

# BILLILLA MANSION RENEWAL

## 26 HALIFAX ST, BRIGHTON VIC 3186

DRAWING REGISTER:

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A121	ELEVATIONS - DEMOLITION	A140	ELEVATIONS - PROPOSED
		A141	ELEVATIONS - PROPOSED



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EXISTING SITE PLAN  
1:500

LEGEND:

- TITLE BOUNDARY - VHR H1155
- FORMER DRESDEN VILLA SITE VICTORIAN HERITAGE INVENTORY (VHI): H7822-2434
- NOT IN SCOPE
- EXISTING SEWERAGE UNDERGROUND TO BE DECOMMISSIONED AND RETAINED
- EXISTING STORMWATER UNDERGROUND TO BE DECOMMISSIONED AND RETAINED
- EXISTING STORMWATER UNDERGROUND TO BE RETAINED
- EXISTING SEWER UNDERGROUND TO BE RETAINED

INDICATIVE PATH OF EXISTING UNDERGROUND STORMWATER SYSTEM TO BE DECOMMISSIONED AND RETAINED

INDICATIVE PATH OF EXISTING UNDERGROUND SEWER SYSTEM TO BE DECOMMISSIONED AND RETAINED

INDICATIVE PATH OF UNDERGROUND STORMWATER AND SEWER SYSTEM OF NEW PUBLIC AMENITIES BLOCK

GENERAL NOTES:

- ALL WORK TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.
- DO NOT SCALE OFF DRAWINGS, USE DIMENSIONS ONLY.
- CONTRACTOR TO CONFIRM ALL EXISTING AND PROPOSED DIMENSIONS ON SITE PRIOR TO CONSTRUCTION, MANUFACTURE OR PREPARATION OF SHOP DRAWINGS.
- DRAWINGS AT A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE.
- CONTRACTOR TO LOCATE ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORKS, DISCONNECT OR TEMPORARILY RELOCATE SERVICES WHERE REQUIRED TO ACCESS THE WORKS.
- REFER TO PROTECTION WORKS FOR DETAILS OF ITEMS TO BE PROTECTED/SALVAGED DURING CONSTRUCTION.

SCAFFOLD AND ACCESS EQUIPMENT NOTES:

- ALL SCAFFOLD IS TO BE TAGGED AND CERTIFIED PRIOR TO ACCESS AND IS TO HAVE HOARDING AND SHADE MESH.
- CONTRACTOR IS TO ERECT SCAFFOLDING IN ACCORDANCE WITH BAYSIDE CITY COUNCIL STANDARDS, AND PAINT IN A SINGLE STANDARD DULUX COLOUR TO BE ADVISED.
- SCAFFOLD IS TO BE KEPT CLEAN AND THE SHADE MESH IS TO BE REGULARLY REPAIRED AND REPLACED AS NEEDED TO MAINTAIN THE SITE.
- MAINTENANCE OF THE SCAFFOLD, HOARDING AND SHADE MESH IS THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR IS TO REPAIR AND REINSTATE ALL BUILDING FABRICS TO THEIR EXISTING PRE-CONSTRUCTION CONDITION, IF THERE IS ANY DAMAGE DUE TO SCAFFOLD.

SERVICES UPGRADE NOTES:

CIVIL

- EXISTING IN-GROUND STORMWATER SYSTEM TO BE ABANDONED.
- INSTALL NEW IN-GROUND PIPEWORK WITH NEW, INCLUDING NEW PITS.
- TRENCHING OR HYDRO EXCAVATIONS TO LIMIT GROUND DISTURBANCE.

HYDRAULIC

- RETAIN EXISTING WATER METERS AND INSTALL NEW 100MM TAPPING FOR NEW HYDRANT BOOSTER CONNECTION ALONG HALIFAX ST.
- EXISTING IN-GROUND SEWER SYSTEM TO BE ABANDONED.
- INSTALL NEW IN-GROUND PIPEWORK.
- TRENCHING OR HYDRO EXCAVATIONS TO LIMIT GROUND DISTURBANCE.
- REPLACE ALL RAINWATER GOODS IN STEEL INCLUDING OF DOWNPIPES, EAVES GUTTERS, BOX GUTTERS, VALLEYS AND FLASHING, SUMPS AND OVERFLOWS.

FIRE PROTECTION

- REPLACE ALL EXISTING SPRINKLER HEADS AND INSTALL NEW TO UNDERCOVER AREAS.
- UPGRADE SPRINKLER CONTROL VALVE.
- INSTALL NEW EXTERNAL FIRE HYDRANT SYSTEM (NO. 3 DUAL HEAD ABOVE GROUND)
- INSTALL NEW BOOSTER ASSEMBLY ALONG HALIFAX ST FENCE.
- UPGRADE FIRE INDICATOR PANEL
- REPLACE ALL CEILING SMOKE DETECTORS
- INSTALL NEW REMOTE TEST DRAIN
- INSTALL NEW SIGNAGE, FIRE BLANKETS AND FIRE EXTINGUISHER.

ELECTRICAL

- REPLACE MAIN SWITCH BOARD AND DISTRIBUTION BOARDS.
- INSTALL NEW FIRE INDICATOR PANEL AND DETECTORS.
- INSTALL NEW ELECTRICITY METERS EXTERNALLY.

MECHANICAL

- INSTALL NEW DUCTED HEATING AND COOLING SYSTEMS AND WALL MOUNTED SPLIT SYSTEMS AS REQUIRED. UNITS AND CONDENSERS TO BE INSTALLED ON THE INNER SLOPES OF ROOF ON PLATFORMS.
- REPLACE KITCHEN EXHAUST.

PROTECTION NOTES:

- CONTRACTOR TO PROTECT ALL EXISTING RETAINED FABRIC, LANDSCAPE AND COUNCIL ASSETS INCLUDING PAVEMENTS, FENCES, CROSSTOPS, TREES.
- CONTRACTOR TO PROVIDE TREE PROTECTION MANAGEMENT PLAN PRIOR OF COMMENCEMENT OF ANY DEMOLITION WORKS
- THE SITE HAS BEEN IDENTIFIED AS AN AREA OF CULTURAL HERITAGE SENSITIVITY. WORKS ARE TO PROCEED AS PER APPROVED CULTURAL HERITAGE MANAGEMENT PLAN (CHMP).
- REMOVAL OF ITEMS FOR DISPOSAL IS TO BE UNDERTAKEN IN ACCORDANCE WITH WORKS METHODOLOGY AND RELEVANT AUSTRALIAN STANDARDS SO AS NOT TO PERMIT WATER INGRESS INTO INTERIOR, WALL CAVITIES, OR EXPOSED DUCTS AND PENETRATIONS.
- MAKE ALL REASONABLE EFFORTS TO ENSURE DUST AND DEBRIS DOES NOT BLOW INTO ADJACENT SPACES.
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- MAKE ALL REASONABLE EFFORTS TO ENSURE DUST AND DEBRIS DOES NOT BLOW INTO ADJACENT SPACES.
- CONTRACTOR TO FOLLOW ARCHITECT/SUPERINTENDENT'S INSTRUCTION ON THE ITEMS TO BE RETAINED, SUCH AS:
  - DECORATIVE CEILING AND HARD PLASTER CORNICES;
  - WALLS AND WALL FINISHES;
  - TIMBER FLOOR STRUCTURE;
  - TIMBER ROOF STRUCTURE;
  - ORIGINAL/EARLY LIGHT FITTINGS;
  - ORIGINAL/EARLY FIXTURES.
- CONTRACTOR TO FOLLOW ARCHITECT / SUPERINTENDENT'S INSTRUCTION ON THE ITEMS TO BE TEMPORARILY DISMANTLED AND REINSTATED, SUCH AS:
  - TIMBER FLOOR BOARDS THROUGHOUT TO INSTALL INSULATION AND ALLOW SUB-FLOOR EXCAVATIONS
  - TIMBER SKIRTING;
  - DOORS;
  - ORIGINAL FIXTURES AND FITTINGS AS SHOWN ON DRAWINGS;
  - BRICK AND STONE PAVERS AS SHOWN ON DRAWINGS;
  - LIGHT POLES; AND
  - BENCH SITS.

PROPOSED STAGING:

THE FOLLOWING ARE THE INDICATIVE PROPOSED STAGES AND INCLUSIONS:

STAGE 1A

- ENABLING WORKS - EXTERNAL UNDERGROUND AND ABOVE GROUND SERVICES UPGRADE (HYDRAULIC, CIVIL, FIRE, ELECTRICAL, LIGHTING)
- ROOF AND RAINWATER GOODS WORKS

STAGE 1B

- REMAINDER OF ENABLING WORKS

STAGE 2

- SUB-FLOOR (INTERNAL) EXCAVATION WORKS
- DDA ACCESSIBILITY WORKS
- INTERNAL SERVICES UPGRADES TO MAIN (NORTH-WEST) ROOMS
- INTERNAL RESTORATION WORKS TO MAIN (NORTH-WEST) ROOMS AND INTERNAL BATHROOMS UPGRADES

STAGE 3

- INTERNAL SERVICES UPGRADES AND RESTORATION / FIT OUT WORKS TO CAFE AND KITCHENS ROOMS

STAGE 4

- INTERNAL SERVICES UPGRADES AND RESTORATION WORKS TO REMAINDER OF ROOMS (SOUTH-WEST AND SOUTH-EAST)

NOT FOR CONSTRUCTION

0 5 10 15 20 25M  
SCALE 1:500 @ A1

NO.	DATE	REVISION
HV1	03/06/2025	HERITAGE VICTORIA SUBMISSION

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MELBOURNE VIC, 3000

STRUCTURAL/CIVIL ENGINEER  
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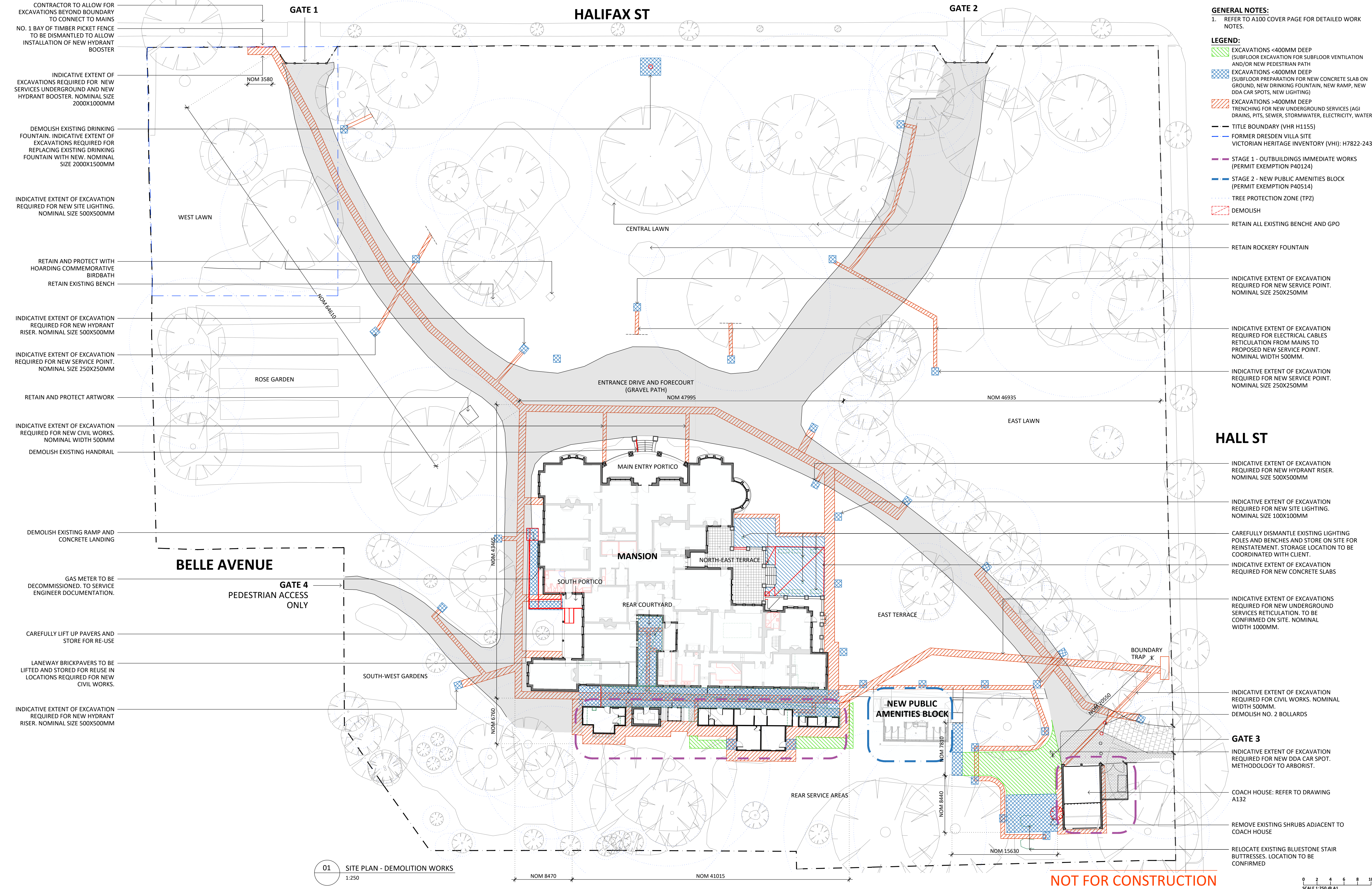
PROJECT  
BILLILLA MANSION  
RENEWAL

LOCATED ON BUNURONG COUNTRY			
DRAWN	CHECKED	PROJECT NO.	DATE
LT	TT	20230070	JAN 2025

DRAWING TITLE  
COVER PAGE, DRAWING REGISTER,  
GENERAL NOTES AND LOCATION

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE			
ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:500@A1	A100	HV1





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PROJECT  
**BILLILLA MANSION  
RENEWAL**

LOCATED ON BUNURONG COUNTRY

DRAWN LT    CHECKED TT    PROJECT NO. DATE  
20230070 JAN 2025

DRAWING TITLE  
**MANSION  
SITE PLAN - DEMOLITION**

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

ISSUE AUTHORITY    SCALE 1:250@A1    DRAWING NO. A110    REVISION HV1



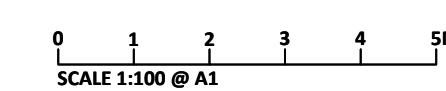


- INTERIOR FLOOR FINISHES LEGEND:**
- <XCO> EXISTING CONCRETE SLAB
  - <XCA> EXISTING CARPET
  - <XTB> EXISTING TIMBER FLOOR BOARDS
  - <XVF> EXISTING VINYL FLOOR
  - <XTL> EXISTING TILES
- EXTERIOR FLOOR FINISHES LEGEND:**
- <XGA> EXISTING GRASS
  - <XGV> EXISTING GRAVEL
  - <XSP> EXISTING STONE PAVERS
  - <XBP> EXISTING BRICK PAVERS
  - <XCO> EXISTING CONCRETE SLAB
  - <XTR> EXISTING TERRAZZO
  - <XBL> EXISTING BLUESTONE
  - <XTL> EXISTING TILES
- LEGEND:**
- EXCAVATIONS <400MM DEEP (SUBFLOOR EXCAVATION FOR SUBFLOOR VENTILATION AND/OR NEW PEDESTRIAN PATH)
  - EXCAVATIONS <400MM DEEP (SUBFLOOR PREPARATION FOR NEW CONCRETE SLAB ON GROUND, NEW DRINKING FOUNTAIN, NEW RAMP, NEW DDA CAR SPOTS, NEW LIGHTING)
  - DEMOLISH
  - SALVAGE, STORE AND REUSE
- LEGEND:**
- <XW-XX> EXISTING WINDOW
  - <XD-XX> EXISTING DOOR

- GENERAL NOTES:**
- REFER TO A100 COVER PAGE FOR DETAILED WORK NOTES.
- DEMOLITION / DISMANTLING NOTES:**
- CONTRACTOR TO REMOVE ALL REDUNDANT SERVICES, CABLES AND THE LIKE AS SPECIFIED ON THE DRAWINGS AND REPAIR SURFACE TO MATCH ADJACENT.
  - CAREFULLY REMOVE, LABEL, SALVAGE AND STORE ITEMS INDICATED FOR RE-USE IN A SECURE, DRY LOCATION FOR REINSTATEMENT. ITEMS THAT WILL BE DISMANTLED TO UNDERTAKE THE WORKS ARE: TIMBER DOORS, HARDWARE, SKIRTING BOARDS, TIMBER FLOOR BOARDS, ORIGINAL/EARLY FIXTURES AND FITTINGS AS INDICATED ON DRAWINGS.
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  - CONTRACTOR TO MAKE GOOD ANY DAMAGE CAUSED DUE TO DEMOLITION. LIAISE WITH ARCHITECT FOR REMEDIATION WORKS.
  - TYPICAL TO MANSION INTERNAL EXCAVATIONS: DISPOSE ALL CARPETS AND VINYL. CAREFULLY DE-NAIL TIMBER BOARDS AND STORE FOR REUSE. HAND EXCAVATE GROUND TO COMPLIANT DEPTH (MIN. 150MM CLEARANCE HEIGHT BELOW FLOOR JOISTS).
  - TYPICAL TO OUTBUILDINGS INTERNAL EXCAVATIONS: -CAREFULLY DE-NAIL TIMBER BOARDS AND STORE FOR REUSE. HAND EXCAVATE GROUND TO COMPLIANT DEPTH (MIN. 150MM CLEARANCE HEIGHT BELOW FLOOR JOISTS). -WHERE BRICKS, CAREFULLY DISMANTLE, CLEAN OF MORTAR, AND STORE ON PALLETS. INSTALL NEW MEMBRANE AND CONCRETE SLAB AND REINSTATE BRICKS.
  - DEMOLISH ALL REDUNDANT FIXTURES AND FITTINGS, INCLUDING LIGHTS, CEILING FANS, SPEAKERS AND REDUNDANT CAMERAS (CCTV).

02 FIRST FLOOR PLAN - DEMOLITION  
1:100

NOT FOR CONSTRUCTION



NO.	DATE	REVISION
HV1	03/06/2025	HERITAGE VICTORIA SUBMISSION

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PROJECT  
BILLILLA MANSION  
RENEWAL

LOCATED ON BUNURONG COUNTRY

DRAWN	CHECKED	PROJECT NO.	DATE
LT	TT	20230070	JAN 2025

DRAWING TITLE  
MANSION  
FLOOR PLANS  
DEMOLITION

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:100@A1	A111	HV1



1. REFER TO A100 COVER PAGE FOR DETAILED WORK NOTES.

1. CONTRACTOR TO REMOVE ALL REDUNDANT SERVICES, CABLES AND THE LIKE AS SPECIFIED ON THE DRAWINGS AND REPAIR SURFACE TO MATCH ADJACENT.
2. CAREFULLY REMOVE, LABEL, SALVAGE AND STORE ITEMS INDICATED FOR RE-USE IN A SECURE, DRY LOCATION FOR REINSTATEMENT. ITEMS THAT WILL BE DISMANTLED TO UNDERTAKE THE WORKS ARE: TIMBER DOORS, HARDWARE, SKIRTING BOARDS, TIMBER FLOOR BOARDS, ORIGINAL LIGHT FIXTURES AND FITTINGS AS INDICATED ON DRAWINGS.
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4. CONTRACTOR TO MAKE GOOD ANY DAMAGE CAUSED DUE TO DEMOLITION. LIAISE WITH ARCHITECT FOR REMEDIATION WORKS.
5. TYPICAL TO MANSION INTERNAL EXCAVATIONS: DISPOSE ALL CARPETS AND VINYLs. CAREFULLY DE-NAIL TIMBER BOARDS AND STORE FOR REUSE. HAND EXCAVATE GROUND TO COMPLIANT DEPTH (MIN. 150MM CLEARANCE HEIGHT BELOW FLOOR JOISTS).
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-WHERE BRICKS, CAREFULLY DISMANTLE, CLEAN OF MORTAR, AND STORE ON PALLETS. INSTALL NEW MEMBRANE AND CONCRETE SLAB AND REINSTATE BRICKS.
7. DEMOLISH ALL REDUNDANT FIXTURES AND FITTINGS, INCLUDING LIGHTS, CEILING FANS, SPEAKERS AND REDUNDANT CAMERAS (CCTV).

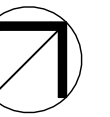
S-XX	SLOPE TAG
SK-XX	SKYLIGHT
CH-XX	CHIMNEY
N-AH	ACCESS HATCH
X-DP	EXISTING DOWNPIPE
X-RWH	EXISTING RAINWATER HEAD
N-AL	NEW ACCESS LADDER
XMR	EXISTING METAL ROOF SHEET

DEMOLISH

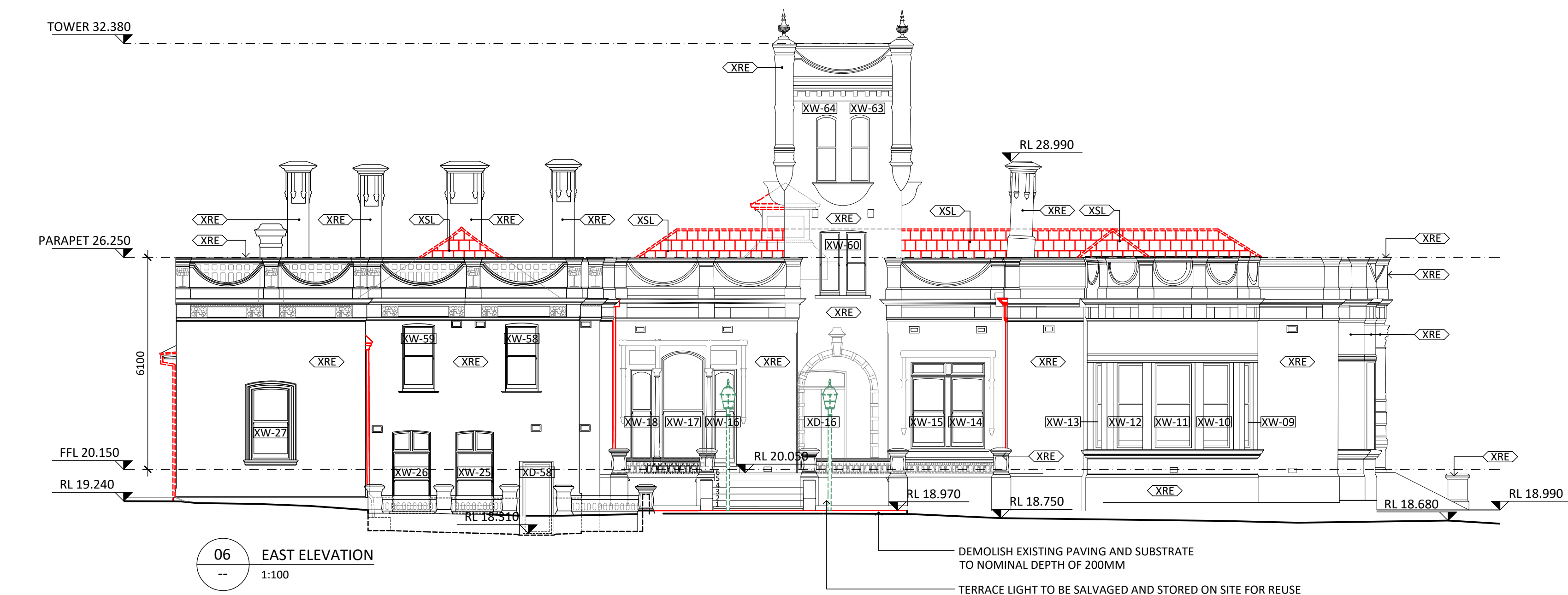
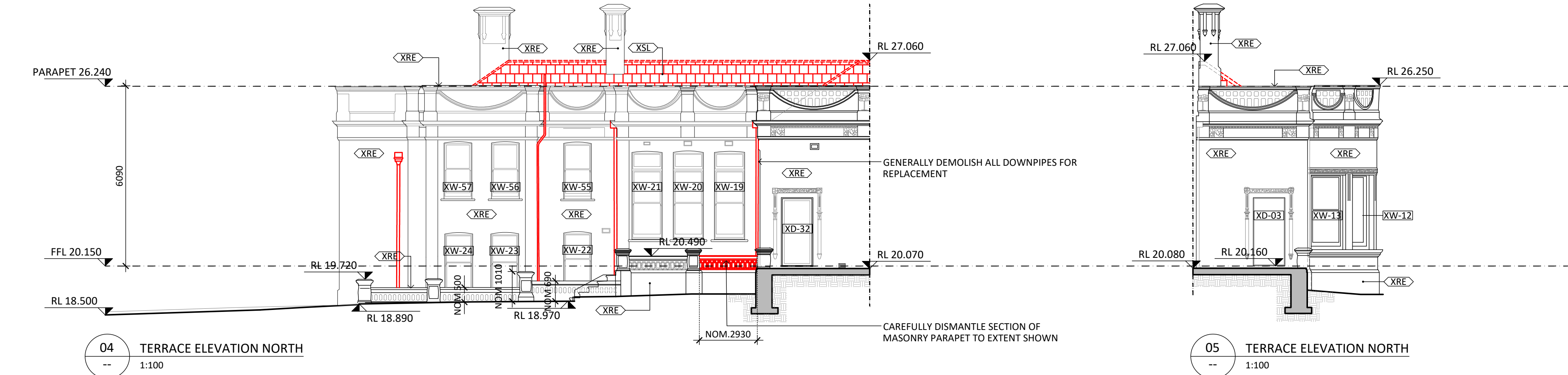
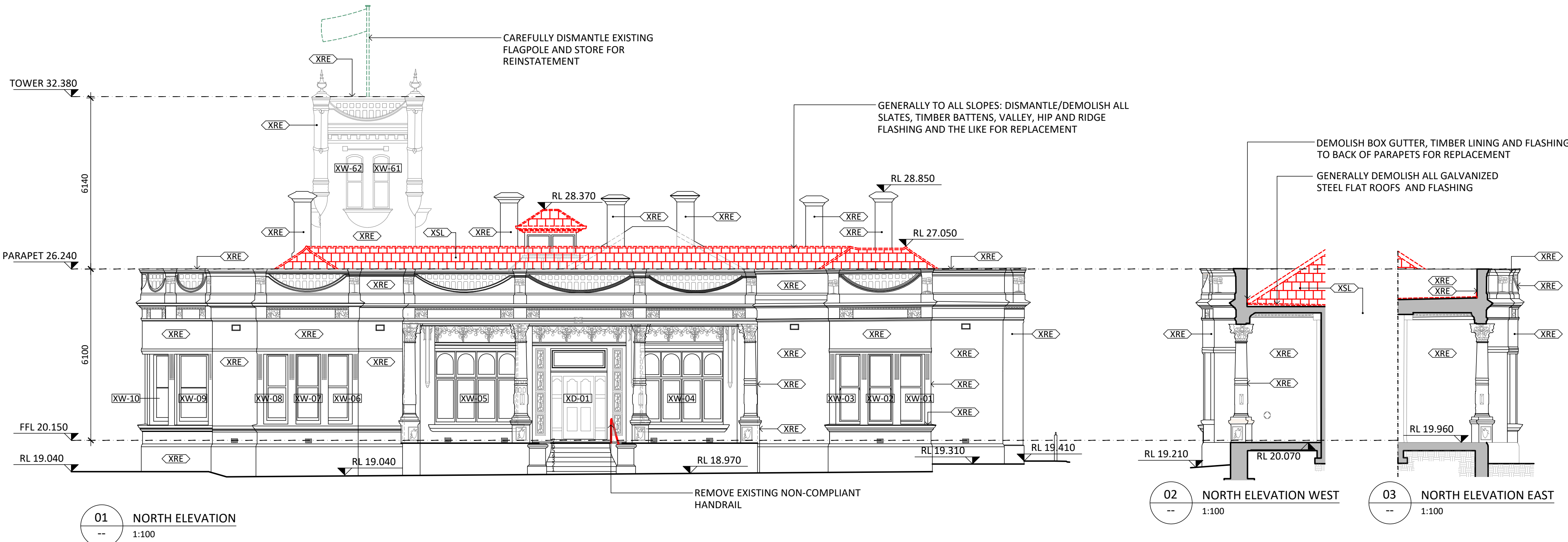
SALVAGE, STORE AND REUSE

- GENERALLY TO ALL OUTBUILDINGS:  
REMOVE LEAVES AND DEBRIS FROM EXISTING EAVES  
GUTTERS.  
DEMOLISH EXISTING DOWNPIPES

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE			
ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:100@A1	A112	HV:







#### GENERAL NOTES:

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#### DEMOLITION / DISMANTLING NOTES:

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- DEMOLISH ALL REDUNDANT FIXTURES AND FITTINGS, INCLUDING LIGHTS, CEILING FANS, SPEAKERS AND REDUNDANT CAMERAS (CCTV).

#### EXTERIOR WALL FINISHES LEGEND:

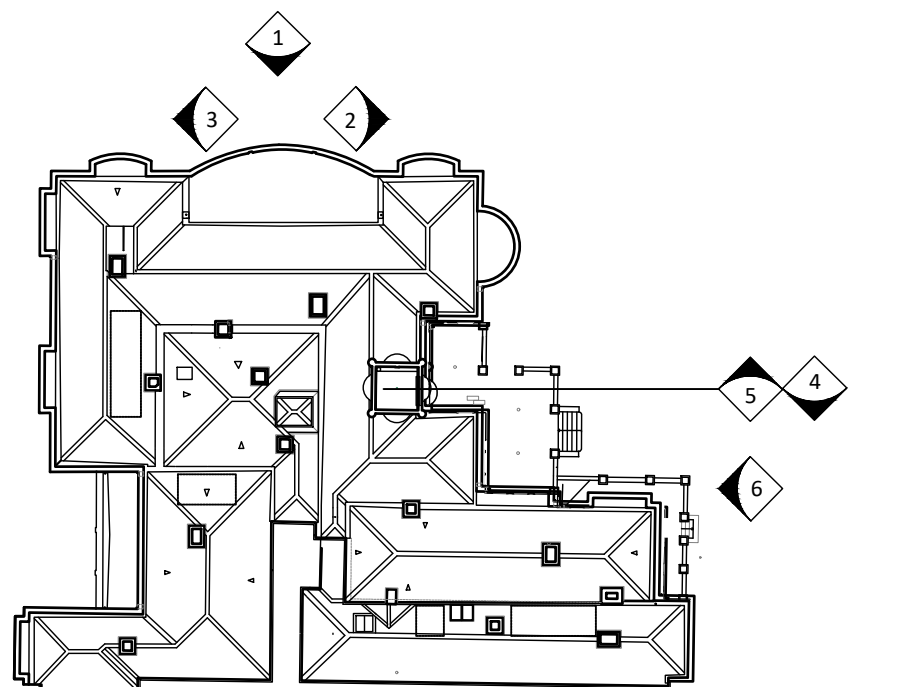
- XRE RENDERED WALL
- XBW PAINTED BRICK WALL
- XBS BLUESTONE SILL

#### ROOF LEGEND:

- N-AL NEW ACCESS LADDER
- XMR EXISTING METAL ROOF SHEET

#### LEGEND:

- DEMOLISH
- SALVAGE, STORE AND REUSE



NO.	DATE	REVISION
HV1	03/06/2025	HERITAGE VICTORIA SUBMISSION

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PROJECT  
BILLILLA MANSION  
RENEWAL

LOCATED ON BUNURONG COUNTRY  
DRAWN AG  
CHECKED TT  
PROJECT NO. DATE  
20230070 JAN 2024

DRAWING TITLE  
MANSION  
EXTERNAL ELEVATIONS  
DEMOLITION (1 OF 2)

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE  
ISSUE AUTHORITY  
SCALE 1:100@A1  
DRAWING NO. A120  
REVISION HV1



GENERAL NOTES:

1. REFER TO A100 COVER PAGE FOR DETAILED WORK NOTES.

DEMOLITION / DISMANTLING NOTES:

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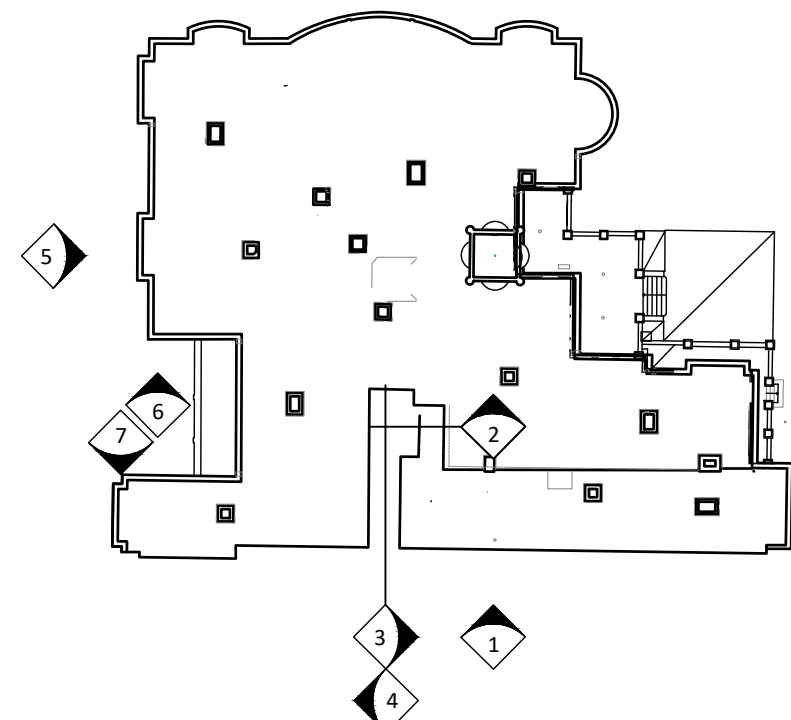
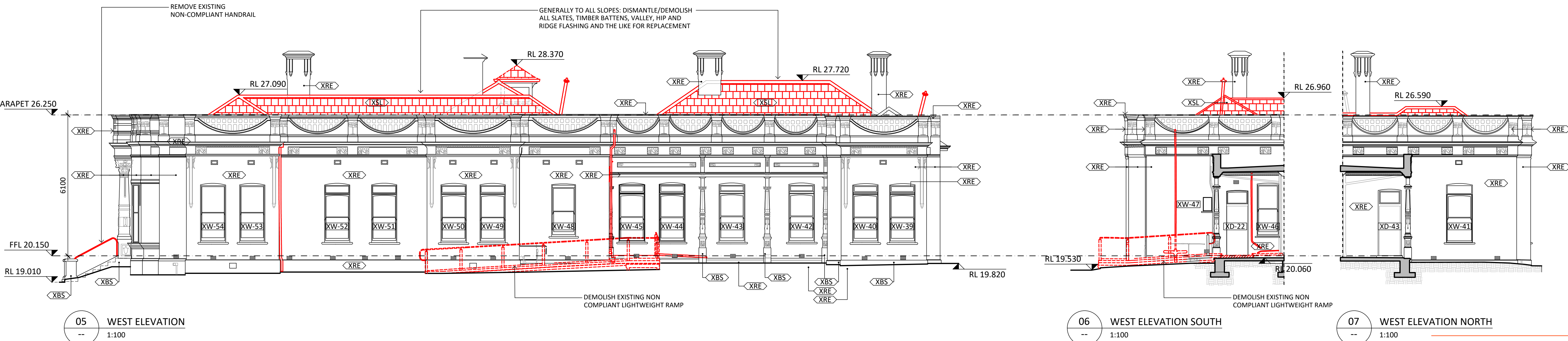
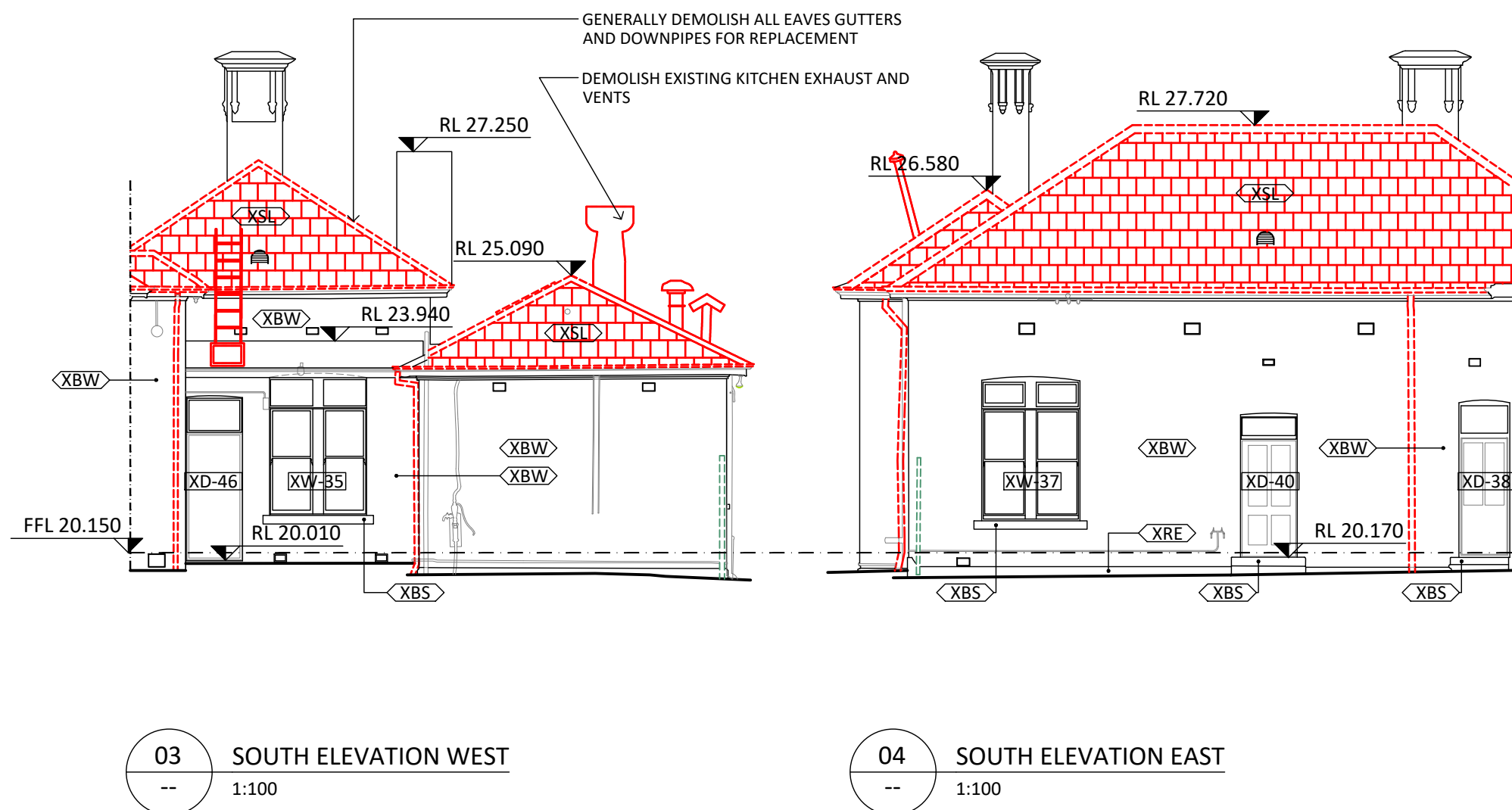
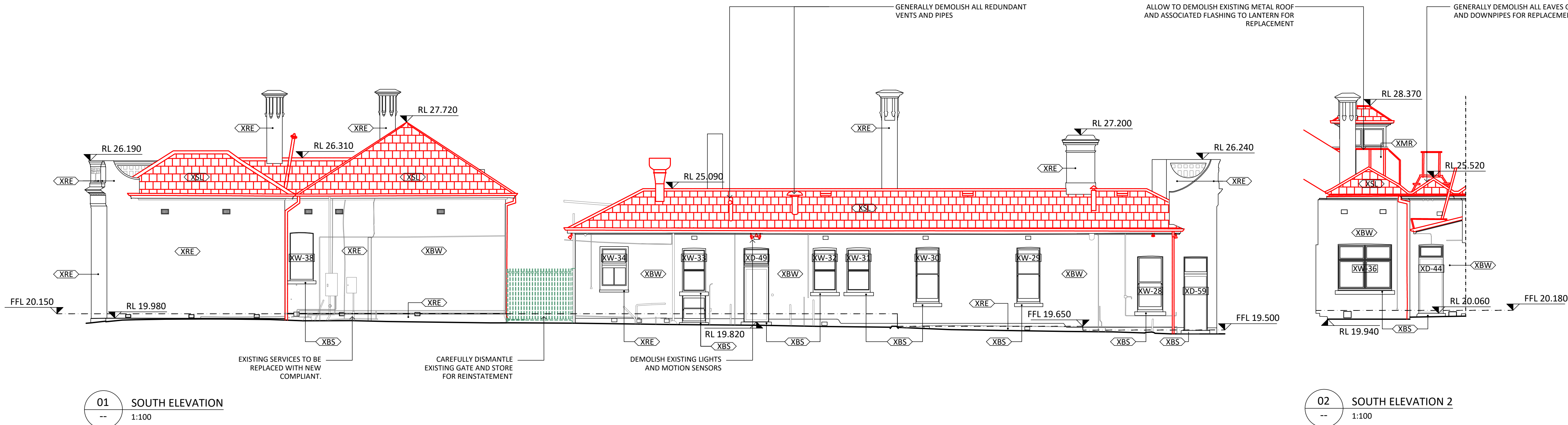
- <XRE> RENDERED WALL  
<XBW> PAINTED BRICK WALL  
<XBS> BLUESTONE SILL

ROOF LEGEND:

- N-AL NEW ACCESS LADDER  
<XMR> EXISTING METAL ROOF SHEET

LEGEND:

- DEMOLISH  
SALVAGE, STORE AND REUSE



0 1 2 3 4 5M  
SCALE 1:100 @ A1

NOT FOR CONSTRUCTION

NO.	DATE	REVISION
HV1	03/06/2025	HERITAGE VICTORIA SUBMISSION

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MELBOURNE VIC, 3000

SERVICES ENGINEER  
NIM DESIGN  
LEVEL 18, 350 QUEEN STREET  
MELBOURNE VIC, 3000

STRUCTURAL ENGINEER  
BCE DESIGN  
LEVEL 1, 383 SMITH STREET  
FITZROY VIC, 3065



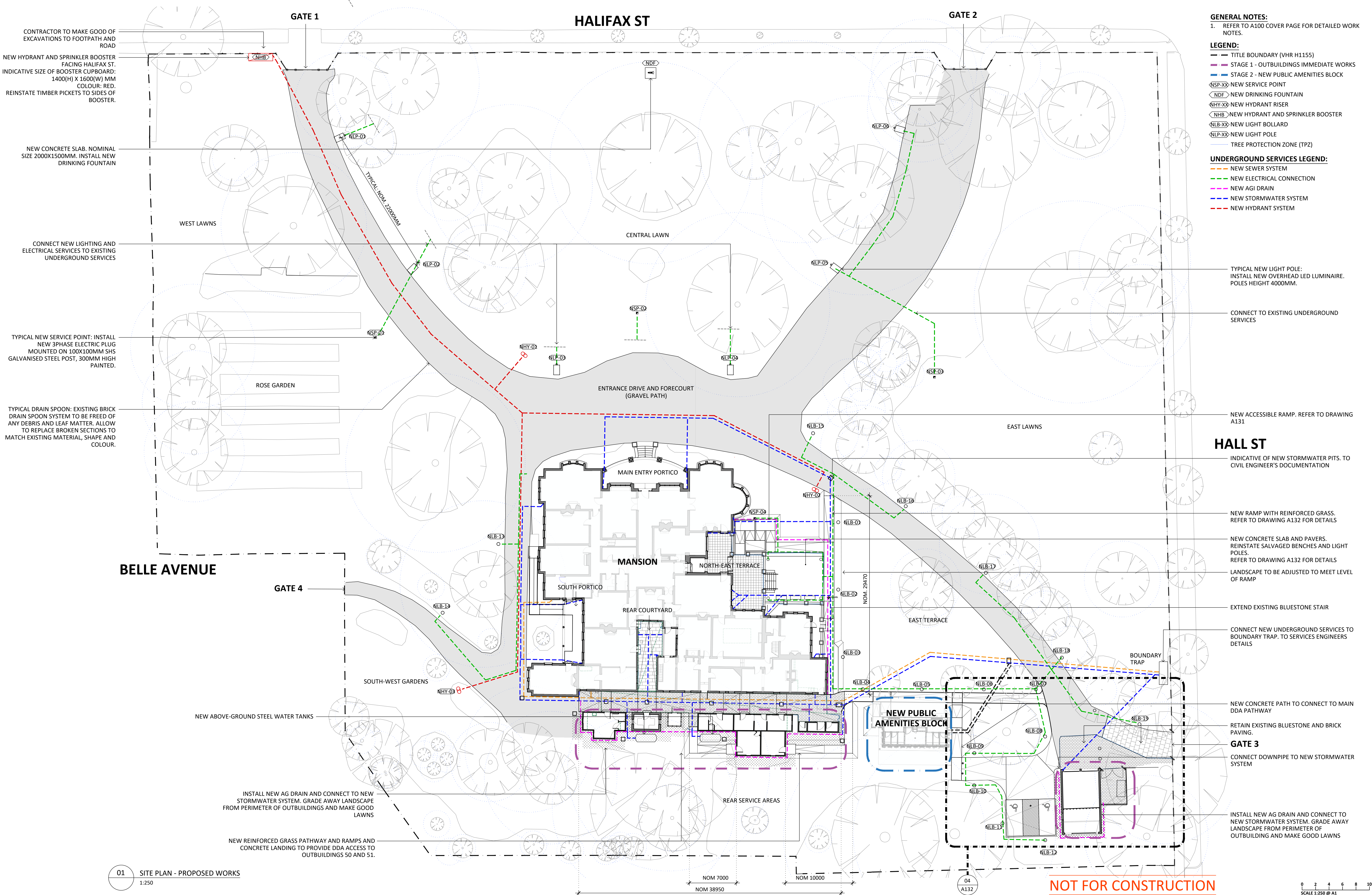
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PROJECT  
BILLILLA MANSION  
RENEWAL

LOCATED ON BUNURONG COUNTRY  
DRAWN AG  
CHECKED TT  
PROJECT NO. 20230070  
DATE JAN 2024

DRAWING TITLE  
MANSION  
EXTERNAL ELEVATIONS  
DEMOLITION (2 OF 2)  
PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE  
ISSUE AUTHORITY  
SCALE 1:100@A1  
DRAWING NO. A121  
REVISION HV1





**GENERAL NOTES:**  
1. REFER TO A100 COVER PAGE FOR DETAILED WORK NOTES.

- LEGEND:**
- TITLE BOUNDARY (VHR H1155)
  - STAGE 1 - OUTBUILDINGS IMMEDIATE WORKS
  - STAGE 2 - NEW PUBLIC AMENITIES BLOCK
  - ◊ NSP-XX NEW SERVICE POINT
  - ◊ NDF NEW DRINKING FOUNTAIN
  - ◊ NHY-XX NEW HYDRANT RISER
  - ◊ NHB NEW HYDRANT AND SPRINKLER BOOSTER
  - ◊ NLB-XX NEW LIGHT BOLLARD
  - ◊ NLP-XX NEW LIGHT POLE
  - TREE PROTECTION ZONE (TPZ)

- UNDERGROUND SERVICES LEGEND:**
- NEW SEWER SYSTEM
  - NEW ELECTRICAL CONNECTION
  - NEW AGI DRAIN
  - NEW STORMWATER SYSTEM
  - NEW HYDRANT SYSTEM

TYPICAL NEW LIGHT POLE:  
INSTALL NEW OVERHEAD LED LUMINAIRE.  
POLES HEIGHT 4000MM.

CONNECT TO EXISTING UNDERGROUND  
SERVICES

NEW ACCESSIBLE RAMP. REFER TO DRAWING  
A131

## HALL ST

INDICATIVE OF NEW STORMWATER PITS. TO  
CIVIL ENGINEER'S DOCUMENTATION

NEW RAMP WITH REINFORCED GRASS.  
REFER TO DRAWING A132 FOR DETAILS

NEW CONCRETE SLAB AND PAVERS.  
REINSTATE SALVAGED BENCHES AND LIGHT  
POLES.  
REFER TO DRAWING A132 FOR DETAILS

LANDSCAPE TO BE ADJUSTED TO MEET LEVEL  
OF RAMP

EXTEND EXISTING BLUESTONE STAIR

CONNECT NEW UNDERGROUND SERVICES TO  
BOUNDARY TRAP. TO SERVICES ENGINEERS  
DETAILS

NEW CONCRETE PATH TO CONNECT TO MAIN  
DDA PATHWAY  
RETAIN EXISTING BLUESTONE AND BRICK  
PAVING.

## GATE 3

CONNECT DOWNPIPE TO NEW STORMWATER  
SYSTEM

INSTALL NEW AG DRAIN AND CONNECT TO  
NEW STORMWATER SYSTEM. GRADE AWAY  
LANDSCAPE FROM PERIMETER OF  
OUTBUILDING AND MAKE GOOD LAWNS

01 SITE PLAN - PROPOSED WORKS  
1:250

NOT FOR CONSTRUCTION

0 2 4 6 8 10M  
SCALE 1:250 @ A1

NO.	DATE	REVISION
HV1	03/06/2025	HERITAGE VICTORIA SUBMISSION

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PROJECT  
BILLILLA MANSION  
RENEWAL

LOCATED ON BUNURONG COUNTRY  
DRAWN LT  
CHECKED TT  
PROJECT NO. 20230070  
DATE JAN 2025

DRAWING TITLE  
MANSION  
SITE PLAN - PROPOSED

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE  
ISSUE AUTHORITY  
SCALE 1:250@A1  
DRAWING NO. A130  
REVISION HV1



- ZONING LEGEND:**
- ZONE 1 - PUBLIC EVENTS
  - ZONE 2 - PUBLIC WORKSHOP ACTIVITY
  - ZONE 3 - ADMINISTRATION
  - ZONE 4 - CAFE INFRASTRUCTURE
  - ZONE 5 - ARTIST'S STUDIOS
  - ZONE 6 - KITCHEN AND BACK OF HOUSE
  - SERVICES/UTILITY
  - STORAGE SPACE

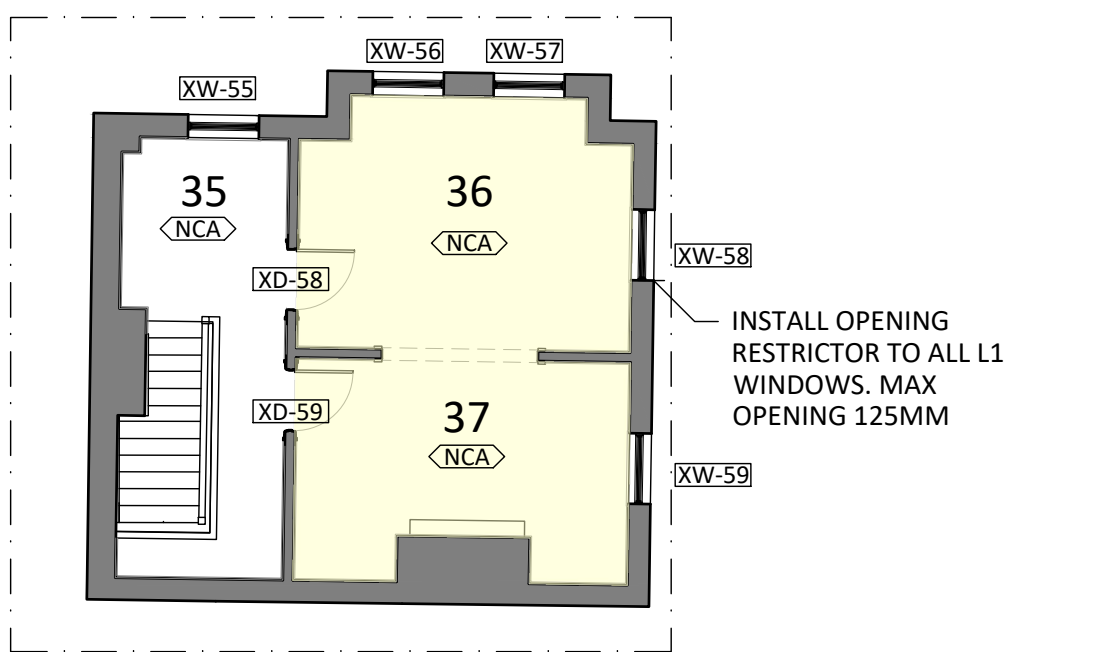


- INTERIOR FLOOR FINISHES LEGEND:**
- XCO EXISTING CONCRETE SLAB
  - XCA EXISTING CARPET
  - XTB EXISTING TIMBER FLOOR BOARDS
  - XVF EXISTING VINYL FLOOR
  - XTL EXISTING TILES
  - XBP EXISTING BRICKS
  - NCA NEW CARPET
  - NTL NEW TILES
  - NSF NEW SAFETY FLOORING
- EXTERIOR FLOOR FINISHES LEGEND:**
- XGA EXISTING GRASS
  - XGV EXISTING GRAVEL
  - XSP EXISTING STONE PAVERS
  - XBP EXISTING BRICK PAVERS
  - XCO EXISTING CONCRETE SLAB
  - XTR EXISTING TERRAZZO
  - XBL EXISTING BLUESTONE
  - XTL EXISTING TILES
  - NRG NEW REINFORCED GRASS PATHWAY
  - NCO NEW CONCRETE RAMPS AND STAIRS
  - NPA NEW STONE PAVERS
  - NBP NEW BRICK PAVERS
  - NGV NEW GRAVEL
  - NTB NEW TIMBER BOARDS

- GENERAL NOTES:**
- REFER TO A100 COVER PAGE FOR DETAILED WORK NOTES.
- INTERNAL CONSERVATION NOTES:**
- GENERALLY:
- PREPARE AND PAINT ALL PREVIOUSLY PAINTED SURFACES, INCLUDING OF TIMBER WORK, RENDER WORK AND METAL WORK.
  - ENSURE OPERABLE WINDOWS REMAIN OPERABLE, DO NOT PAINT SHUT.
- WALLS**
- RE-APPLY TRADITIONAL THREE COATS HARD PLASTER TO DAMAGED BRICK WALLS AND KEY INTO EXISTING.
  - REMOVE DAMAGED WALLPAPER AND RE-APPLY FINISHES (PAINT OR NEW WALLPAPER) TO SELECTED ROOMS
  - RETAIN AND RESTORE EXISTING WALLPAPER TO SELECTED ROOMS.
- CEILING**
- RETAIN ORIGINAL DECORATIVE PLASTER CEILING. ALLOW FOR CONSOLIDATION TREATMENTS (PINNING/ADHESIVE APPLICATION FROM ROOF SPACE) WHERE REQUIRED.
  - RESTORE CEILING WHERE DAMAGED
  - INSTALL NEW PLASTER BOARD CEILINGS TO NEW INTERNAL AMENITIES.
  - INSTALL NEW CEILING MECHANICAL VENTS
  - INSTALL NEW FIRE PROTECTION SERVICES. ALLOW FOR PATCH REPAIR WHERE REDUNDANT SERVICES ARE REMOVED. ALLOW FOR PENETRATIONS TO EXISTING CEILING FOR NEW SERVICES (FIRE, MECHANICAL AND ELECTRICAL)
- FLOORS**
- FOLLOWING INTERNAL SUB-FLOOR EXCAVATIONS, INSTALL INSULATION, PERMEABLE MEMBRANE AND REINSTATE TIMBER FLOOR BOARDS RE-USING SALVAGED BOARDS. INSTALL NEW BOARDS TO SUIT WHERE REQUIRED
  - RETAIN AND RESTORE TIMBER SKIRTING.
  - INSTALL NEW CARPET TO ALL PUBLIC ROOMS.
  - INSTALL NEW CARPET TO ALL CORRIDORS.
  - INSTALL NEW SAFETY FLOORS TO KITCHENS AND STORES.
  - INSTALL NEW TILES TO AMENITIES.
- LIGHT FIXTURES**
- REINSTATE/REFURBISH ORIGINAL LIGHT FIXTURES.
  - INSTALL NEW CONTEMPORARY LIGHTING TO SUIT NEW USE.
- JOINERY WORK**
- REPLACE DAMAGED PARTS LIKE-FOR LIKE SUCH AS BEADS, RAILS, SPLICE REPAIRS AND THE LIKE.
  - FILL ALL DINTS, KNOTS, GRAINS AND JOINTS AND THE LIKE WITH PUTTY AND SAND BACK.
  - INSTALL NEW DOUBLE GLAZING UNITS TO PUBLIC EVENTS WINDOWS BY ROUTING OUT TIMBER SASHES.
  - INSTALL NEW DRAFT SEALS TO ALL WINDOWS AND DOORS.
  - PULLEYS, SPIRAL BALANCES OR HINGES ARE TO BE SERVICED OR REPLACED WHERE REQUIRED WITH WEIGHT RATED EQUIVALENT COMPONENTS.
  - WHERE REQUIRED, DOUBLE HUNG SASHES ARE TO BE FITTED WITH NEW LONG LIFE WEIGHT RATED WAXED COTTON SASH CORD (WITH A POLY CORE).
  - TEST THE WINDOWS FOR RANGE OF MOVEMENT AND ENSURE FULL CONTACT BETWEEN SEALS, SASHES, BEADS AND FRAME.
  - INSTALL NEW ROLLER BLINDS TO WINDOWS.
  - REMOVE ELECTRONIC SYSTEMS TO DOORS AND INSTALL NEW COMPLIANT LOCKSETS. SPLICE/PATCH REPAIR AS REQUIRED.
  - INSTALL OPENING RESTRICTORS TO LEVEL 1 AS INDICATED ON DRAWING.
  - INSTALL NEW POWER OUTLETS MOUNTED TO EXISTING SKIRTING AND WITHIN FLOOR BOXES.
  - RE-APPLY VARNISH TO MATCH EXISTING FINISH (DOORS, WINDOWS, ARCHITRAVES, SKIRTING AND THE LIKE).

**EXTERNAL FIXTURES LEGEND:**

- XBE EXISTING BENCH
- SLP-XX SALVAGED LIGHT POLE
- NLP-XX NEW LIGHT POLE
- NLB-XX NEW LIGHT BOLLARD
- NWL-XX NEW WALL LIGHT



NO.	DATE	REVISION
HV1	03/06/2025	HERITAGE VICTORIA SUBMISSION

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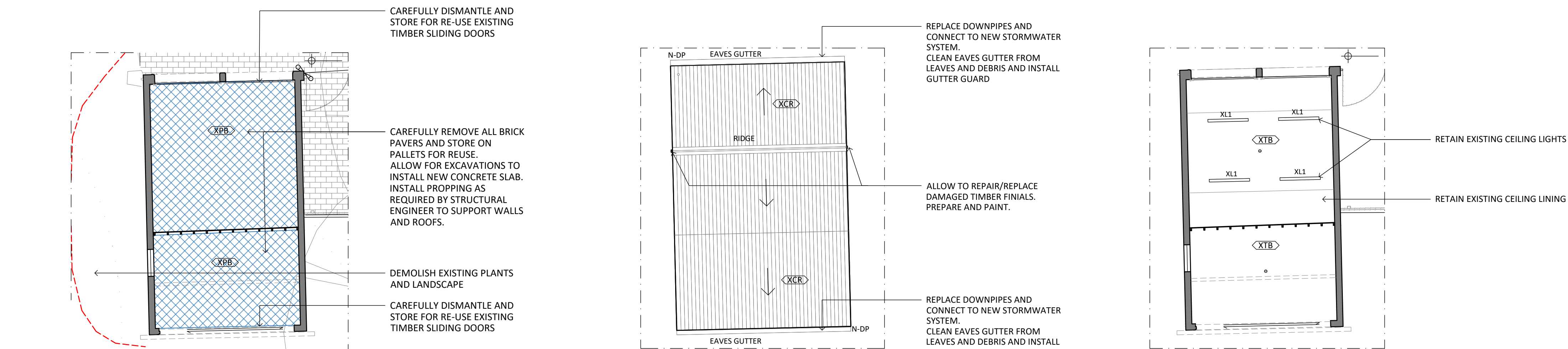
PROJECT  
BILLILLA MANSION  
RENEWAL

LOCATED ON BUNURONG COUNTRY  
DRAWN LT  
CHECKED TT  
PROJECT NO. 20230070  
DATE JAN 2025

DRAWING TITLE  
MANSION  
FLOOR PLANS  
PROPOSED

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE  
ISSUE AUTHORITY  
SCALE 1:100@A1  
DRAWING NO. A131  
REVISION HV1





01 COACH HOUSE PLAN - DEMOLITION  
1:100

02 COACH HOUSE ROOF PLAN - PROPOSED  
1:100

03 COACH HOUSE REFLECTED CEILING PLAN - PROPOSED  
1:100

- ZONING LEGEND:**
- ZONE 1 - PUBLIC EVENTS
  - ZONE 2 - PUBLIC WORKSHOP ACTIVITY
  - ZONE 3 - ADMINISTRATION
  - ZONE 4 - CAFE INFRASTRUCTURE
  - ZONE 5 - ARTIST'S STUDIOS
  - ZONE 6 - KITCHEN AND BACK OF HOUSE
  - SERVICES/UTILITY
  - STORAGE SPACE

- LEGEND:**
- EXCAVATIONS <400MM DEEP (SUBFLOOR EXCAVATION FOR SUBFLOOR VENTILATION AND/OR NEW PEDESTRIAN PATH)
  - EXCAVATIONS <400MM DEEP (SUBFLOOR PREPARATION FOR NEW CONCRETE SLAB ON GROUND, NEW DRINKING FOUNTAIN, NEW RAMP, NEW DDA CAR SPOTS, NEW LIGHTING)
  - DEMOLISH
  - SALVAGE, STORE AND REUSE

- ROOF LEGEND:**
- S-xx SLOPE TAG
  - SK-XX SKYLIGHT
  - CH-XX CHIMNEY
  - N-AH ACCESS HATCH
  - N-AL NEW ACCESS LADDER

- GENERAL NOTES:**
- REFER TO A100 COVER PAGE FOR DETAILED WORK NOTES.
- DEMOLITION / DISMANTLING NOTES:**
- CONTRACTOR TO REMOVE ALL REDUNDANT SERVICES, CABLES AND THE LIKE AS SPECIFIED ON THE DRAWINGS AND REPAIR SURFACE TO MATCH ADJACENT.
  - CAREFULLY REMOVE, LABEL, SALVAGE AND STORE ITEMS INDICATED FOR RE-USE IN A SECURE, DRY LOCATION FOR REINSTATEMENT. ITEMS THAT WILL BE DISMANTLED TO UNDERTAKE THE WORKS ARE: TIMBER DOORS, HARDWARE, SKIRTING BOARDS, TIMBER FLOOR BOARDS, ORIGINAL/EARLY FIXTURES AND FITTINGS AS INDICATED ON DRAWINGS.
  - CONTRACTOR TO ENSURE THAT ALL THE WASTE IS CONTAINED, COLLECTED AND DISPOSED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND EPA WASTE MANAGEMENT.
  - CONTRACTOR TO MAKE GOOD ANY DAMAGE CAUSED DUE TO DEMOLITION. LIAISE WITH ARCHITECT FOR REMEDIATION WORKS.
  - TYPICAL TO MANSION INTERNAL EXCAVATIONS: DISPOSE ALL CARPETS AND VINYL. CAREFULLY DE-NAIL TIMBER BOARDS AND STORE FOR REUSE. HAND EXCAVATE GROUND TO COMPLIANT DEPTH (MIN. 150MM CLEARANCE HEIGHT BELOW FLOOR JOISTS).
  - TYPICAL TO OUTBUILDINGS INTERNAL EXCAVATIONS: -CAREFULLY DE-NAIL TIMBER BOARDS AND STORE FOR REUSE. HAND EXCAVATE GROUND TO COMPLIANT DEPTH (MIN. 150MM CLEARANCE HEIGHT BELOW FLOOR JOISTS). -WHERE BRICKS, CAREFULLY DISMANTLE, CLEAN OF MORTAR, AND STORE ON PALLETS. INSTALL NEW MEMBRANE AND CONCRETE SLAB AND REINSTATE BRICKS.
  - DEMOLISH ALL REDUNDANT FIXTURES AND FITTINGS, INCLUDING LIGHTS, CEILING FANS, SPEAKERS AND REDUNDANT CAMERAS (CCTV).

**INTERIOR FLOOR FINISHES LEGEND:**

- XCO EXISTING CONCRETE SLAB
- XCA EXISTING CARPET
- XTB EXISTING TIMBER FLOOR BOARDS
- XVF EXISTING VINYL FLOOR
- XTL EXISTING TILES
- XBP EXISTING BRICKS

**CEILING FINISHES LEGEND:**

- XDP EXISTING HARD PLASTER - DECORATIVE
- XFP EXISTING HARD PLASTER - FLAT
- XWP EXISTING CEILING WALLPAPER
- XTB EXISTING TIMBER CEILING
- NWP NEW WATERPROOF PLASTERBOARD
- NPB NEW PLASTERBOARD - FLAT

**INTERNAL LIGHTING LEGEND:**

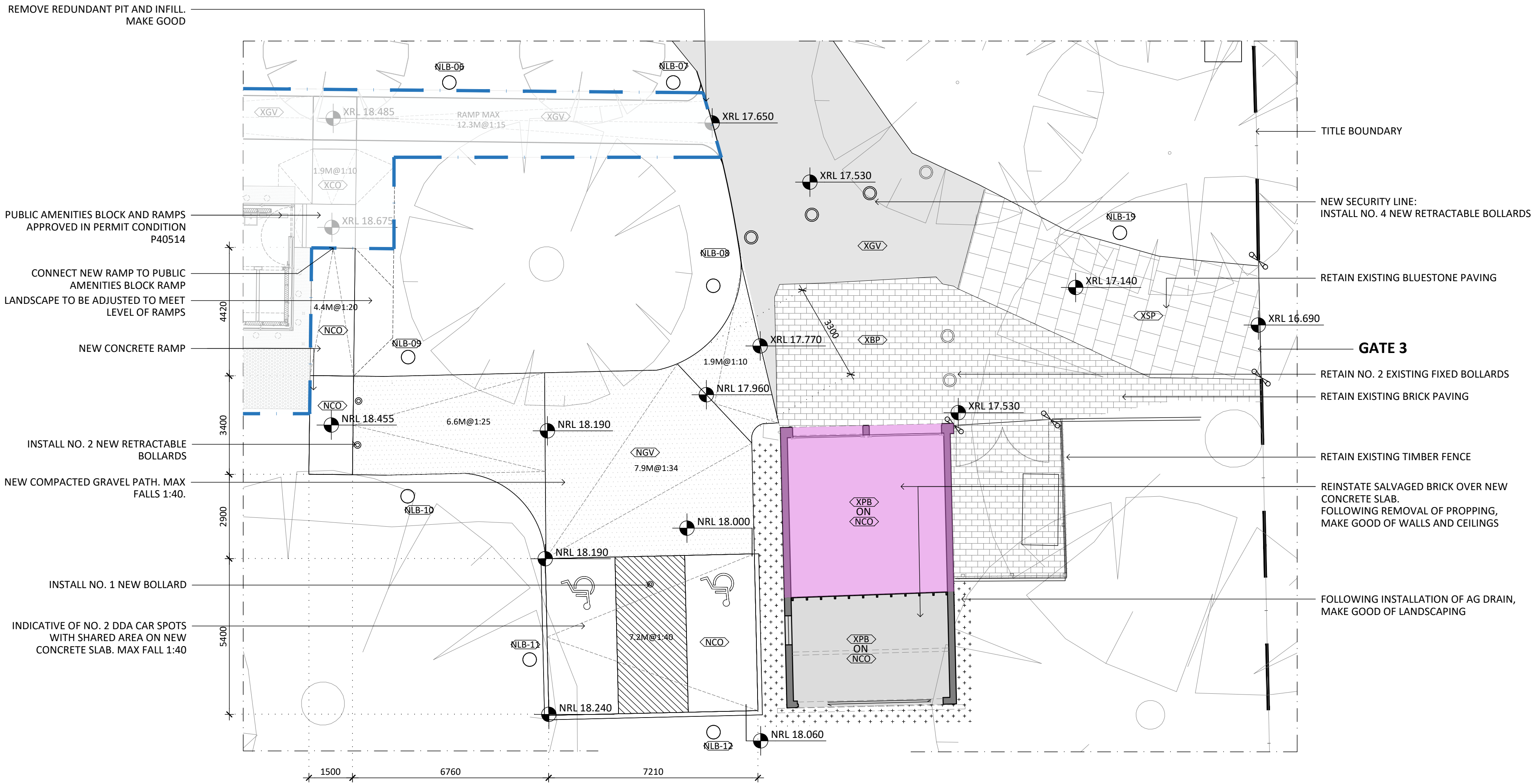
- EXISTING PENDANT LIGHT TO BE RETAINED
- XL1 - EXISTING LINEAR LIGHT
- XD1 - EXISTING DOWNLIGHT

**EXTERIOR FLOOR FINISHES LEGEND:**

- XGA EXISTING GRASS
- XGV EXISTING GRAVEL
- XSP EXISTING STONE PAVERS
- XBP EXISTING BRICK PAVERS
- XCO EXISTING CONCRETE SLAB
- XTR EXISTING TERRAZZO
- XBL EXISTING BLUESTONE
- XTL EXISTING TILES
- NRG NEW REINFORCED GRASS PATHWAY
- NCO NEW CONCRETE RAMPS AND STAIRS
- NPA NEW STONE PAVERS
- NBP NEW BRICK PAVERS
- NGV NEW GRAVEL
- NTB NEW TIMBER BOARDS

**EXTERNAL FIXTURES LEGEND:**

- XBE EXISTING BENCH
- SLP-XX SALVAGED LIGHT POLE
- NLP-XX NEW LIGHT POLE
- NLB-XX NEW LIGHT BOLLARD
- NWL-XX NEW WALL LIGHT



04 COACH HOUSE PLAN AND DDA CAR SPOTS - PROPOSED  
1:100

NOT FOR CONSTRUCTION

0 1 2 3 4 5M  
SCALE 1:100 @ A1

NO.	DATE	REVISION
HV1	03/06/2025	HERITAGE VICTORIA SUBMISSION

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PROJECT  
BILLILLA MANSION  
RENEWAL

LOCATED ON BUNURONG COUNTRY  
DRAWN LT  
CHECKED TT  
PROJECT NO. 20230070  
DATE JAN 2025

DRAWING TITLE  
COACH HOUSE  
FLOOR PLANS  
DEMOLITION AND PROPOSED

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE  
ISSUE AUTHORITY  
SCALE 1:100@A1  
DRAWING NO. A132  
REVISION HV1





CEILING LEGEND:

- AH ACCESS HATCH
- SK## SKYLIGHT
- MV MECHANICAL VENT - REMOVE AND REPLACE WITH NEW IN EXISTING LOCATION TO SUIT NEW MECHANICAL REQUIREMENT

FIRE SERVICES:

- NEW SPRINKLER HEAD
- NEW SIDE THROW SPRINKLER HEAD
- EXISTING IN-CEILING SPRINKLER TO BE RETAINED
- X-D EXISTING FIRE DETECTION TO BE RETAINED IN PLACE
- NEW THERMAL DETECTORS
- NEW SURFACE MOUNTED WARNING SPEAKER

INTERNAL LIGHTING LEGEND:

- EXISTING PENDANT LIGHT TO BE RETAINED
- XL1 - EXISTING LINEAR LIGHT
- XD1 - EXISTING DOWNLIGHT
- L1 - NEW SUSPENDED LINEAR LIGHT
- D1 - NEW DOWNLIGHT
- NEW EMERGENCY LIGHT

CEILING FINISHES LEGEND:

- XDP EXISTING HARD PLASTER - DECORATIVE
- XFP EXISTING HARD PLASTER - FLAT
- XWP EXISTING CEILING WALLPAPER
- XTB EXISTING TIMBER CEILING
- NWP NEW WATERPROOF PLASTERBOARD
- NPB NEW PLASTERBOARD - FLAT

EXTERNAL FIXTURES LEGEND:

- NWL-X NEW WALL LIGHT

GENERAL NOTES:

- REFER TO A100 COVER PAGE FOR DETAILED WORK NOTES.
- INTERNAL CONSERVATION NOTES:**
- GENERALLY:
- PREPARE AND PAINT ALL PREVIOUSLY PAINTED SURFACES, INCLUDING OF TIMBER WORK, RENDER WORK AND METAL WORK.
  - ENSURE OPERABLE WINDOWS REMAIN OPERABLE, DO NOT PAINT SHUT.

WALLS

- RE-APPLY TRADITIONAL THREE COATS HARD PLASTER TO DAMAGED BRICK WALLS AND KEY INTO EXISTING.
- REMOVE DAMAGED WALLPAPER AND RE-APPLY FINISHES (PAINT OR NEW WALLPAPER) TO SELECTED ROOMS
- RETAIN AND RESTORE EXISTING WALLPAPER TO SELECTED ROOMS.

CEILING

- RETAIN ORIGINAL DECORATIVE PLASTER CEILING. ALLOW FOR CONSOLIDATION TREATMENTS (PINNING/ADHESIVE APPLICATION FROM ROOF SPACE) WHERE REQUIRED.
- RESTORE CEILINGS WHERE DAMAGED
- INSTALL NEW PLASTER BOARD CEILINGS TO NEW INTERNAL AMENITIES.
- INSTALL NEW CEILING MECHANICAL VENTS
- INSTALL NEW FIRE PROTECTION SERVICES. ALLOW FOR PATCH REPAIR WHERE REDUNDANT SERVICES ARE REMOVED. ALLOW FOR PENETRATIONS TO EXISTING CEILINGS FOR NEW SERVICES (FIRE, MECHANICAL AND ELECTRICAL)

FLOORS

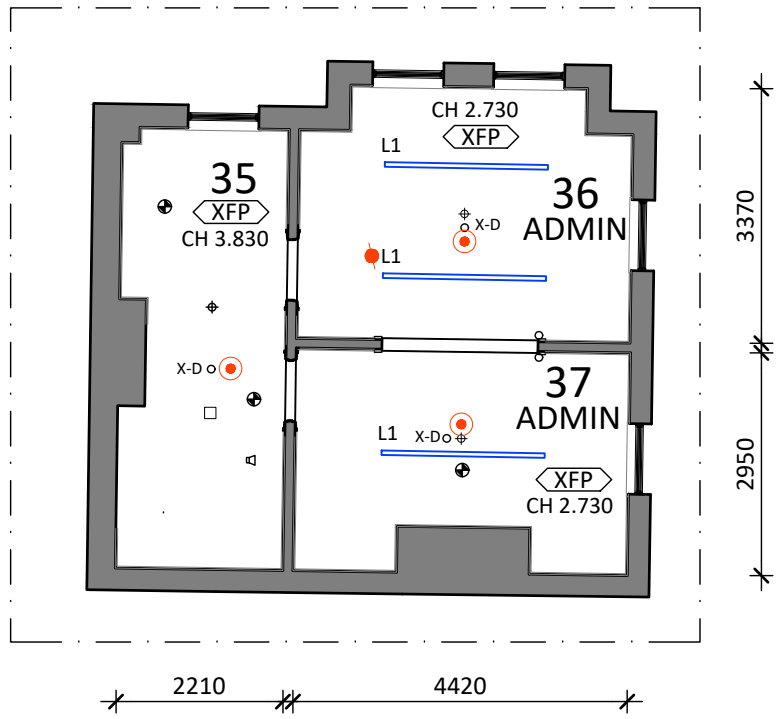
- FOLLOWING INTERNAL SUB-FLOOR EXCAVATIONS, INSTALL INSULATION, PERMEABLE MEMBRANE AND REINSTATE TIMBER FLOOR BOARDS RE-USING SALVAGED BOARDS. INSTALL NEW BOARDS TO SUIT WHERE REQUIRED.
- RETAIN AND RESTORE TIMBER SKIRTING.
- INSTALL NEW CARPET TO ALL PUBLIC ROOMS.
- INSTALL NEW CARPET TO ALL CORRIDORS.
- INSTALL NEW SAFETY FLOORS TO KITCHENS AND STORES.
- INSTALL NEW TILES TO AMENITIES.

LIGHT FIXTURES

- REINSTATE/REFURBISH ORIGINAL LIGHT FIXTURES.
- INSTALL NEW CONTEMPORARY LIGHTING TO SUIT NEW USE.

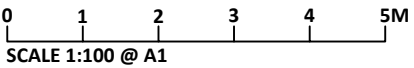
JOINERY WORK

- REPLACE DAMAGED PARTS LIKE-FOR LIKE SUCH AS BEADS, RAILS, SPLICE REPAIRS AND THE LIKE.
- FILL ALL DINTS, KNOTS, GRAINS AND JOINTS AND THE LIKE WITH PUTTY AND SAND BACK.
- INSTALL NEW DOUBLE GLAZING UNITS TO PUBLIC EVENTS WINDOWS BY ROUTING OUT TIMBER SASHES.
- INSTALL NEW DRAFT SEALS TO ALL WINDOWS AND DOORS.
- PULLEYS, SPIRAL BALANCES OR HINGES ARE TO BE SERVICED OR REPLACED WHERE REQUIRED WITH WEIGHT RATED EQUIVALENT COMPONENTS.
- WHERE REQUIRED, DOUBLE HUNG SASHES ARE TO BE FITTED WITH NEW LONG LIFE WEIGHT RATED WAXED COTTON SASH CORD (WITH A POLY CORE).
- TEST THE WINDOWS FOR RANGE OF MOVEMENT AND ENSURE FULL CONTACT BETWEEN SEALS, SASHES, BEADS AND FRAME.
- INSTALL NEW ROLLER BLINDS TO WINDOWS.
- REMOVE ELECTRONIC SYSTEMS TO DOORS AND INSTALL NEW COMPLIANT LOCKSETS. SPLICE/PATCH REPAIR AS REQUIRED.
- INSTALL OPENING RESTRICTORS TO LEVEL 1 AS INDICATED ON DRAWING.
- INSTALL NEW POWER OUTLETS MOUNTED TO EXISTING SKIRTING AND WITHIN FLOOR BOXES.
- RE-APPLY VARNISH TO MATCH EXISTING FINISH (DOORS, WINDOWS, ARCHITRAVES, SKIRTING AND THE LIKE).



02 FIRST FLOOR REFLECTED CEILING PLAN - PROPOSED  
1:100

NOT FOR CONSTRUCTION



NO.	DATE	REVISION
HV1	03/06/2025	HERITAGE VICTORIA SUBMISSION

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MELBOURNE VIC, 3000

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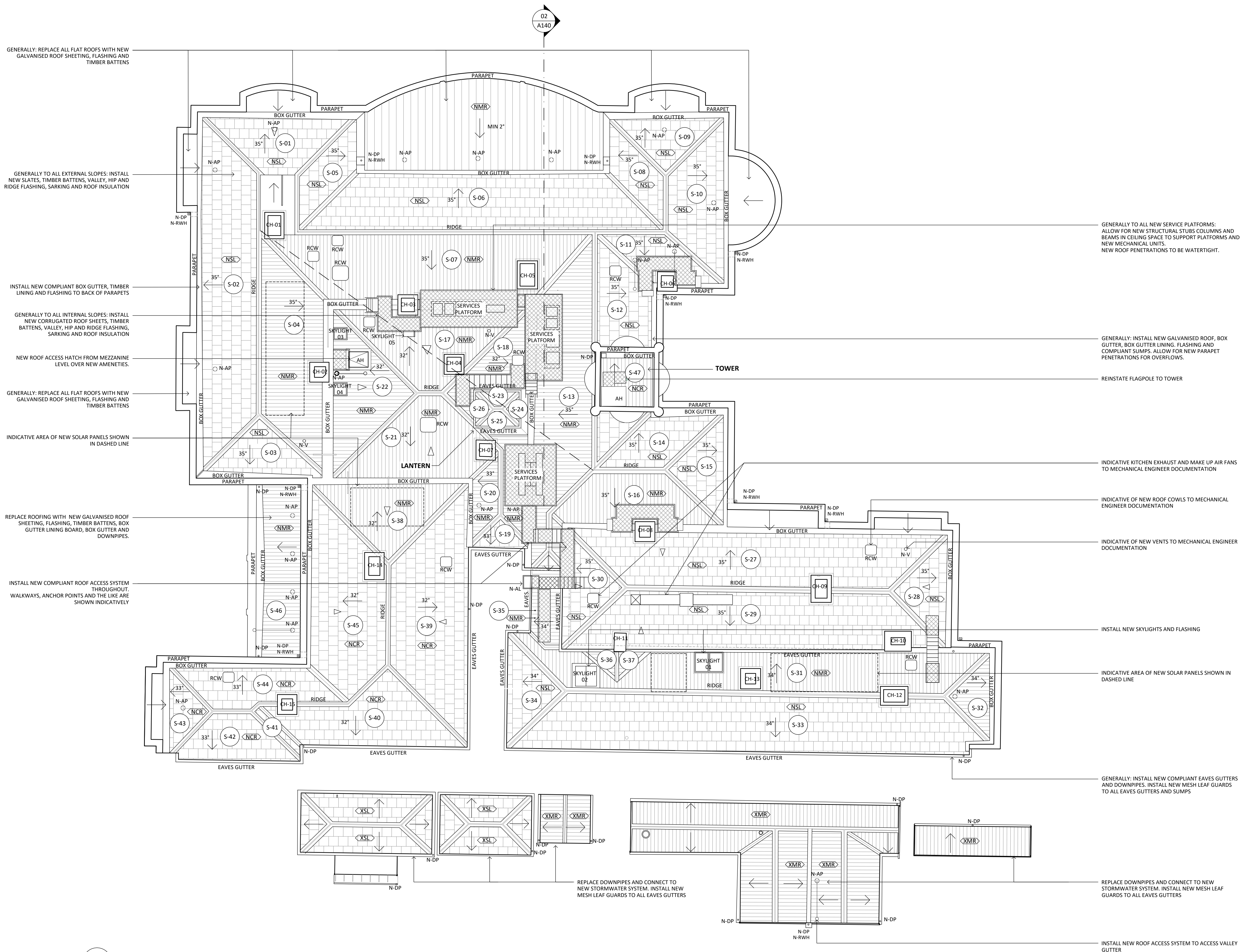
PROJECT  
BILLILLA MANSION  
RENEWAL

LOCATED ON BUNURONG COUNTRY  
DRAWN AG  
CHECKED LT  
PROJECT NO. 20230070  
DATE JAN 2025

DRAWING TITLE  
MANSION  
REFLECTED CEILING PLANS  
PROPOSED

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE  
ISSUE AUTHORITY  
SCALE 1:100@A1  
DRAWING NO. A133  
REVISION HV1





01 ROOF PLAN - PROPOSED  
1:100

#### GENERAL NOTES:

1. REFER TO A100 COVER PAGE FOR DETAILED WORK NOTES.

#### ROOFING NOTES:

1. ALL PLUMBING AND DRAINAGE WORKS TO COMPLY WITH AS3500.3-2003
2. INSTALLATION OF ROOF SLATES TO COMPLY WITH AS4597-1999
3. INSTALLATION OF ROOF SHEET TO COMPLY WITH AS1562.2-1999
4. FLASHING AND CAPPING TO AS/NZS 2904
5. CONTRACTOR IS TO PROVIDE CERTIFICATE OF ROOF PLUMBING COMPLIANCE AT COMPLETION OF WORKS.
6. APPLY PATINATION OIL TO ALL NEW LEAD WORK ON THE SAME DAY OF INSTALLATION, OUT OF THE DIRECT SUNLIGHT. ENSURE NEW LEAD IS DRY BEFORE APPLICATION OF PATINATION OIL.
7. REPLACE ALL SLATE WITH NEW INCLUDING INSTALLATION OF INSULATION AND SARKING MEMBRANE.
8. INSTALL NEW METAL ROOF SHEETS INCLUDING INSTALLATION OF INSULATION, SARKING MEMBRANE AND SAFETY MESH.
9. REPLACE ALL RIDGE CAPPING, VALLEY AND FLASHING AND THE LIKE.
10. REPLACE ALL EAVES GUTTERS AND RAINWATER GOODS. CONTRACTOR TO REVIEW ALL FALLS AND CONNECTIONS.
11. INSTALL NEW SUMPS WITH OVERFLOWS. ALLOW FOR NEW PARAPET PENETRATIONS.
12. PREVENT DIRECT CONTACT BETWEEN INCOMPATIBLE METALS AND BETWEEN GREEN HARDWOOD OR CHEMICALLY TREATED TIMBER AND ALUMINIUM OR COATED STEEL BY APPLY ANTI-CORROSION, LOW MOISTURE TRANSMISSION COATING TO CONTACT SURFACES OR INSERTING A SEPARATION LAYER.
13. CONTRACTOR TO KEEP THE ROOFING AND RAINWATER SYSTEM FREE OF DEBRIS AND LOOSE MATERIAL DURING CONSTRUCTION
14. CONTRACTOR TO KEEP THE ROOF SPACE WATERTIGHT DURING CONSTRUCTION.
15. CLEAN OUT FROM LEAVES AND DEBRIS ALL RETAINED RAINWATER GOODS.
16. NEW ROOF ACCESS SYSTEMS TO ROOF ACCESS CONTRACTOR. ALLOW FOR NEW COMPLIANT WALKWAYS, LADDER SYSTEMS, ANCHOR POINTS AND THE LIKE.
17. CONTRACTOR TO VACUUM OUT ROOF SPACE. ASSUME PRESENCE OF HAZARDOUS MATERIAL.

#### CHIMNEY NOTES:

1. ALL CHIMNEYS ARE TO BE CLEANED USING SPECIFIED BIOCIDES THAT DOES NOT CONTAIN GLYPHOSATE PRIOR TO AND AFTER COMPLETION OF THE WORKS.
2. ALL FLASHINGS TO CHIMNEYS TO BE DEMOLISHED AND REPLACED.
3. ALL CHIMNEY TOPS ARE TO BE CAPPED WITH STEEL SHEETS AND RE-PARGED AROUND.
4. REPAIR RENDERWORK AND RE-PAINT.

#### ROOF LEGEND:

S-xx	SLOPE TAG
SK-XX	SKYLIGHT
CH-XX	CHIMNEY
N-AH	ACCESS HATCH
N-DP	NEW DOWNPIPE
N-RWH	NEW RAINWATER HEAD
N-V	NEW ROOF VENT
N-AP	NEW ANCHOR POINT
N-AL	NEW ACCESS LADDER
XMR	EXISTING METAL ROOF SHEET
XSL	EXISTING SLATE
NMR	NEW METAL ROOF SHEET
NSL	NEW SLATE
RCW	NEW ROOF COWL. REFER TO MECHANICAL ENGINEER
	NEW ACCESS PLATFORM/ WALKWAY

NOT FOR CONSTRUCTION

0 1 2 3 4 5M  
SCALE 1:100 @ A1

NO.	DATE	REVISION
HV1	03/06/2025	HERITAGE VICTORIA SUBMISSION

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PROJECT  
BILLILLA MANSION  
RENEWAL

LOCATED ON BUNURONG COUNTRY

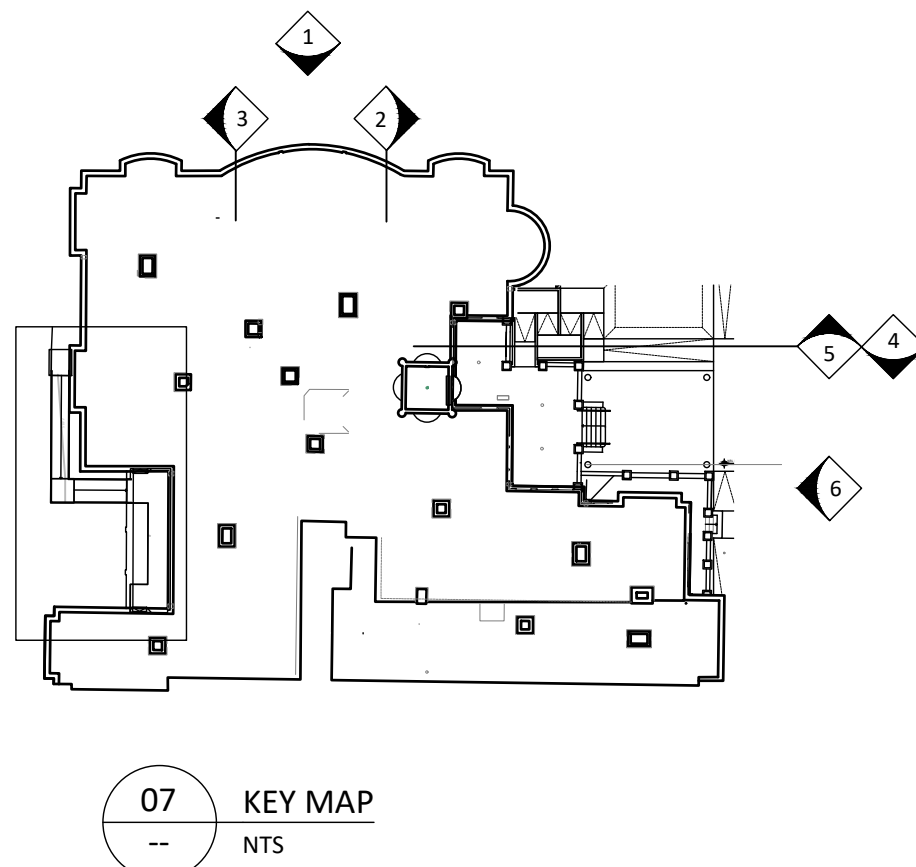
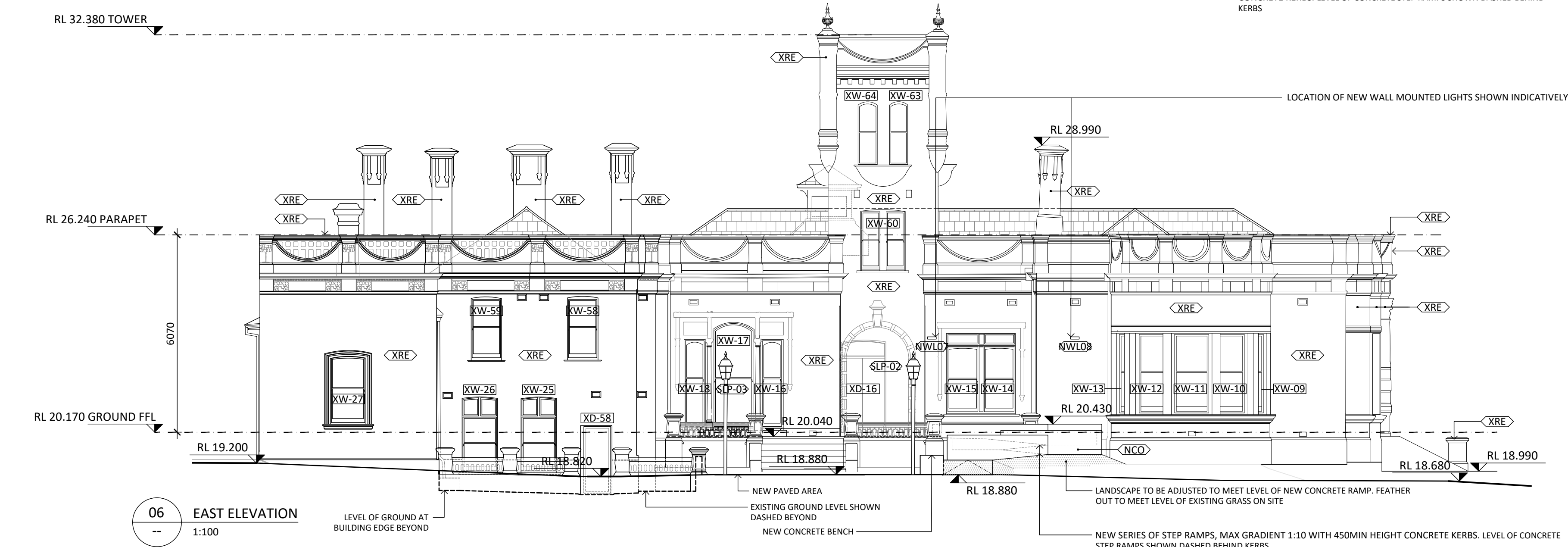
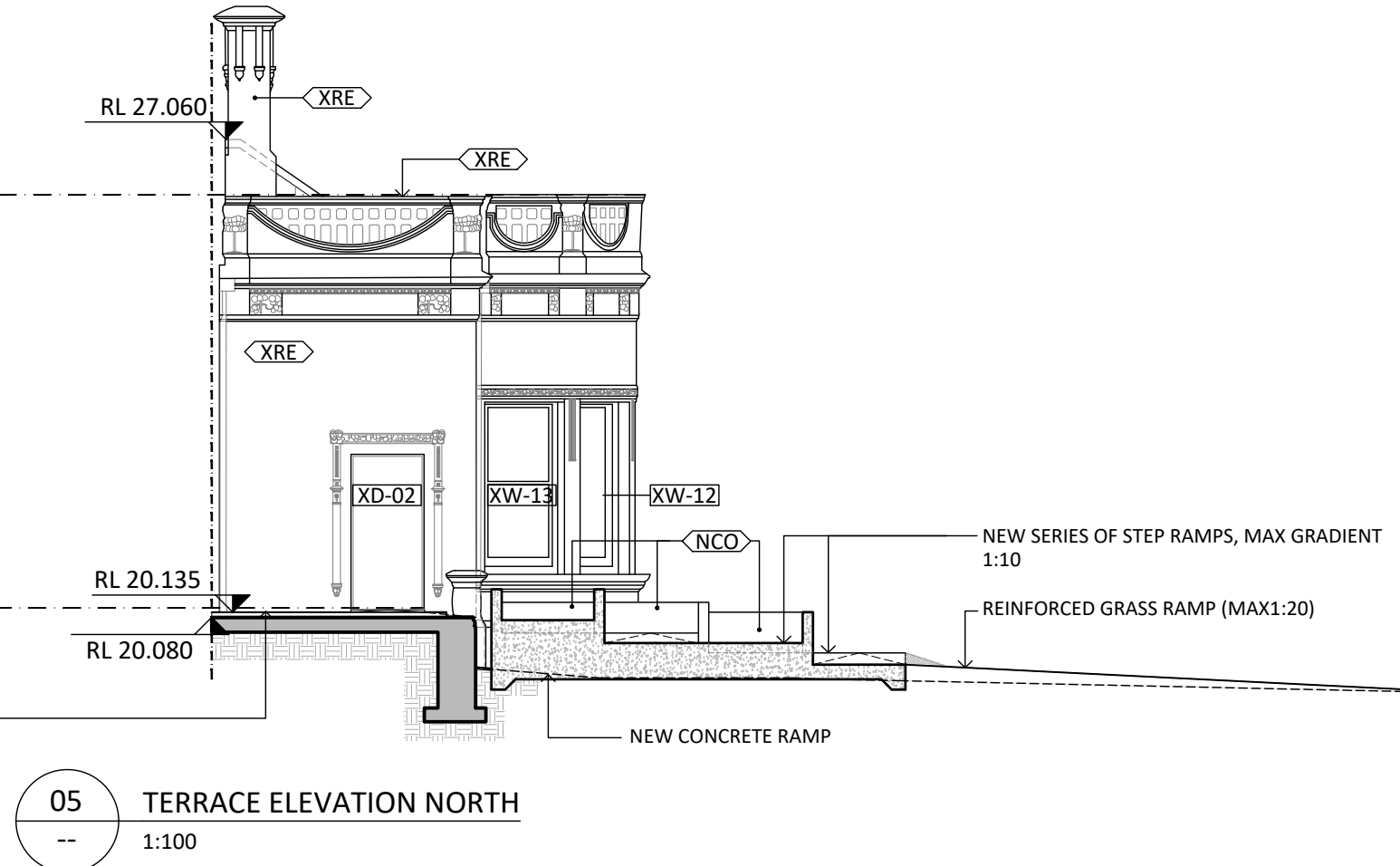
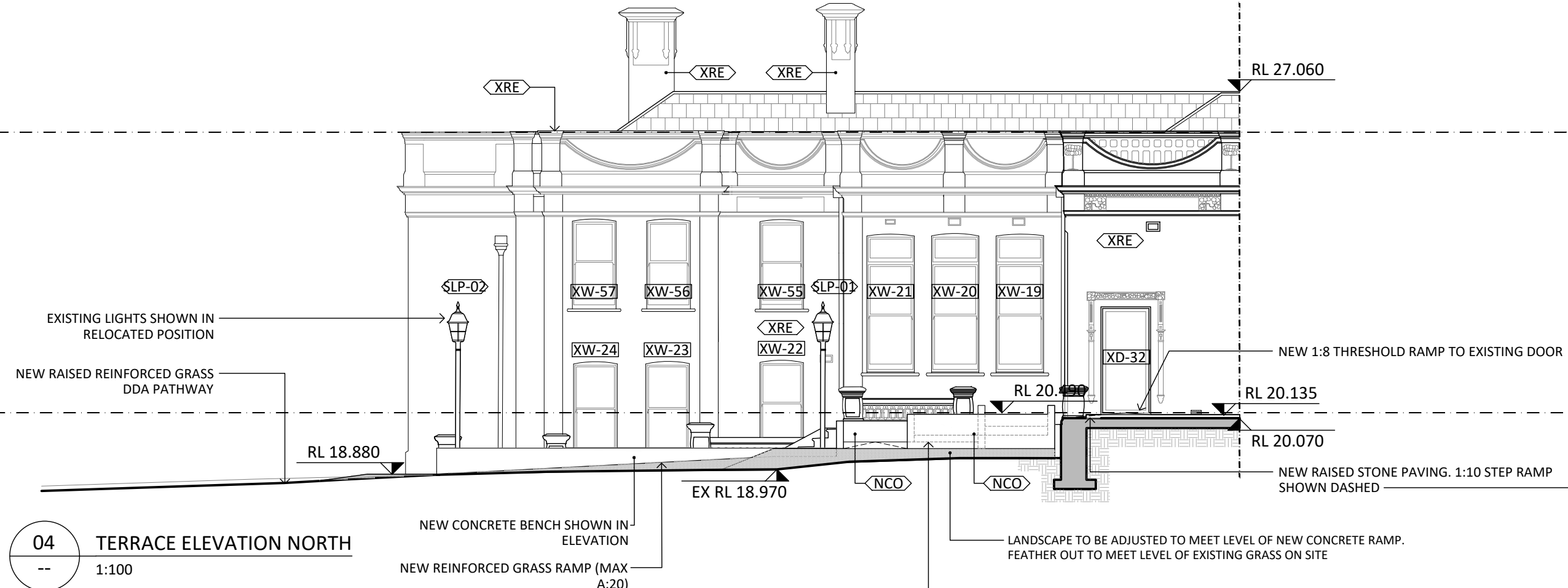
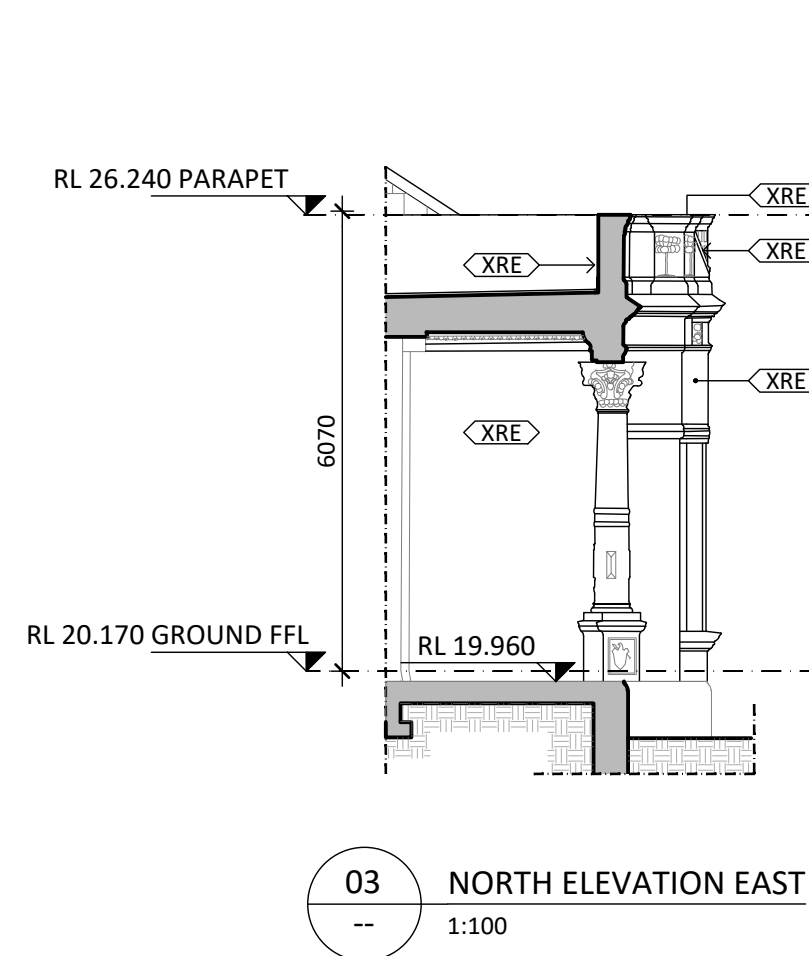
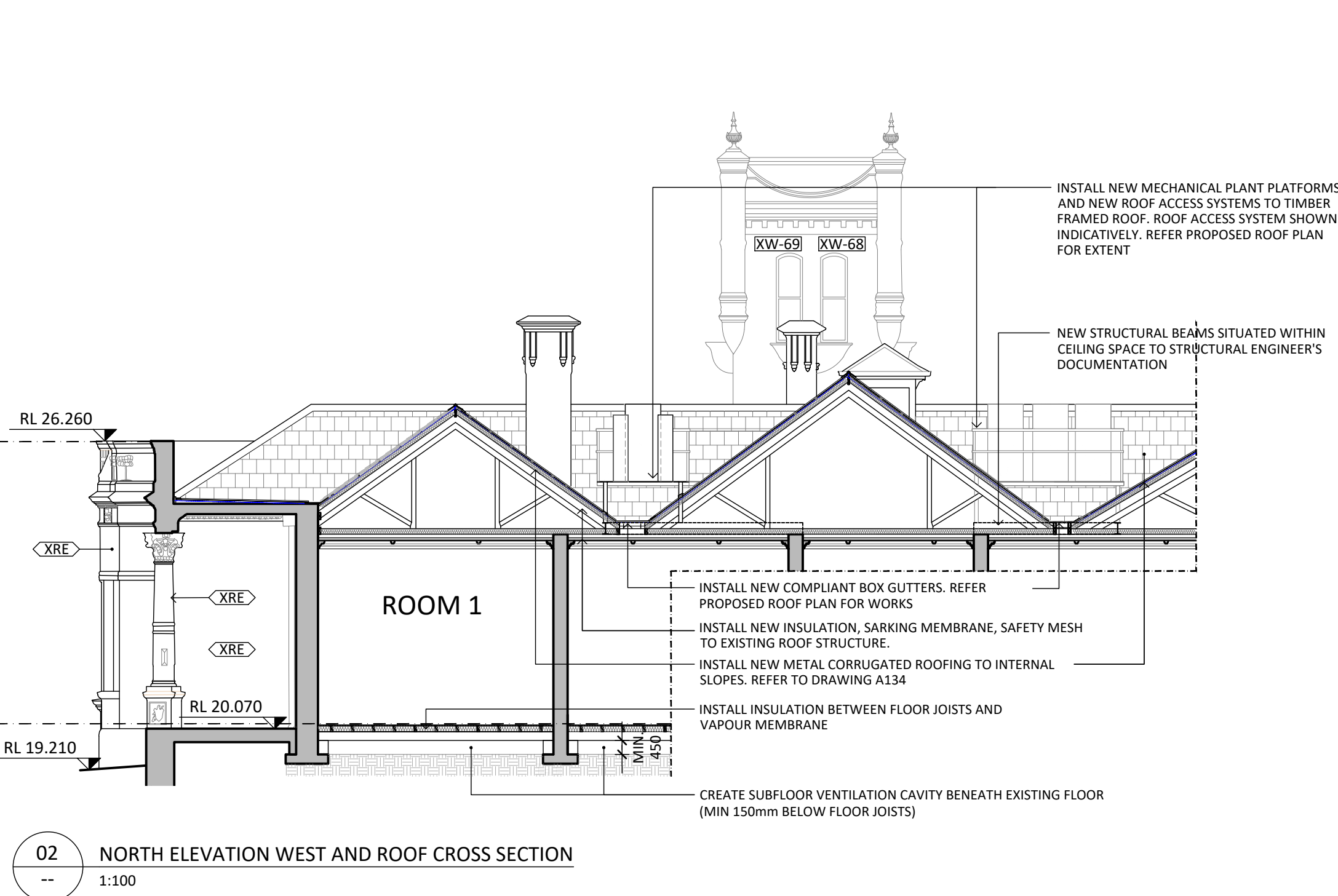
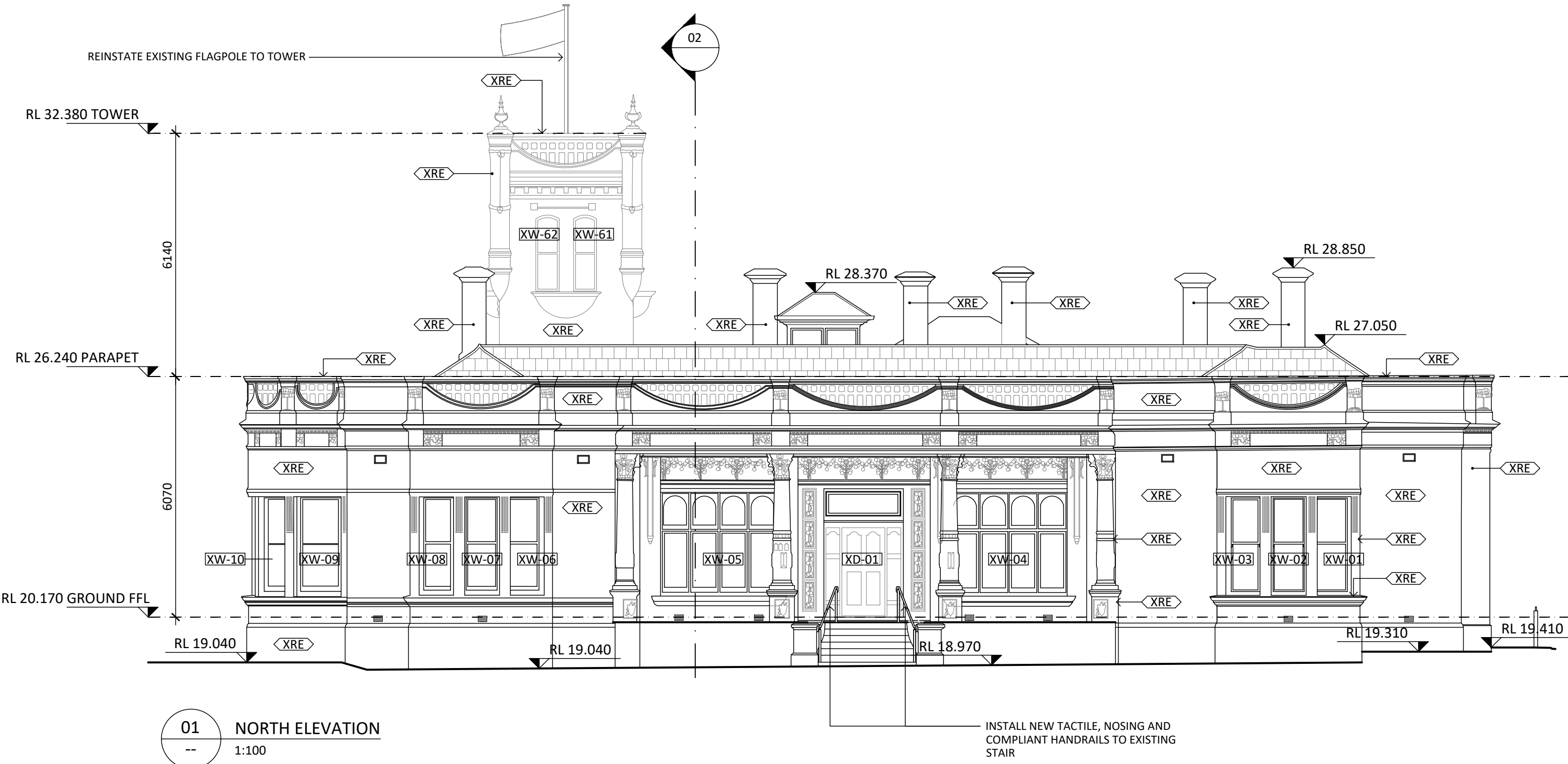
DRAWN LT CHECKED TT PROJECT NO. DATE 20230070 JAN 2025

DRAWING TITLE  
MANSION  
ROOF PLAN  
PROPOSED

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

ISSUE AUTHORITY SCALE 1:100@A1 DRAWING NO. A134 REVISION HV1





#### GENERAL NOTES:

1. REFER TO A100 COVER PAGE FOR DETAILED WORK NOTES.

#### EXTERNAL CONSERVATION NOTES:

##### FACADE CLEANING WORK

- WASH DOWN ALL FACADE SURFACES USING LOW PRESSURE WATER AND MILD BIOCIDES THAT DOES NOT CONTAIN GLYPHOSATE TO REMOVE ORGANIC GROWTH, DEBRIS, DIRT AND THE LIKE.
- CONTRACTOR TO ENSURE THAT ALL THE PRECAUTIONS ARE TAKEN TO PREVENT WATER/BIOCIDES PENETRATION IN THE BUILDING DURING THE WASHING PROCESSES (I.E. CAULKING AND/OR MASKING).
- WASTE CAPTURE IN ACCORDANCE WITH EPA.

##### RENDER WORK

- REPAIR RENDER TO ALL ELEVATIONS WHERE DRUMMY, DECAYED, MISSING OR DEGRADED
- RENDER REPAIRS TO MATCH EXISTING ADJACENT TEXTURE AND FINISH

##### STONE WORK

- REPAIR CRACKED WINDOW SILLS WITH EPOXY INJECTION AND PIGMENTED MORTAR TO MATCH TEXTURE AND COLOUR OF STONE.
- RE-POINT IN NEW LIME MORTAR AREAS OF STONEMARK WHERE MORTAR MIX IS LOST OR DEGRADED.
- PIGMENTED MORTAR MIX TO STONEMARK WHERE REDUNDANT ITEMS ARE REMOVED

##### PAVING WORK

- VERANDAH: REPLACE DAMAGED TILES TO MATCH EXISTING COLOUR AND SIZE.
- REPLACE BROKEN/MISSING BRICKS TO MATCH EXISTING COLOUR AND SIZE.
- REPLACE SLATES AND STONE PAVERS WITH NEW.

##### LIGHT FITTINGS

- REINSTATE/REFURBISH ORIGINAL LIGHT POLES TO NORTH EAST GARDEN.
- INSTALL NEW LIGHTING TO LANDSCAPE PATHWAYS AS SHOWN.

##### WINDOWS AND DOORS

- INSTALL NEW DRAUGHT SEALS TO ALL EXISTING WINDOWS AND DOORS
- INSTALL NEW DOUBLE GLAZING UNITS TO ALL PUBLIC EVENTS SPACE WINDOWS

##### ROOFING

- REPLACE ALL SLATE AND METAL ROOFING WITH NEW INCLUDING INSTALLATION OF INSULATION AND SARKING MEMBRANE. REFER DWG A134 FOR SCOPE
- REPLACE ALL RAINWATER GOODS AND FLASHINGS. REFER DWG A134 FOR SCOPE
- INSTALL NEW SUMPS AND OVERFLOWS. ALLOW FOR NEW PARAPET PENETRATIONS. REFER DWG A134 FOR SCOPE

#### EXTERIOR WALL FINISHES LEGEND:

- <XRE> RENDERED WALL
- <XBW> PAINTED BRICK WALL
- <XBS> BLUESTONE SILL
- <NCO> NEW CONCRETE WALL

#### ROOF LEGEND:

- <XSL> EXISTING SLATE
- <NMR> NEW METAL ROOF SHEET

#### LEGEND:

- <XW-XX> EXISTING WINDOW
- <XD-XX> EXISTING DOOR
- NEW SURFACE MOUNTED WARNING SPEAKER

#### EXTERNAL LIGHTING LEGEND:

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HV1	03/06/2025	HERITAGE VICTORIA SUBMISSION

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PROJECT  
BILLILLA MANSION  
RENEWAL

LOCATED ON BUNURONG COUNTRY  
DRAWN AG  
CHECKED TT  
PROJECT NO. 20230070  
DATE JAN 2024

DRAWING TITLE  
MANSION  
EXTERNAL ELEVATIONS  
PROPOSED (1 OF 2)

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE  
ISSUE AUTHORITY  
SCALE 1:100@A1  
DRAWING NO. A140  
REVISION HV1



