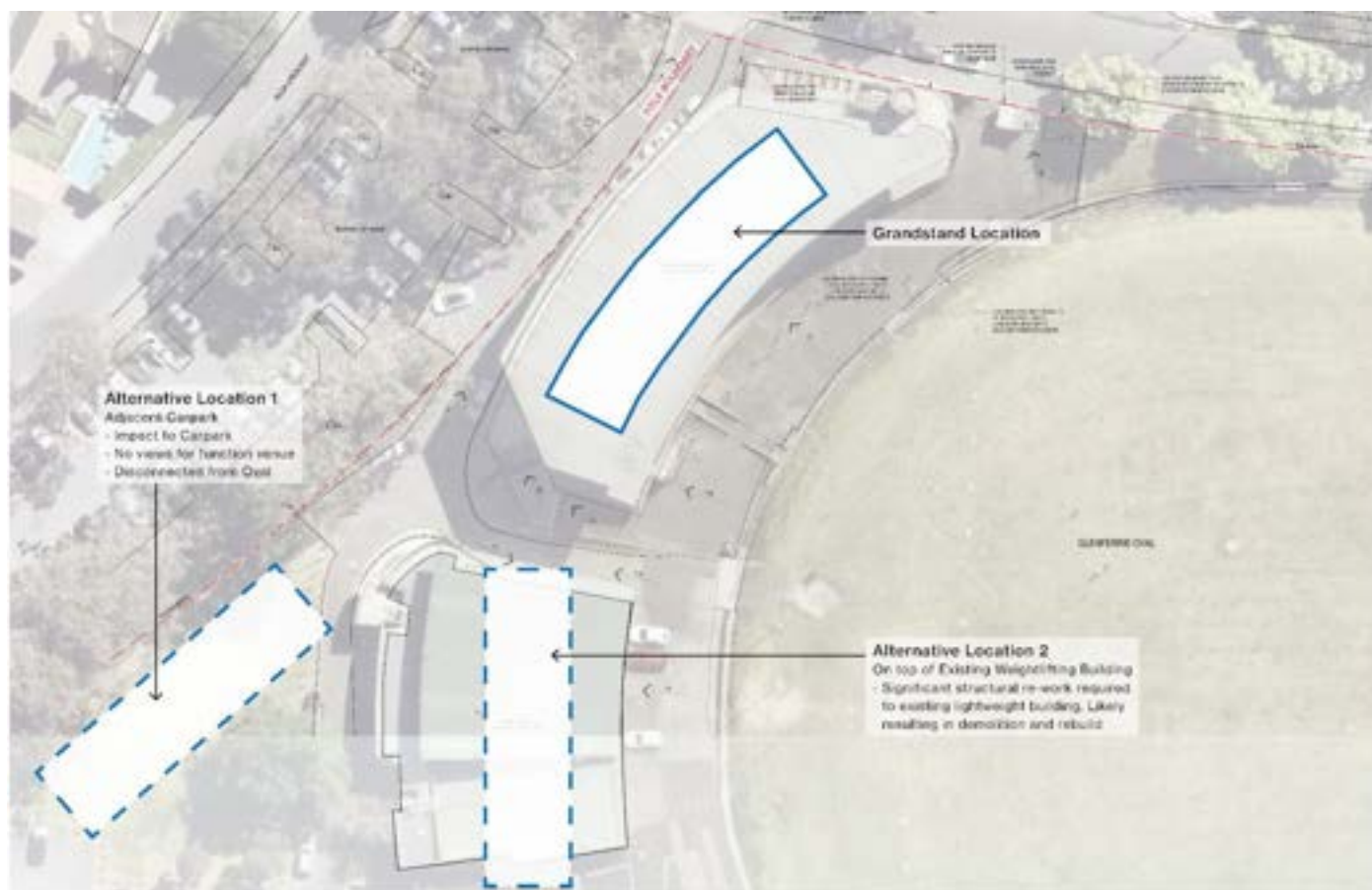


Figure 40: Diagram examining potential alternate locations for siting the function space addition (supplied by Architectus)

4.4 Consideration of alternative options

4.4.1 Function Space

Council's brief for the project included a function space, with the following requirements:

- Large multi-purpose space, ideally 150 m² (150-person capacity), for community and sporting events with views to the oval;
- Ability to be independently used, with its own access, kitchenette, storage, WCs etc.;
- Premium leasable area providing ongoing economic benefit to the site.

Several alternative locations for the function space were investigated at concept stage.

The proposed location of the function space within the upper level of the grandstand seating is based on the following considerations.

Addition to the north or east

Additions to the north or east would have a significant impact on landmark views of the grandstand from Linda Crescent and the oval. Space in these locations was also limited, and these options were discounted.

Addition to the west

Additions to the west of the building would also have a visual impact on the significance of the building, although the impact would be less than the north or east sides.

However, this location is currently a car park which serves the oval and weightlifting centre, and which would also provide car parking for the subject building. The land is on a

separate title, contains a number of established trees, and is a transport zone under the Boroondara Planning Scheme, making development more difficult. Finally, there is no opportunity for views to the oval.

This option was also discounted.

Addition to the southwest

This option is identified as Alternative Location 1 within Figure 40.

Similarly to the addition to the west, this option would impact the use of the existing carpark, and would provide no opportunity for views to the oval. It would be disconnected from the existing grandstand building, and would require the removal of a significant tree.

Addition to the south

An addition to the south of the building would have the lowest physical and visual impact on the grandstand itself. However, there is limited space in this location, due to the weightlifting centre, constructed in 2001.

While this building has no attributed cultural heritage significance, it is well used and was constructed within the last 25 years specifically as a weightlifting centre. Its lightweight construction method would not support additions, requiring its demolition to allow for the function centre to be constructed.

The cost, sustainability, and functionality impacts of this option led to it being discounted.



Figure 41: Grandstand seating area with existing exit stairs indicated by arrows – note the fourth exit stair from the grandstand seating area to the promenade has been designated for the required provision of an accessible lift, and is therefore not included in the evaluation of fire safety exits

Grandstand exits and safe capacity

An early consideration in this project was the capacity of the grandstand seating, in particular the requirement for escape exits, which is guided by Section D of the NCC.

There are currently five existing, useable exit stairs from the grandstand seating: three to the promenade, one to the north, and one to the east. These stairs provide a total exit width of 7.5m, allowing a maximum capacity of 860 people.

The current capacity of the grandstand, based on bench seating being used, is approximately 2040 spectators. To allow for this number of spectators to safely exit, an additional 10m of exit width would be required, approximately equivalent to four structural bays being replaced with stairs, plus an additional stair on the east elevation.

The physical and functional impact of these additional exits would clearly be substantial, and therefore this option was not progressed further. The alternative lower impact approach – limiting the capacity of the grandstand – was preferred.

Under this option, much of the lower portion of the grandstand could be served by the existing exits, particularly if individual seats rather than benches are used to manage spectator numbers. From a management and atmospheric perspective, keeping spectators within the lower portion of the grandstand was found to be preferable to alternative layouts such as using only the central bays.

Proposed function space location

As a consequence of the limited grandstand capacity, the upper portion of the grandstand seating would have no ability to continue its original function as spectator seating.

As an alternative to becoming redundant, with physical barriers installed to prevent access, the upper level of the grandstand provides an opportunity for the function space required under Council's brief.

05 Assessment

5.1 Introduction

The following section assesses the proposal against the relevant statutory requirements for permits under the *Heritage Act 2017*.

As the proposal does not affect any World Heritage Sites or World Heritage Strategy Plans, assessment against clause s101(2)(e) is not applicable and therefore has been omitted.

Overall, the proposed change impacts:

- Ground floor internal spaces including the former changerooms and training room;
- The windows and the non-original enclosure of the covered way;
- The non-original main entrance from Linda Crescent;
- The non-original elements of the west elevation;
- The upper portion of the grandstand, including penetrations to the concrete plats, sightlines to high level windows at the rear, and legibility of columns;
- Detailed assessment of these impacts against relevant clauses of the *Heritage Act 2017* is as follows.

5.2 Clause s101(2)(a)

s101(2)(a)—the extent to which the application, if approved, would affect the cultural heritage significance of the registered place or registered object;

5.2.1 Lift

It is a requirement under the DDA to provide equitable access into and within the building, to all levels:

- Ground floor changerooms and multipurpose space, and entry/exit to oval and carpark;
- Promenade and entry/exit to Linda Crescent;
- Grandstand aisle level (wheelchair seating will be provided at aisle level, with no requirement for lift access to the remainder of the grandstand seating);
- Function space.

Installation of a lift typically requires demolition of floors and/or roofs, and to minimise demolition it is proposed to install only one lift to serve all four levels. There are limited areas within the building where all four levels can be accessed from one location.

The original building design provided a circulation zone adjacent to the Linda Crescent entry which connected ground, promenade and grandstand aisle level using two stairs, of which one – the stair from promenade to grandstand aisle level – has since been removed. The area immediately below the removed stair at ground floor is a later addition to the building, created through excavation of original fill.

It is proposed to utilise this location for the proposed lift, requiring demolition of the existing promenade floor, adjacent stairs, and concrete plats to the grandstand.

The proposed demolition would have a physical impact on the place. The proposal would limit the impact as much as possible by locating the lift in a previously altered portion of the building, and by limiting demolition to the minimum possible area necessary for construction of the new works, including full retention of the raked structural beams.

Further, the design of the proposed function space, with the lift set back behind an external balcony, would ensure that the existing structural columns supporting the roof retain visual primacy, and that the lift appears more recessive.

5.2.2 Ground floor

Proposed new works at ground floor have been designed to allow the building to continue to be used as a sporting venue meeting contemporary standards, and to accommodate an additional leasable multi-purpose space with direct access to the oval.

Interior

The existing concrete floor slab to the north and west portions of the ground floor is not original and appears to have been added in stages as the ground floor was altered and enclosed. Its removal and the subsequent installation of a new concrete slab throughout is necessary to provide equitable, step free access within the building, and would be a neutral heritage impact.

The proposal includes demolition of original internal walls to the former changing rooms and WCs. While these walls are original fabric and contribute to an understanding of the original use of the place, they have been largely altered and are in poor condition. Their removal is proposed to enable the construction of compliant equivalent spaces, enabling the original sporting use of the building to continue.



Figure 42: Front, east elevation of the grandstand with infill of the covered way indicated by orange highlight with yellow dash



Figure 43: Steel framed multi-paned windows to the covered way

The proposed internal spaces would be highly serviced and regularly cleaned spaces requiring robust and durable internal finishes. Changerooms, amenities and kitchens would also require moisture resistant or waterproof wall and floor linings. It is proposed that these new finishes be installed on new internal walls, constructed adjacent to any retained original walls. This approach would also allow new services to be concealed in the resulting void, minimising the physical impact on original fabric and allowing the proposed changes to potentially be reversed in the future with minimal impact.

Other ancillary spaces such as WCs and storage are proposed to be located at the rear of the building, allowing the larger and more public spaces to take advantage of the open space provided by the former training room, and the connection to the covered way and oval.

Covered way

Infills and alterations to the covered way, including demolition of the original external wall to the west side, have reduced the legibility of the building's original streamline moderne characteristics. The proposal would reinstate of the original horizontal nature of the covered way, including the rhythm of regular openings in the brickwork wall originally provided by steel framed windows.

Proposed changing room doors would be installed in brickwork at the south end of the covered way, largely concealed by the external stair and in an already altered location. This approach would allow the existing changing room windows (including to the south elevation) to be retained.

Glazing in the existing changing room windows (including to the south elevation) would be replaced with Grade A safety glass, required for safety reasons in any wet area. Other works to these windows are covered in 5.2.4 Conservation Works, and all would be completed in situ.

The RBS has confirmed that full compliance with thermal insulation standards will be required to conditioned spaces. At ground floor, this is limited to the multi-purpose room, kitchen, band and multi-purpose stores, and WCs. Further, weatherproofing of external walls and windows will be necessary.

The energy consultant considered a number of potential routes to compliance. The proposal is a combination of multiple approaches:

- Retention of the existing exposed concrete columns;
- New insulated walls constructed adjacent to the existing brick external walls;
- Replacement of three original steel framed windows with new double glazed, weatherproof and thermally broken alternatives to match the existing.

Internal secondary glazing was considered, as it would allow improvements to the thermal performance of the windows. However, it would reduce their operability and limit future maintenance to the external side only. Further, there would still be a requirement to weatherproof the windows.

It is recognised that removal of the original windows would have a negative impact on the fabric of the ground floor, however, the proposal would allow the interior of the

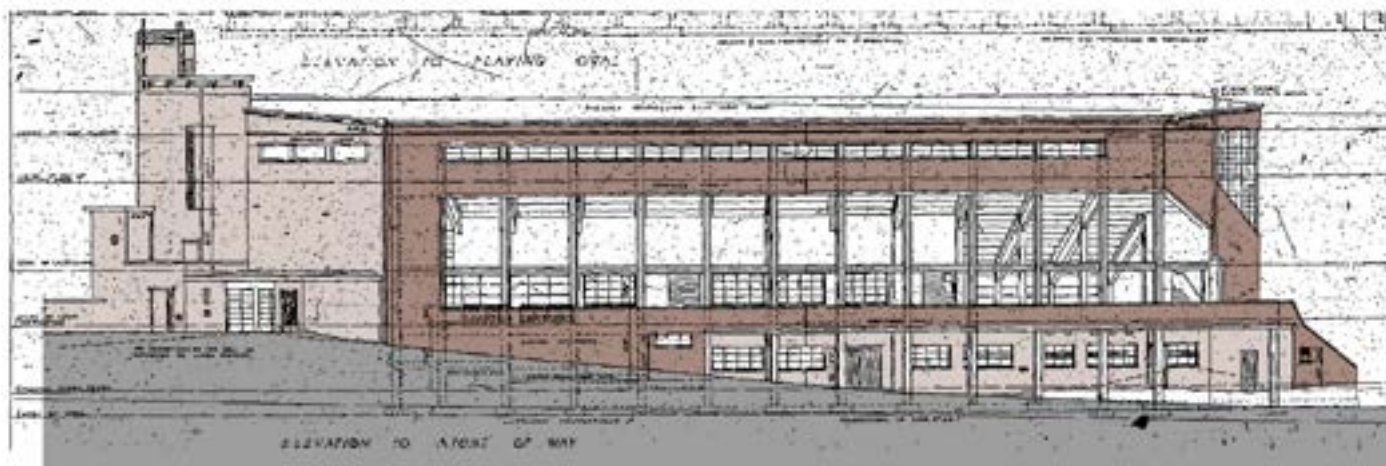


Figure 44: Annotation of the original west elevation, showing open spans (white), material/massing in the foreground (brown) and material/massing in the background (light brown)
(copy of original drawing supplied by Council, annotations by RBA Architects + Conservation Consultants)

building to be fully compliant and functional. The aesthetic impact of the proposal from the exterior would be minor, and from the interior it would allow the internal concrete structure and presentation of the windows to appear unchanged.

Overall, the reinstatement of the original full extent of the covered way would be a positive outcome. The potential negative impacts of changes required for compliance have been minimised as much as is practical.

West elevation

The originally external area below the promenade has been enclosed with brick infill walls. While sympathetically designed, its removal of the brickwork and replacement with a lightweight cladding and external access would more clearly denote the original separation between solid and void, and would be a positive outcome.

5.2.3 Promenade level

Visibility of original fabric and design intent

The proposal maintains visibility of the original form of the promenade, which was revealed by the recently completed structural works. The original concrete beams and columns, and the balance of solid and void would be retained, while the installation of glazing to original openings, and construction of insulated secondary walls adjacent to the external wall and insulated raked ceiling to the underside of the stepped concrete plats would allow the promenade to be a usable internal space.

New services would be required for the proposed building uses; these would be exposed and installed at high level within the promenade, allowing the overall volume to remain legible.

Original elements including rendered finish to concrete elements, brickwork and windows to eastern (internal) wall would be retained, and conservation works completed, a positive outcome.

New spaces accessed from promenade

Three new spaces would be accessed directly from the promenade. The amenities to the south end of the promenade would be located in the former refreshment area, a highly altered space and a suitable location.

Two community rooms to the northern end of the promenade would utilise alterations made as part of earlier,

similar alterations to the place, and would take advantage of vacant spaces between the ground floor ceiling and underside of the grandstand seating. The internal windows which originally provided public views from the promenade to the would be retained and re-glazed, allowing views into the community rooms.

The three new spaces are appropriately designed to retain and conserve existing original fabric while providing additional leasable community space within the building.

New entry from Linda Crescent

Demolition of the existing Linda Crescent entry would be limited to non-original walls, roof and floors, and is proposed to enable the construction of a contemporary, welcoming and accessible public entry to the building, including ramped access and a reception.

The proposed addition would be largely glazed and of a similar scale and form as the original. It would maintain the horizontality, which is a feature of the building, while clearly being a contemporary addition.

The demolition of the existing entry from Linda Crescent, and construction of the new entry would have a neutral impact on the significance of the place.

5.2.4 Grandstand lower

Seating

The proposal allows for 410 spectators, including 9 wheelchair seating spaces, located in the lower central bays of the grandstand. The proposed seating would typically be individual fold up seats, allowing for management of spectator numbers. Wheelchair seating would require level access from the aisle, and would be provided on four separate platforms installed on top of the existing concrete plats. Original bench seating for use by spectators would be reinstated to the front row of the grandstand.

Further, it is proposed to reinstall the previously salvaged and stored seating to the north and south bays of the grandstand lower, with handrails fixed to the existing adjacent steps preventing spectator access. Interpretive panels would also be provided.

This approach would allow the original grandstand seating to be viewed and interpreted, while safely limiting spectator numbers. Preventing access to the existing north and south balustrades would also remove the requirement to increase their height to comply with fall protection requirements.

The proposal would balance contemporary safety, access standards, and comfort expectations with retention of original fabric. It would minimise the required physical and aesthetic changes to the most visible lower part of the grandstand, allow the grandstand to continue to be used by spectators, and would be an appropriate outcome.

Stairs to promenade

It is proposed to enclose the two stairs from the grandstand aisle to the promenade, preventing access.

As the stairs terminate within the proposed internal promenade space, an airlock and landing would be required at either the top or bottom of the stairs. The requirements to maintain the grandstand aisle would prevent an airlock from being provided at the top; the alternative would be a glazed airlock within the promenade, impacting its use as a flexible space and the original, open, design intent.

With the proposed reduced spectator numbers, these stairs are no longer required for safe exit from the grandstand. The proposed enclosure of the stairs would be reversible and the least impactful option. The enclosure at promenade level would allow large interpretive panels to be installed on new walls, further lessening the proposal's overall impact.

5.2.5 Grandstand upper, new addition

The requirement for a flexible leasable space, and its proposed location within the grandstand upper is discussed in Section 4.4.1.

In addition to the lift, it is necessary to provide two exit stairs from the new addition, with at least one discharging to promenade level. The proposal includes one stair to the grandstand aisle, located above the existing enclosed stair, and a second stair behind the proposed lift, to the Linda Crescent entry.

The design of the flexible space has developed over the course of the project to reduce its impact on the architectural significance of the place, with changes responding to feedback from Heritage Victoria and RBA. These changes include:

- Reduction in footprint to allow increased setbacks from both the north and south elevations, and the existing southern structural column;
- Introduction of external balconies allowing the visibility of the existing structural columns, and breaking up the massing of the addition;
- Materiality changes, including lightweight perforated screening below the proposed addition;
- Setback of the screening below the proposed addition behind the existing structural columns;
- Use of space above the enclosed grandstand stair for a compliant escape stair, reducing the extent of demolition of the concrete slabs;
- Change in path and location of stair to promenade level, further minimising the extent of demolition required;
- Detailed design changes to emphasise the horizontal and lightweight nature of the addition.

The proposed addition would be a clearly contemporary design, guided by the horizontal Streamline Modern style, and the gentle curved plan of the existing building (refer Figure 33). Its scale, massing and extent of necessary demolition (limited to that required for the lift and stair) have been reduced to the minimum practical size.

The proposed internal stair to the Linda Crescent entrance would also be a clearly contemporary addition, utilising an independent structure (refer Figure 39). The interior of the

promenade is a robust and utilitarian space. As a new addition, the proposed stair would have an aesthetic impact on the interior of the promenade, however it would be distinguished by its lightweight and contemporary design, reducing its impact.

Further, the design provides the opportunity for new views and understanding of the upper part of the promenade, a previously inaccessible feature of the building.

5.2.6 Roof

The proposed demolition works to the roof would be limited to non-original fabric. The materials proposed for replacement would match the existing to the visible roof soffit, and to the cladding would be a suitable alternative.

Safe access to and over the roof for maintenance would also be required, and would be provided using a low profile, clip-on cable system. The potential impact of the two permanent roof access hatches each with permanent post and rail barrier systems would be limited by their location in the centre of the roof, minimising visibility.

The proposed solar panels to the roof have been limited to the number required to service the building. They would be installed at the same angle as the roof fall, and would not be visible from the surrounding streets or the oval. Their installation would align with Council's sustainability objectives, and would have a minimal impact on the significance of the place.

The proposed structural works would require new strengthening members to be affixed to the top and bottom chords of the roof structure, concealed within the roof build-up. It would not require removal of existing roof structure unless it is found to be severely corroded. The structural works allow the safe occupation of the building by the public, and would be sufficient to support the installation of solar panels.

5.2.7 Landscape

The original design for the grandstand showed the sloped, asphalt areas between the covered way and the oval as standing areas for spectators, with steps and a runout providing access from the ground floor onto the oval. The standing area and runout remain. Access to the ground floor from Linda Crescent is via the turnstile and ticket booth, requiring a level change of approximately two meters – currently preventing safe access for wheelchair users.

The proposed landscape design would provide defined and compliant ramped access from Linda Crescent to both the front and rear of the building. It would also provide external stepped seating facing the oval, and two level areas allowing the external space to host informal events.

The existing brick retaining walls and fencing to the northern side of the oval would be partially extended in front of the building, allowing the steep slope from Linda Crescent to be reduced to a more gradual slope.

The existing low level brick walls to the covered way and runout would be retained and conserved, with new handrails and steps installed on new fabric adjacent to, rather than attached to, the existing. The proposed installation of one additional opening from the covered way would be appropriate given the original design for three stepped openings in this area.

Compliant access is required to any public building. The proposal would minimise the impact of this requirement on the heritage values of the place by integrating it into a holistic landscape design allowing the area to be used for both its original purpose as a spectator area and to activate the oval for non-sporting purposes.

5.3 Clause s101(2)(b)

s101(2)(b)—the extent to which the application, if refused, would impact the reasonable or economic use of the registered place or registered object;

5.3.1 Reasonable use

Sporting Use

The Glenferrie Oval Grandstand was designed as a sporting facility, with spectator stand, changing rooms, training area, and administration spaces for the Hawthorn Football Club. As required by this single team use, there was clear separation between the team and administration areas at ground floor, and publicly accessible spectator areas at first floor and grandstand level.

While there is now no single ‘tenant team’ who could utilise the whole building, the proposal would continue this historic sporting use, providing facilities for use by a number of local sporting groups, including those who have historically been under-represented in sport.

This change in user types, and modernisation of sporting facilities more generally, requires the provision of spaces compliant with contemporary standards, including accessible changing rooms, storage for a variety of sporting types, and improved access from the changerooms to the oval and car park. Step free access, including a lift, is required to all areas.

The continued use of part of the place as a sporting facility is the most appropriate use, and a positive outcome. The proposed works relating to this ongoing sporting use – changerooms, level access, and safe limit to seating numbers – are necessary to provide compliant facilities. Refusal to issue a permit for these works would prevent the reasonable use of the place, possibly leading to it becoming redundant.

Other community uses

Since 1974, when the Hawthorn Football Club’s home games were moved to Princes Park, the use of the building for a purely sporting purposes has decreased. It has increasingly been used for administrative and community uses, firstly by the Hawthorn Football Club, and then by City of Boroondara.

The community uses included in the proposal – a multipurpose room (including band room), community meeting spaces, informal gallery, and a new function space within the grandstand – are preferred to the recently removed small, cellular offices.

These varied uses would increase access to the building by those who may not otherwise visit, improving interpretation and understanding of its cultural significance. The increased level of use would also improve consistency of passive surveillance and safety of the area, allowing the building to act as a community hub and meeting place.

The proposed uses represent existing community needs. In the case of the use of the multipurpose/band room, the acoustic and spatial requirements of the use limit potential alternative locations within the municipality. The proposed location of the multipurpose room would provide acoustic protection from nearby residential properties, and sufficient space for the band and storage. Historically the site, and more recently the grandstand, have successfully been used for this purpose, demonstrating its compatibility.

Given the demonstrated limitations on the original sporting use, refusal to issue a permit for this aspect of the proposal would prevent the full use of the building.

5.3.2 Economic use

As a local authority, Council are required to undertake responsible spending and investment that ensures financial, social and environmental sustainability.

Council have recently completed structural repairs to the grandstand at a cost of \$1.5 million, while the current cost of works estimate for the proposal is \$19.58 million including conservation works currently valued at \$211,000 and approximately \$2.7 million for upgrades to the roof.

As a Council owned community facility, the Glenferrie Oval Grandstand is not anticipated to operate at a profit. However, it will be necessary for the Glenferrie Oval Grandstand to generate income to assist in its ongoing economic viability, including future maintenance and conservation.

The multi-purpose community space located within the grandstand is anticipated to be the primary income generator of the proposal, with the ability for it to be used as a standalone venue for events and meetings. Other community spaces are anticipated to be used by a variety of local groups, likely including the Community House, YMCA Victoria, Hawthorn brass band, Hawthorn Artists Society, and local sporting clubs.

Refusal to issue a permit for these works, particularly in respect to the function space, would reduce the ability of Council to generate income critical to the place’s continued use as a sporting facility – a historic and compatible use which contributes to its significance. It would also reduce Councils ability to fund the ongoing conservation and maintenance of the place.

5.4 Clause s101(2)(d)

s101(2)(d)—if the applicant is a public authority, the extent to which the application, if refused, would unreasonably detrimentally affect the ability of the public authority to perform a statutory duty specified in the application;

The applicant is a public authority – City of Boroondara.

5.4.1 Local Government Act 2020

The Local Government Act 2020 specifies council powers, duties and functions. Under the Act, Councils have autonomy to provide services that meet the needs of their local community, and will establish a range of discretionary processes, including local laws, to guide certain activities that can occur within their municipality.³³

The Act has been developed in line with five principles, those of relevance to the proposal are outlined below:

Financial Management

A significant percentage of a council’s revenue comes from rates, and the community has expectations that these rates will be used to deliver an array of services and infrastructure. It is vital that councils undertake responsible spending and investment that ensures financial, social and environmental sustainability.

Service Performance

This principle ensures that councils deliver equitable,

33 Municipal Association of Victoria, ‘Council Responsibilities,’ Vic Councils: Creating better communities, accessed June 2026: <https://www.viccouncils.asn.au/what-councils-do/council-responsibilities>

accessible, and good value services; and meet the needs of their diverse communities.³⁴

Under the Act, Council are required to ensure that the use of public funds provides a space that can be safely used by all members of the community. As described above, the proposed works, including improved access, a considered variety of uses, and the addition of leasable and revenue generating spaces, would be required to provide a building which is compliant with contemporary standards, which can be maintained safely, and which is economically viable. Refusal of the permit would prevent the applicant from meeting these statutory duties.

5.4.2 Public Health and Wellbeing Act 2008

Victoria's Public Health and Wellbeing Act gives local government specific responsibilities to plan for and contribute to protecting and improving health and wellbeing. The Victorian Public Health and Wellbeing Plan 2023-2027, prepared under the Act, identifies ten priorities which represent areas where sustained action can have the biggest impact on health and wellbeing.

Of particular relevance to the proposal is priority 5 – Increasing Active Living, which includes the following aims:

Improving health equity

Active living should be culturally appropriate, accessible, and inclusive for all Victorians. [...] This includes women and gender diverse people, senior Victorians, people from lower socioeconomic backgrounds, Victorians with disability, Aboriginal Victorians, people with health conditions or physical limitations and multicultural and multifaith communities.

[...] For women and LGBTIQ+ communities, safety is a key driver of participation in outdoor physical activity. Action to promote safe environments and to decrease racism can enable women, particularly multicultural and multifaith women, to be active in public spaces and neighbourhoods, and increase public transport use.

What we want to achieve

Improve safe access to parks, public open spaces and recreation opportunities in nature and provide opportunities for Victorians to connect with nature.

Increase participation in sport and active recreation, with a focus on Victorians who face barriers to participation.³⁵

As part of the broader masterplan for the area, the proposal it would provide opportunities for formal sporting activities, as well as a safe outdoor environment for informal activities such as dog-walking.

Further, co-locating a variety of uses within the building would ensure it is used throughout a broad time period, improving passive surveillance and perceived safety of the local area, further encouraging its increased use. It would also increase the diversity of occupants and their access and knowledge of the physical activities and facilities available to them, reducing barriers to participation.

Refusal of the permit would reduce Council's ability to meet requirements of the Public Health and Wellbeing Act 2008.

5.4.3 Climate Action Act 2017

Victoria's Climate Action Act establishes a range of reporting requirements, duties, and guiding principle and objectives for Victorian Government decision making on climate action. While not mandatory under the act, Council have prepared a Climate Action Plan with a number of actions specific to Council buildings:

Energy efficiency and renewable energy

Corporate actions

Implement and update Council's Sustainable Council Building Policy to progressively enhance the energy performance of Council buildings

Expand Council's renewable energy generation capacity by:

- installing solar PV on all suitable buildings

Partnership actions

Provide advice and support to encourage ESD standards in building, renovation and development (beyond requirements of Planning Scheme and Building Regulations)

Adaption actions

Progressively enhance the Environmentally Sustainable Design (ESD) in Council buildings

Overarching

Corporate actions

Consider environmental sustainability in investment decisions

Policy and advocacy

Consider climate change impacts in relevant Council reports and decision-making

As a public authority, Council have a requirement to demonstrate to the community that its ESD objectives are achievable. The proposal would improve the energy performance of the building with minimal physical or visual impact on the significance of the place and are therefore refusal to issue a permit would reduce Council's ability to meet the endorsed Climate Action Plan.

5.5 Clause s101(2)(f)

s101(2)(f)—any matters relating to the protection and conservation of the registered place or registered object that the Executive Director considers relevant;

5.5.1 Conservation Works

The application includes a range of works contributing to the ongoing protection and conservation of the place. These works are outlined in the Schedule of Conservation Works included as an appendix to this Heritage Impact Statement.

These works are considered to be a good heritage outcome.

5.5.2 Interpretation

The applicant recognises that the proposal would have a physical and visual impact on the architectural significance

34 Victoria State Government, 'Local Government Act 2020: A principles-based Act,' *Local Government: Council governance and integrity*, accessed June 2026: <https://www.localgovernment.vic.gov.au/council-governance/local-government-act-2020/principles-of-the-local-government-act-2020>

35 Victoria State Government Department of Health, 'Victorian public health and wellbeing plan 2023-27,' *Department of Health*, accessed June 2026: <https://www.health.vic.gov.au/victorian-public-health-and-wellbeing-plan-2023-27>

of the place. While the impact has been minimised as much as is practical, interpretation would be provided to assist in mitigating any reduced legibility of the place's cultural significance.

It is anticipated that the development of an interpretation strategy, and its subsequent implementation, would be a condition of any permit, and necessary to facilitate ongoing recognition of significance. The strategy would likely include interpretation of:

- The association with the Hawthorn Football Club;
- The original streamline moderne design, and associations with Stuart Calder and Marsh and Michaelson;
- The original use of the building as a VFL grandstand;
- The evolution and changing use of the building, including the retained bench seating and broadcast areas.

Interpretation would be considered a good heritage outcome.

06 Summary

The Glenferrie Oval Grandstand is aesthetically significant as a unique use of the streamline moderne style applied to a sporting facility. It is also significant for its association with Australian Rules Football, including the growth of the Victorian Football League and Hawthorn Football Club.

The building is currently vacant and unused. It is in a fair condition although later alterations (partially removed during the completion of recent structural works) limit the legibility of the original design. Further it is redundant as a venue for the type of large scale, highly attended sporting events for which it was originally designed.

The proposal seeks to allow contemporary and ongoing use of the Glenferrie Oval Grandstand for its original intended sporting use. Recognising that safe egress and fire requirements would dramatically reduce the capacity of the grandstand seating, it also seeks to introduce a variety of compatible community uses to fully utilise the building.

Some changes to the built fabric would be necessary to allow for the continued use of the Glenferrie Oval Grandstand. These relate to the provision of functional internal spaces which are compliant with contemporary standards, alignment with Council's Climate Action Plan, and the provision of leasable spaces.

The proposed changes have been carefully considered to minimise impact on the significance of the place through:

- Consideration of alternative design options, to ensure the current proposal would be the least impactful,
- Liaison with consultants to understand the level of compliance required for a public, council owned facility,
- Location of new spaces in the heavily altered ground floor,
- Location of proposed demolition in areas which have already been altered,
- Changes during design development to reduce the size and massing of the function space addition within the grandstand seating, retaining the primacy of the original building and visibility of original design features,
- Consideration of the reasonable and economic use of the building against the impact of the proposal on the cultural heritage significance of the place.

Further, the proposal would have the following positive impacts on the significance of the place, and mitigate the potential impact of proposed changes:

- Improved legibility of architectural characteristics associated with the streamline moderne and the building's original design, particularly the reinstatement of previously infilled openings throughout the building;
- Conservation of retained original fabric;
- Ongoing income generation to allow for future maintenance of the place;
- Interpretation to describe the cultural heritage significance of the place to the public;
- Increased use of the place by diverse members of the public, allowing it to be more broadly accessed and appreciated;

The proposal is a thoughtful and well considered design, which hasn't been rushed or based on pre-decided outcomes. Rather, it has been allowed to evolve with due regard for a complex interplay of factors and the significance of the place.

While aspects of the scheme would have a physical and visual impact on the heritage values of the place, these are balanced by the positive impacts which it would bring.

rba
Architects +
Conservation
Consultants

rbaarchitects.com.au
+61 3 9525 5666
contact@rbaarchitects.com.au
ABN 54 076 196 346

Melbourne Office
Boon Wurrung Country
Suite 4C 171 Fitzroy St
St Kilda, VIC 3182

Regional Office
Dja Dja Wurrung Country
PO Box 560
Castlemaine, VIC 3450

