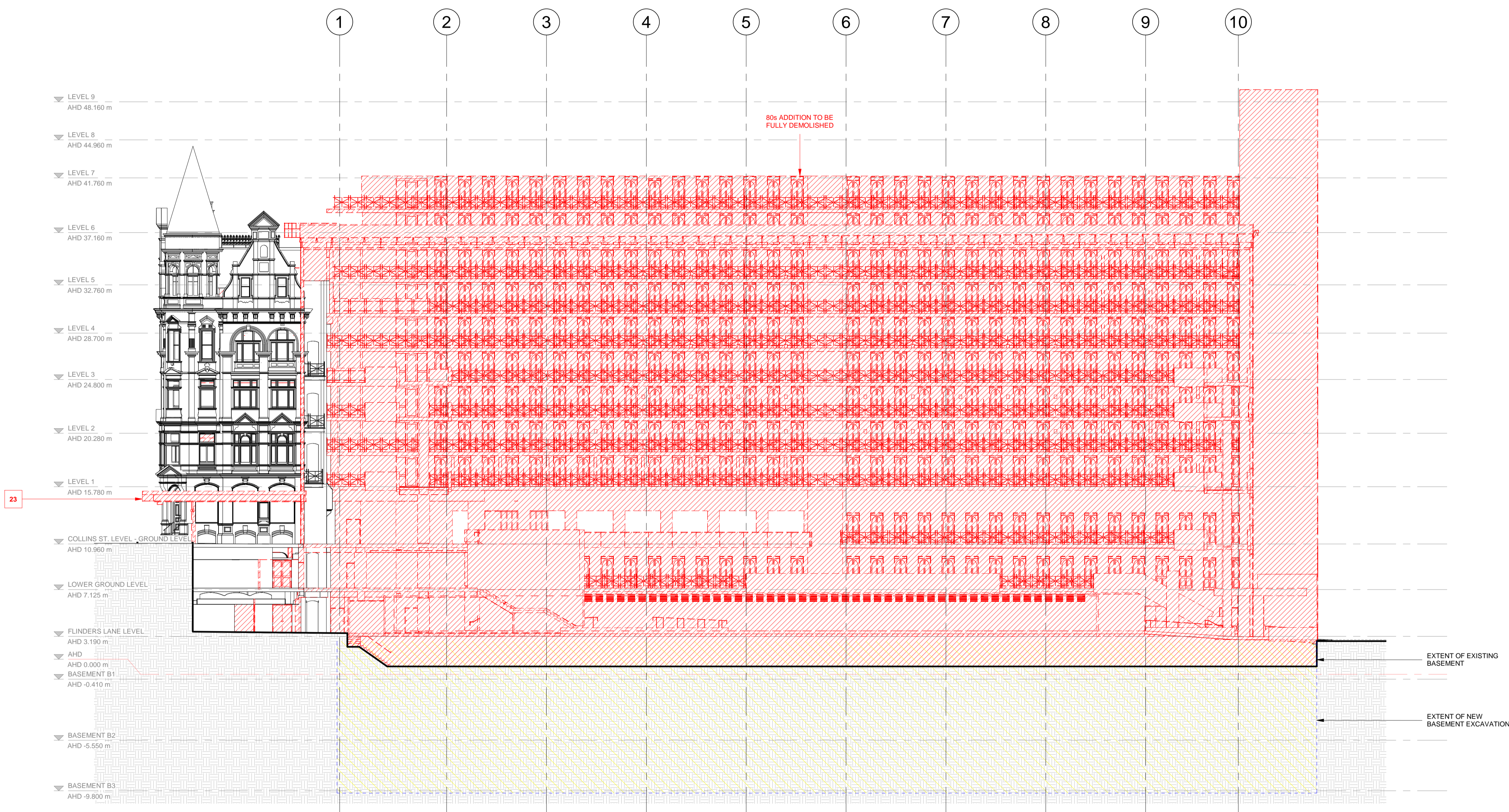


- KEYNOTES**
- HATCHED AREA INDICATES EXISTING FLOOR TO BE REMOVED AND EXCAVATION CARRIED OUT FOR NEW LIFT PIT.
 - HATCH INDICATES SECTION OF EXISTING BALUSTRADE TO BE REMOVED FOR NEW BRIDGE. REMOVED BALUSTRADE TO BE ASSESSED FOR RESTORATION AND REINSTATEMENT IN LOCATIONS WHERE SECTIONS ARE MISSING FOLLOWING DEMOLITION OF NON-HERITAGE STRUCTURE.
 - EXISTING METAL SHEET ROOFING TO BE REMOVED AND REPLACED WITH Z600 CORRUGATED GALVANISED METAL STEEL ROOFING. ALL EXISTING MECHANICAL AND HYDRAULIC ROOF SERVICES, PENETRATIONS AND ACCESS EQUIPMENT TO BE REMOVED OR REPLACED WITH LESS INTRUSIVE EQUIPMENT.
 - REMOVE FLOOR FINISHES FROM EXISTING STAIRS.
 - EXISTING WINDOWS TO BE REMOVED. NEW LOUVERED AIR INTAKES TO BE INSTALLED IN OPENINGS.
 - EXISTING WINDOWS TO BE REMOVED. SILL TO BE REMOVED TO CREATE NEW DOORWAY.
 - RAISED TIMBER FRAMED FLOOR TO BE REMOVED TO EXPOSE BLUESTONE UNDER.
 - EXTERNAL RAISED TIMBER FRAMED DECK AND PAVING DECK TO BE REMOVED TO EXPOSE BLUESTONE UNDER.
 - RAISED VINYL FLOORING TO BOH AREA TO BE REMOVED TO EXPOSE BLUESTONE UNDER.
 - REMOVE FLOOR AND EXCAVATE AREA FOR SPA POOLS. FINAL EXTENT OF POOLS TBC.
 - HATCHED AREA INDICATES EXISTING FLOOR TO BE REMOVED FOR NEW LIFT AND STAIRS.
 - HATCHED AREA INDICATES EXISTING FLOOR TO BE REMOVED FOR NEW SERVICES RISERS.
 - HATCHED AREA INDICATES EXISTING FLOOR TO BE REMOVED FOR NEW STAIRS.
 - CONCRETE DECKS AND STAIRS REMOVED. MAKE GOOD HERITAGE WALLS WHERE NO NEW BRIDGES ARE PROPOSED.
 - REMNANT WINDOW OPENING TO BE REINSTATED FOR NEW DOOR OPENING.
 - ATRIUM GLAZING, FRAME AND STRUCTURE TO BE REMOVED.
 - NON-HERITAGE ROOFS, WALLS AND EQUIPMENT TO BE REMOVED FROM LEVEL 4 OF THE WINFIELD BUILDING.
 - NON-HERITAGE ROOFS, WALLS AND EQUIPMENT TO BE REMOVED FROM LEVEL 4 OF THE RIALTO SOUTHERN ROOF TERRACE.
 - SMOKE EXHAUST EQUIPMENT AND ASSOCIATED STRUCTURE TO BE REMOVED FROM THE ROOF OF THE RIALTO.
 - ALL INTERNAL NON-HERITAGE, AND NON-STRUCTURAL WALLS, CEILINGS, FLOOR FINISHES, JOINERY FIXTURES, FITTINGS AND EQUIPMENT TO BE REMOVED.
 - ROOF CANOPIES TO BE REMOVED.
 - EXISTING FLOOR TO BE REMOVED TO PROVIDE DDA ACCESS FROM COLLINS ST.
 - EXTERNAL CANOPY STRUCTURE TO BE REMOVED.
 - BLUESTONE COBBLESTONES TO BE REMOVED, RESTORED, AND RE-CONSTRUCTED IN PLACE TO ADJUSTED LEVELS TO COMPLY WITH DDA REQUIREMENTS FOR PUBLIC ACCESS. EXTENT OF HERITAGE COBBLESTONES TO IN WINFIELD SQUARE REINSTALLED DURING PREVIOUS DEVELOPMENT ON SUSPENDED SLAB OVER EXISTING BASEMENT TO BE CONFIRMED FOLLOWING REMOVAL OF EXISTING RAISED FLOOR. NEW PAVING TO ADJOIN EXISTING. (REFER ALSO TO POINTS 7, 8 AND 9).
 - EXISTING GATIC ACCESS HATCH TO BE REMOVED AND REPLACED WITH NEW BLUESTONE COBBLESTONE INLAY GATIC.
 - BLUESTONE PAVING TO BE REMOVED. EXPECTED TO REVEAL HERITAGE BLUESTONE COBBLES UNDER.
 - LERB AND FOOTPATH TO BE REALIGNED TO ALLOW FOR REVISED CROSSOVER.
 - EXISTING SEWER PIT TO BE REMOVED AND RELOCATED. REFER TO CIVIL ENGINEER'S DRAWING FOR DETAILS.
 - REMOVE INFILL BRICKWORK TO REINSTATE REMNANT ARCHED OPENINGS

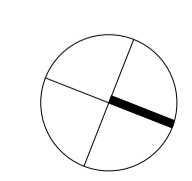


1 DEMOLITION - INTERNAL EAST ELEVATION
SCALE 1:200

LEGEND

| | | | | | |
|--|---|------------|---|--|--|
| | TO BE RETAINED | | ASSUMED HERITAGE STRUCTURE TBC (CURRENTLY CONCEALED) TO BE RETAINED | | EXISTING WALLS, PARTITIONS, DOORS, AND FITTINGS TO BE RETAINED AND MADE GOOD. |
| | TO BE DEMOLISHED | FFL 4.500 | FINISHED FLOOR LEVEL (METRES) ABOVE DATUM. | | EXISTING WALLS, PARTITIONS, DOORS, CEILINGS, JOINERY AND SANITARY WARE, FIXTURES AND FITTINGS TO BE DEMOLISHED OR REMOVED SURROUNDING SURFACE TO BE MADE GOOD. |
| | EXTENT OF FLOOR TO BE REMOVED | + RL 4.500 | SPOT LEVEL - REDUCED LEVEL (METERS) ABOVE DATUM. | | |
| | TO BE REMOVED AND REINSTALLED/REFURBISHED | | | | |

- GENERAL NOTES**
- ALL EXISTING NON-ORIGINAL, AND NON-STRUCTURAL ITEMS IN RETAINED HERITAGE LISTED BUILDINGS TO BE REMOVED, INCLUDING PARTITIONS, CEILINGS, RAISED FLOORS AND FLOOR FINISHES, FLOOR FINISHES, FIXTURES AND FITTINGS EQUIPMENT AND SERVICES.
 - REFER TO THE CONSERVATION MANAGEMENT PLAN FOR DETAILS OF HERITAGE CONSERVATION WORKS.
 - REFER TO HERITAGE CONSULTANTS DRAWINGS FOR DETAILS OF HERITAGE RESTORATION WORKS.
 - PENETRATIONS AND INTERVENTIONS FOR BUILDING SERVICES TBC.
 - THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE FLOOR PLANS, ELEVATIONS AND ALL DESIGN DRAWINGS.
 - ALL REMOVED MATERIALS TO BE ASSESSED FOR HERITAGE VALUE AND RECYCLABILITY AND DIRECTED TO APPROPRIATE RECOVERY STREAMS WHERE POSSIBLE TO MAXIMISE RESOURCE VALUE AND MINIMISE LANDFILL.
 - ANY INDICATION OF EXTENT OF EXISTING BLUESTONE COBBLESTONES UNDER RAISED FLOORS AND FINISHES IS ESTIMATED ONLY. TRUE EXTENT TO BE CONFIRMED DURING DEMOLITION.



Project:
495 COLLINS STREET

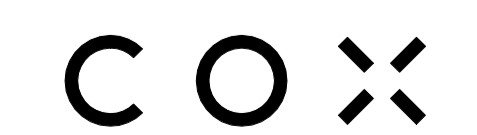
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DEMOLITION ELEVATION - INTERNAL EAST

Drawing Number:
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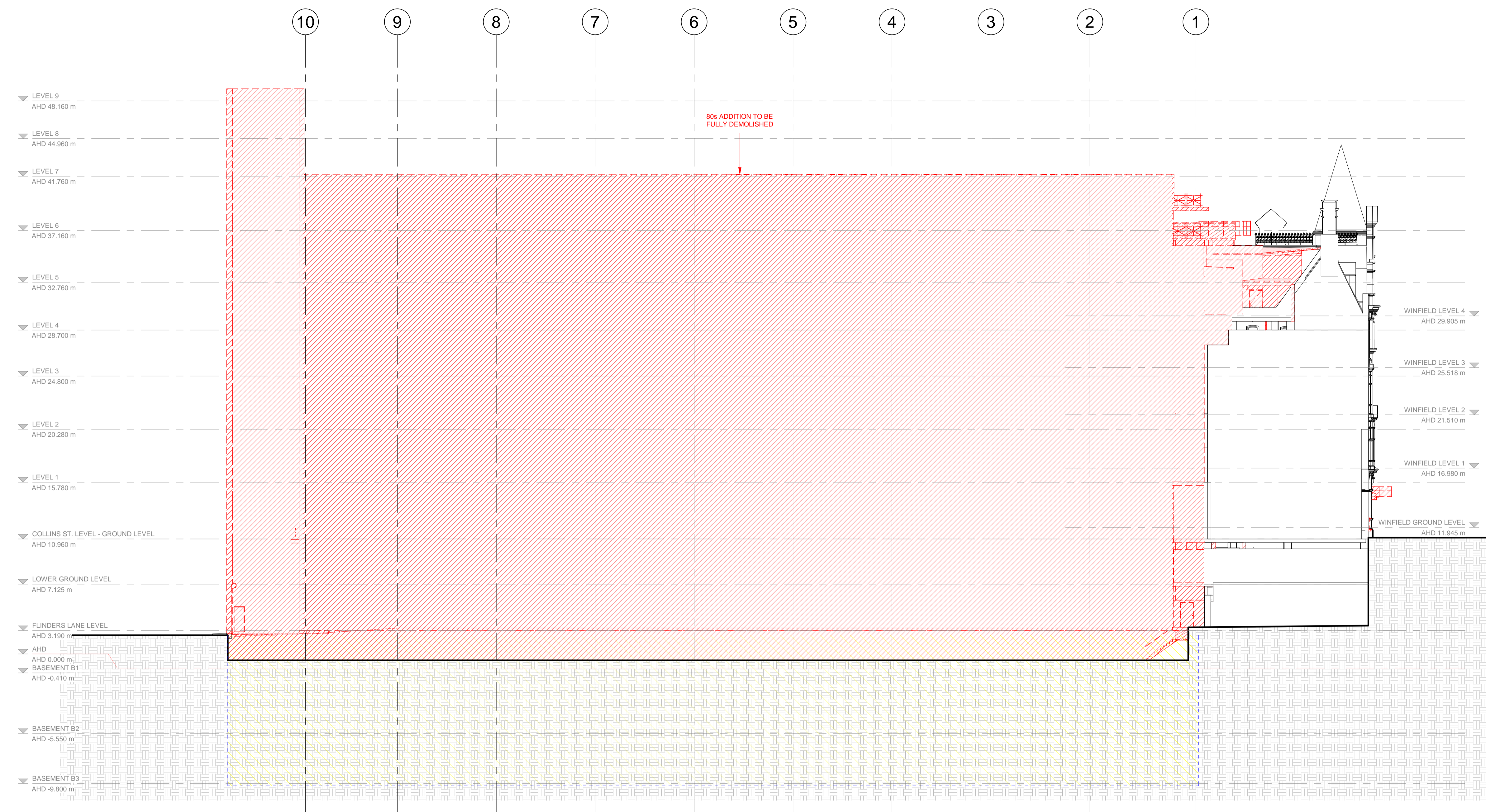
Revision:
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Date:
1:200 @ A1

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- KEYNOTES**
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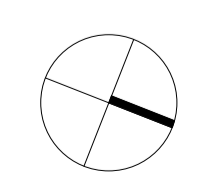
1 DEMOLITION - EXTERNAL EAST ELEVATION
SCALE 1 : 200

LEGEND

| | | | | | |
|--|---|------------|---|--|--|
| | TO BE RETAINED | | ASSUMED HERITAGE STRUCTURE TBC (CURRENTLY CONCEALED) TO BE RETAINED | | EXISTING WALLS, PARTITIONS, DOORS, AND FITTINGS TO BE RETAINED AND MADE GOOD. |
| | TO BE DEMOLISHED | FFL 4.500 | FINISHED FLOOR LEVEL (METRES) ABOVE DATUM. | | EXISTING WALLS, PARTITIONS, DOORS, CEILINGS, JOINERY AND SANITARY WARE, FIXTURES AND FITTINGS TO BE DEMOLISHED OR REMOVED SURROUNDING SURFACE TO BE MADE GOOD. |
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| | TO BE REMOVED AND REINSTALLED/REFURBISHED | | | | |

GENERAL NOTES

- ALL EXISTING NON-ORIGINAL, AND NON-STRUCTURAL ITEMS IN RETAINED HERITAGE LISTED BUILDINGS TO BE REMOVED, INCLUDING PARTITIONS, CEILINGS, RAISED FLOORS AND FLOOR FINISHES, FLOOR FINISHES, FIXTURES AND SERVICES.
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Project:
495 COLLINS STREET

Drawing Title:
DEMOLITION ELEVATION - EXTERNAL EAST

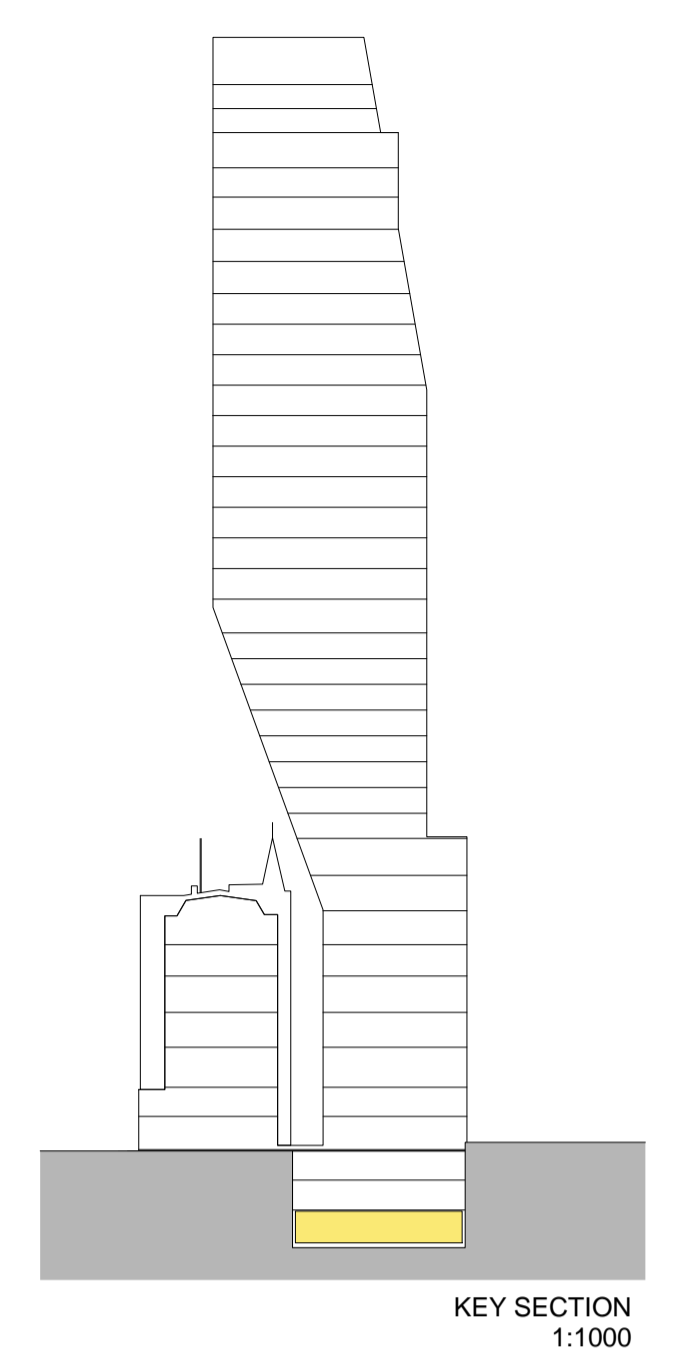
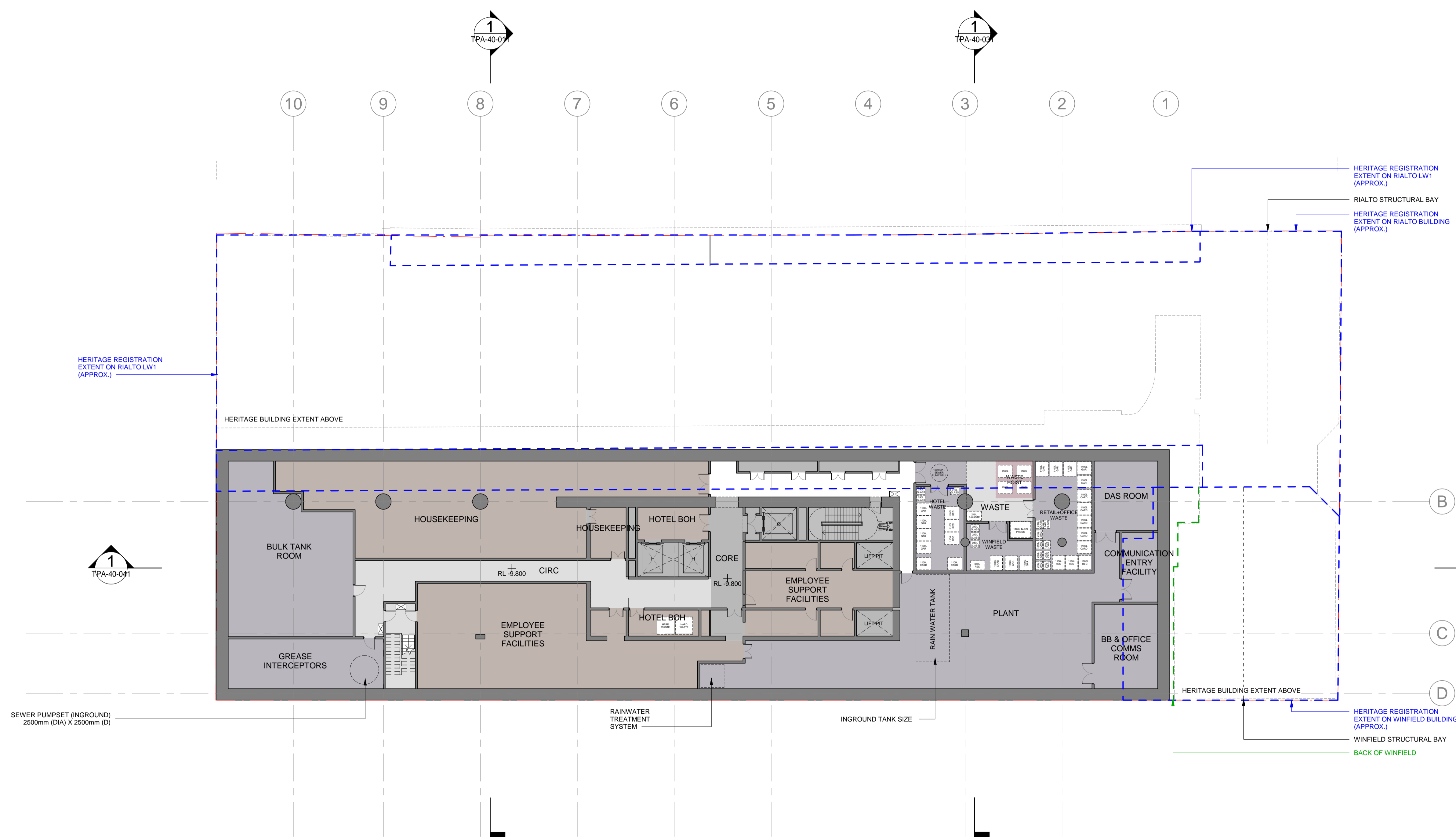
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Revision:
APRIL 2023

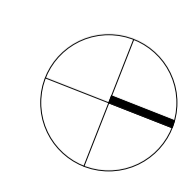
Date:
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1 FLOOR PLAN - BASEMENT B3
SCALE 1 : 200



Project:
495 COLLINS STREET

Drawing Title:
BASEMENT 3 FLOOR PLAN

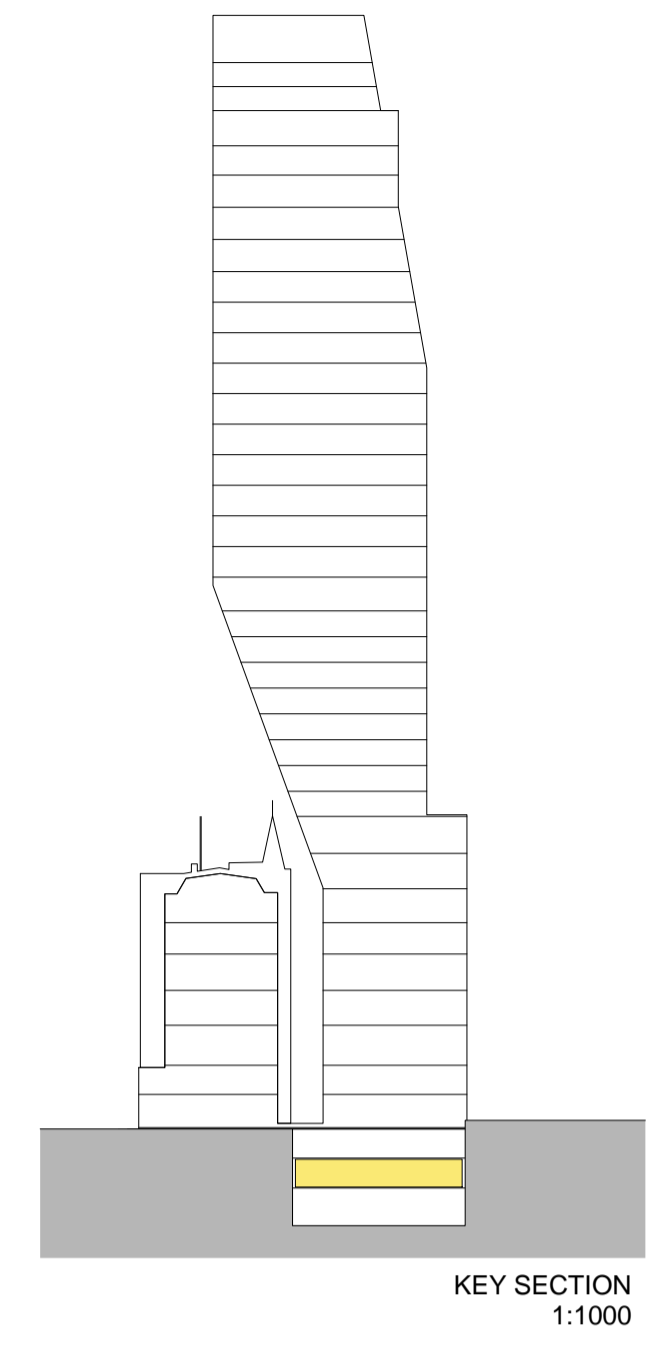
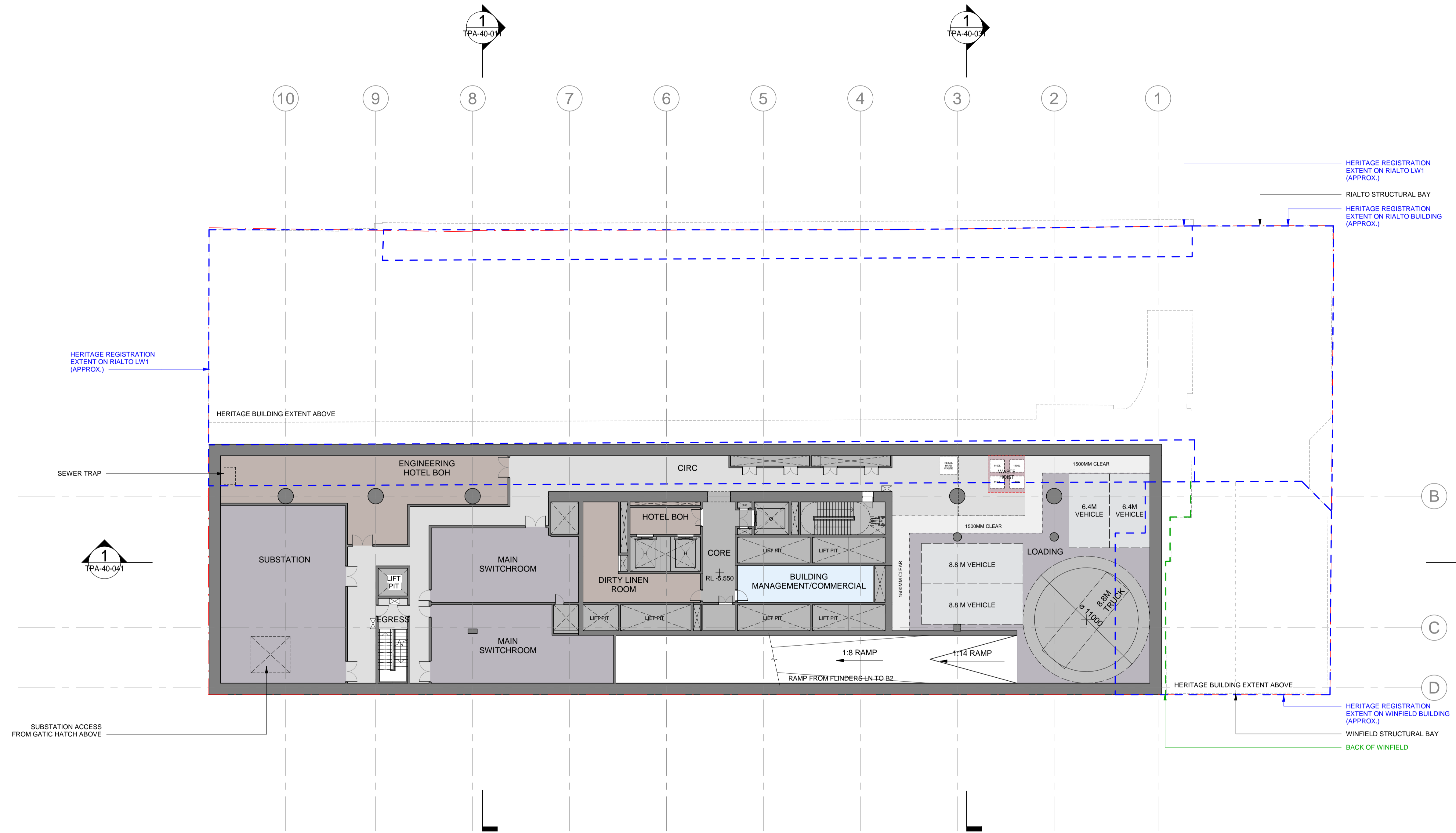
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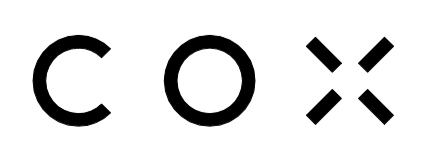
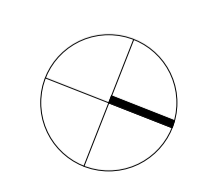
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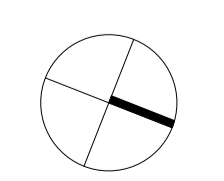
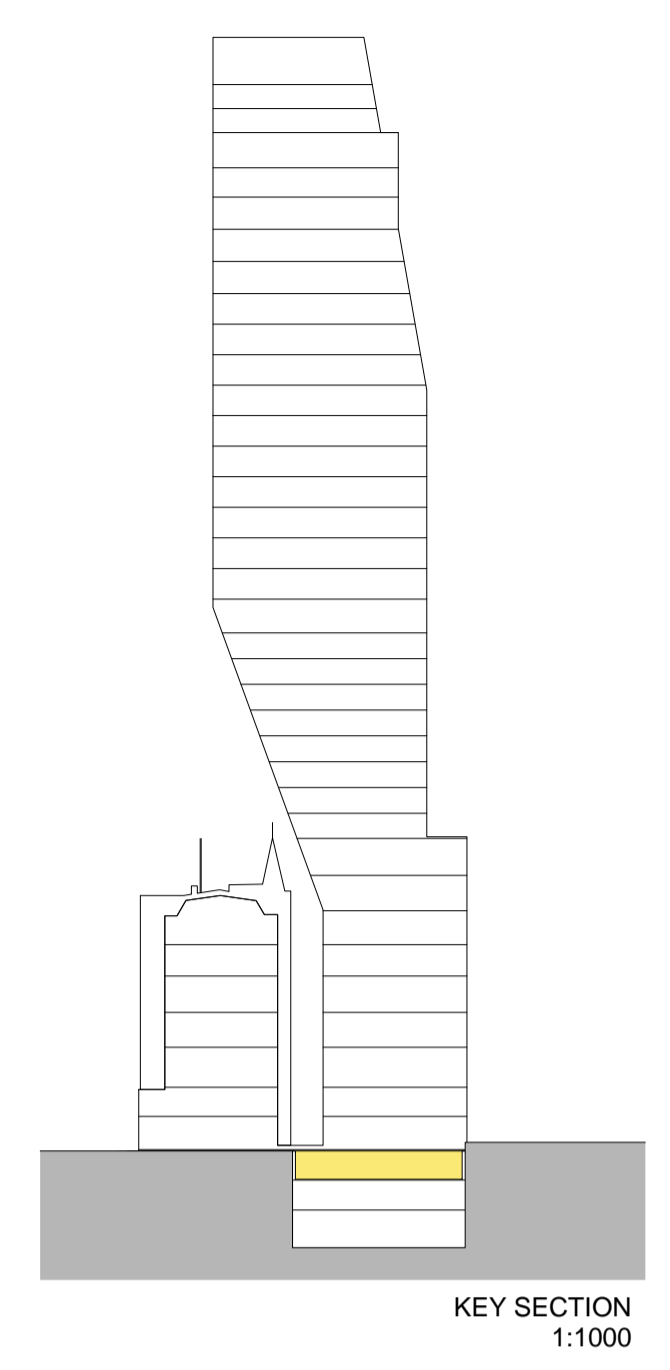
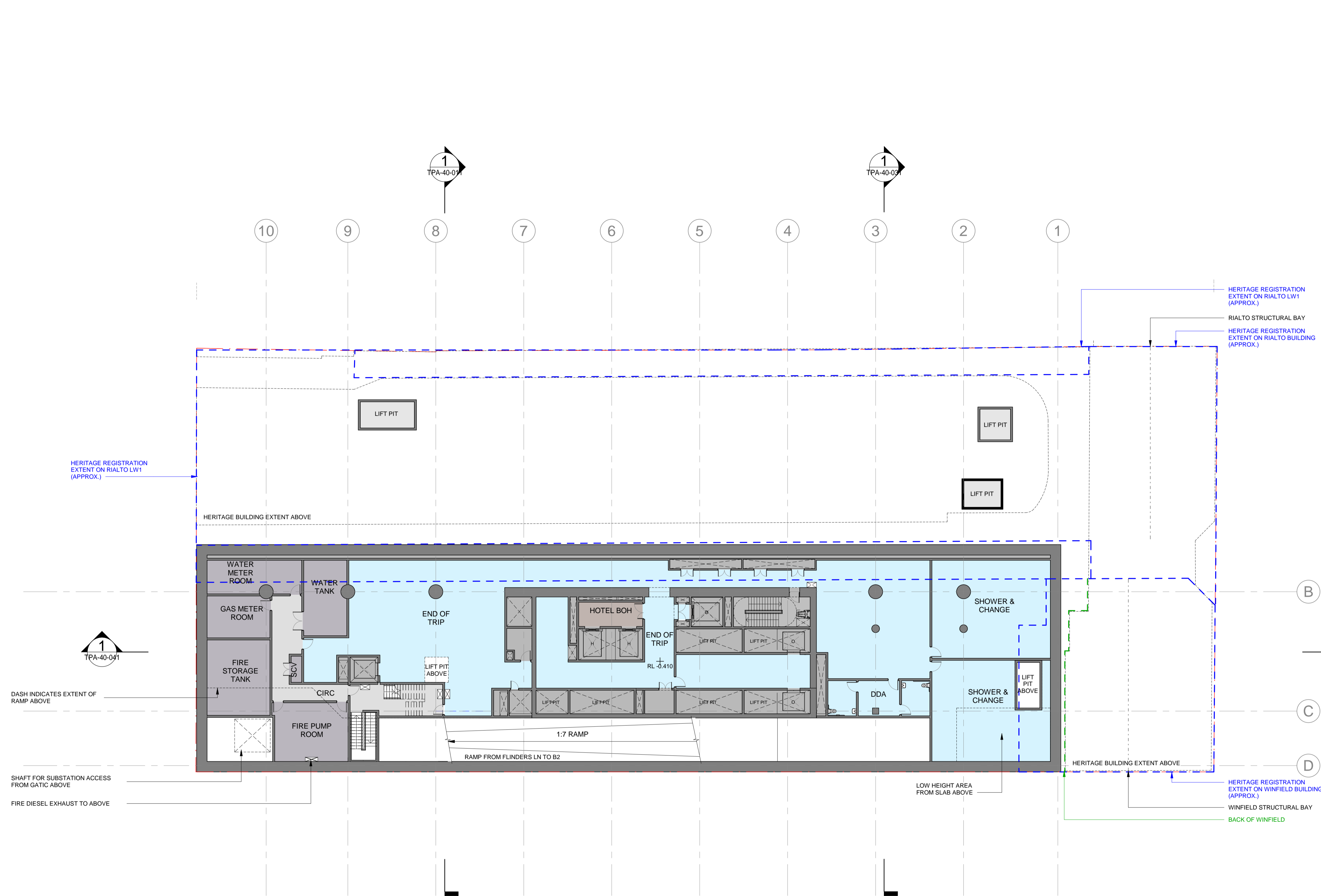




1 FLOOR PLAN - BASEMENT B2
SCALE 1 : 200



1 FLOOR PLAN - BASEMENT B1
SCALE 1 : 200



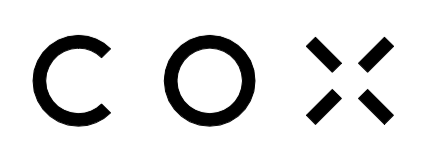
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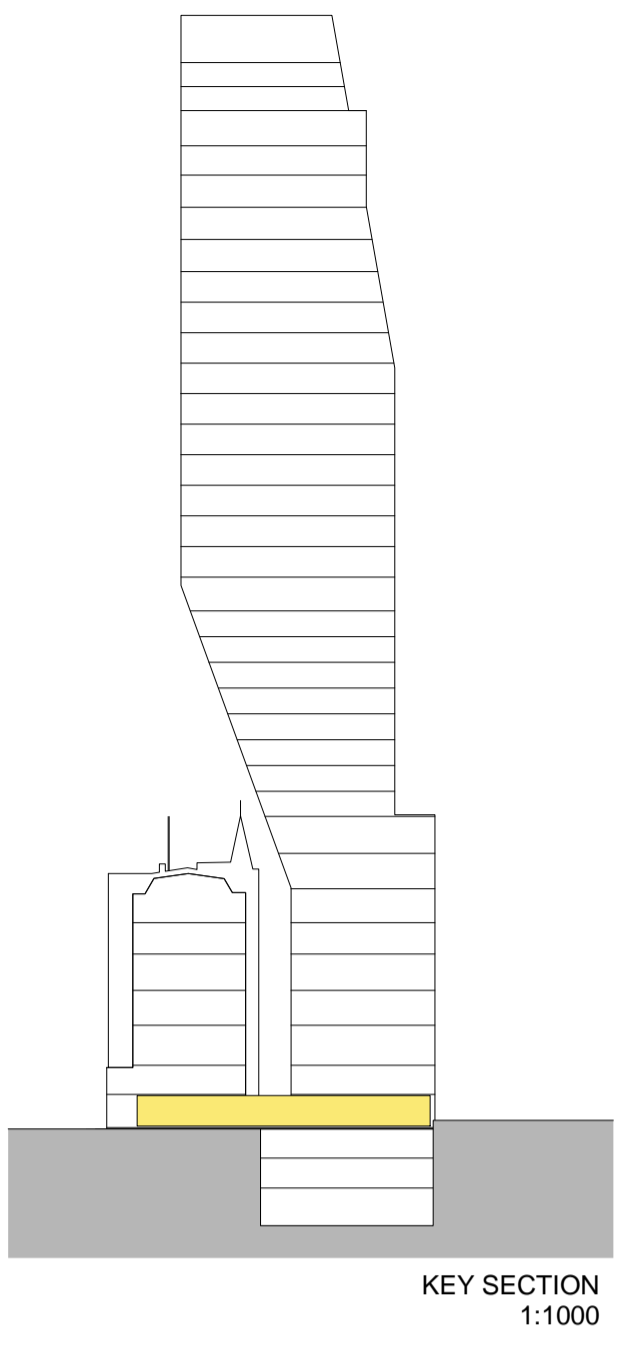
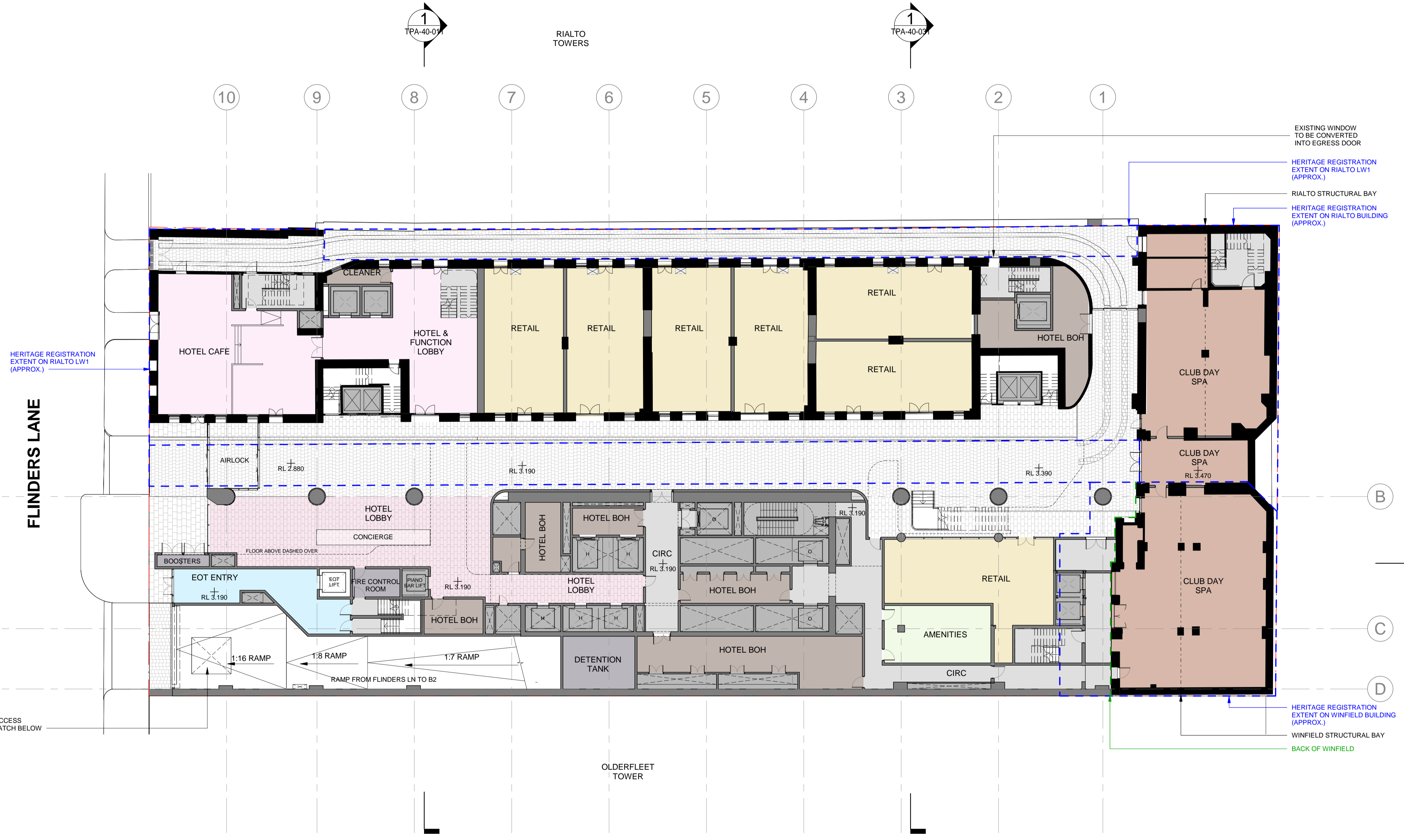
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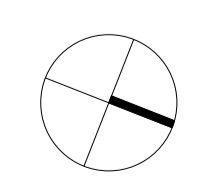
Revision: Date:
APRIL 2023 **1 : 200 @ A1**

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1 FLOOR PLAN - FLINDERS LANE LEVEL
SCALE 1 : 200



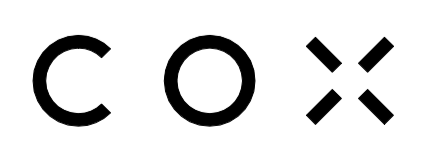
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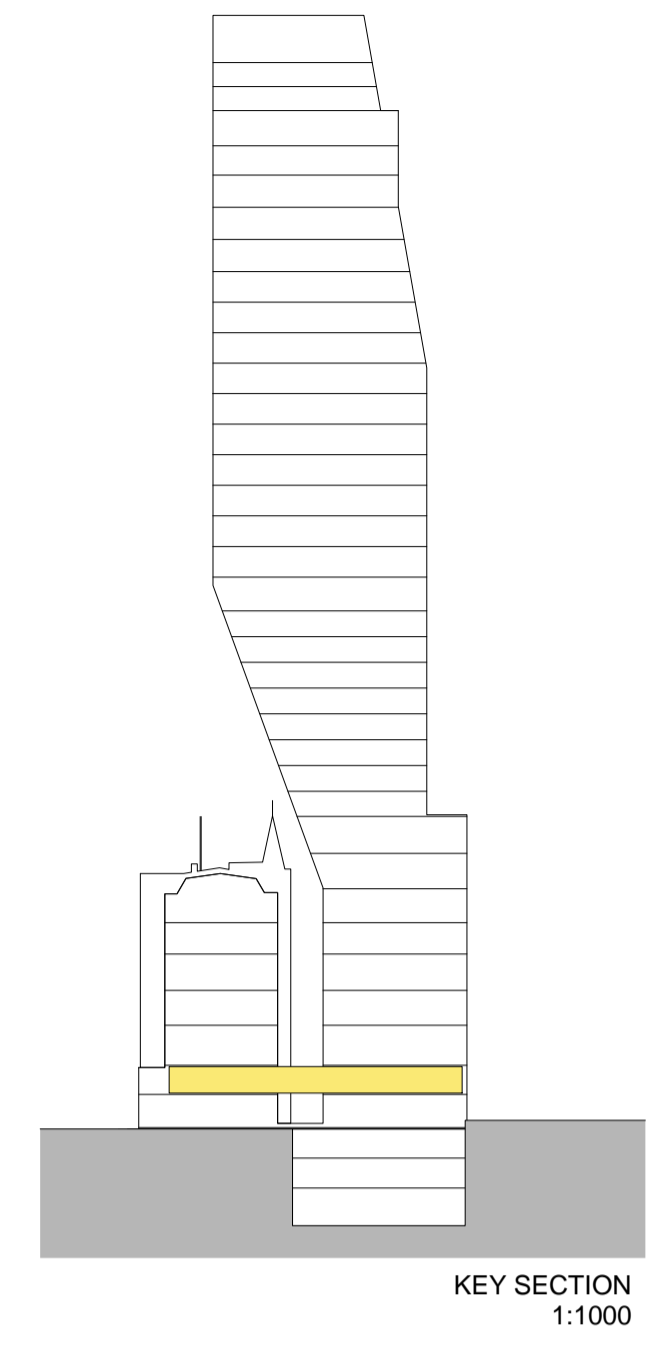
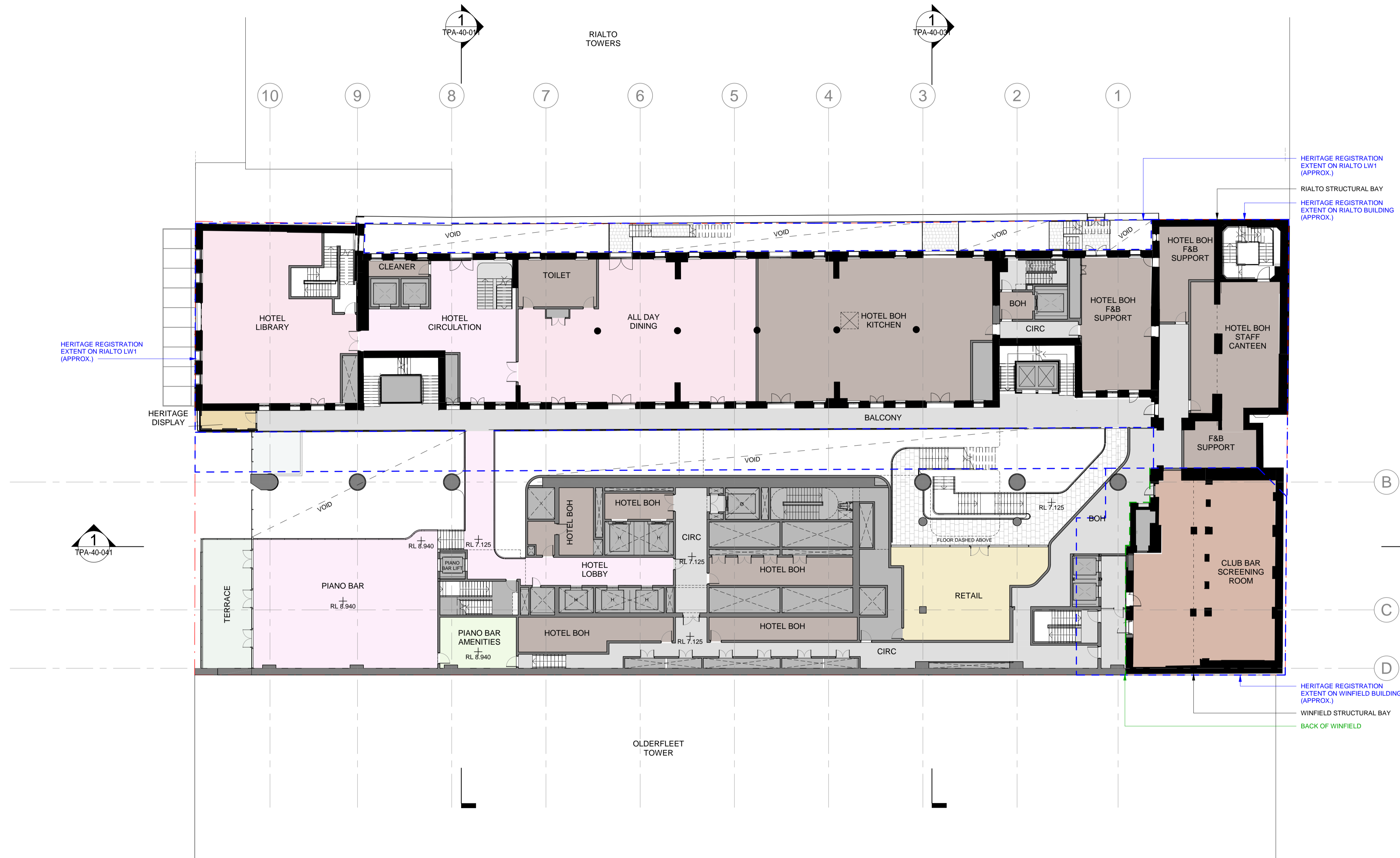
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Drawing Number:
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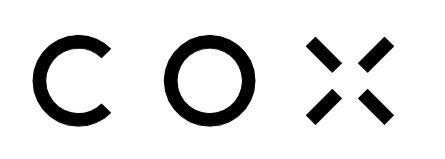
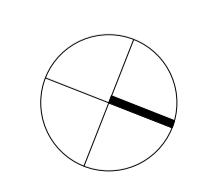
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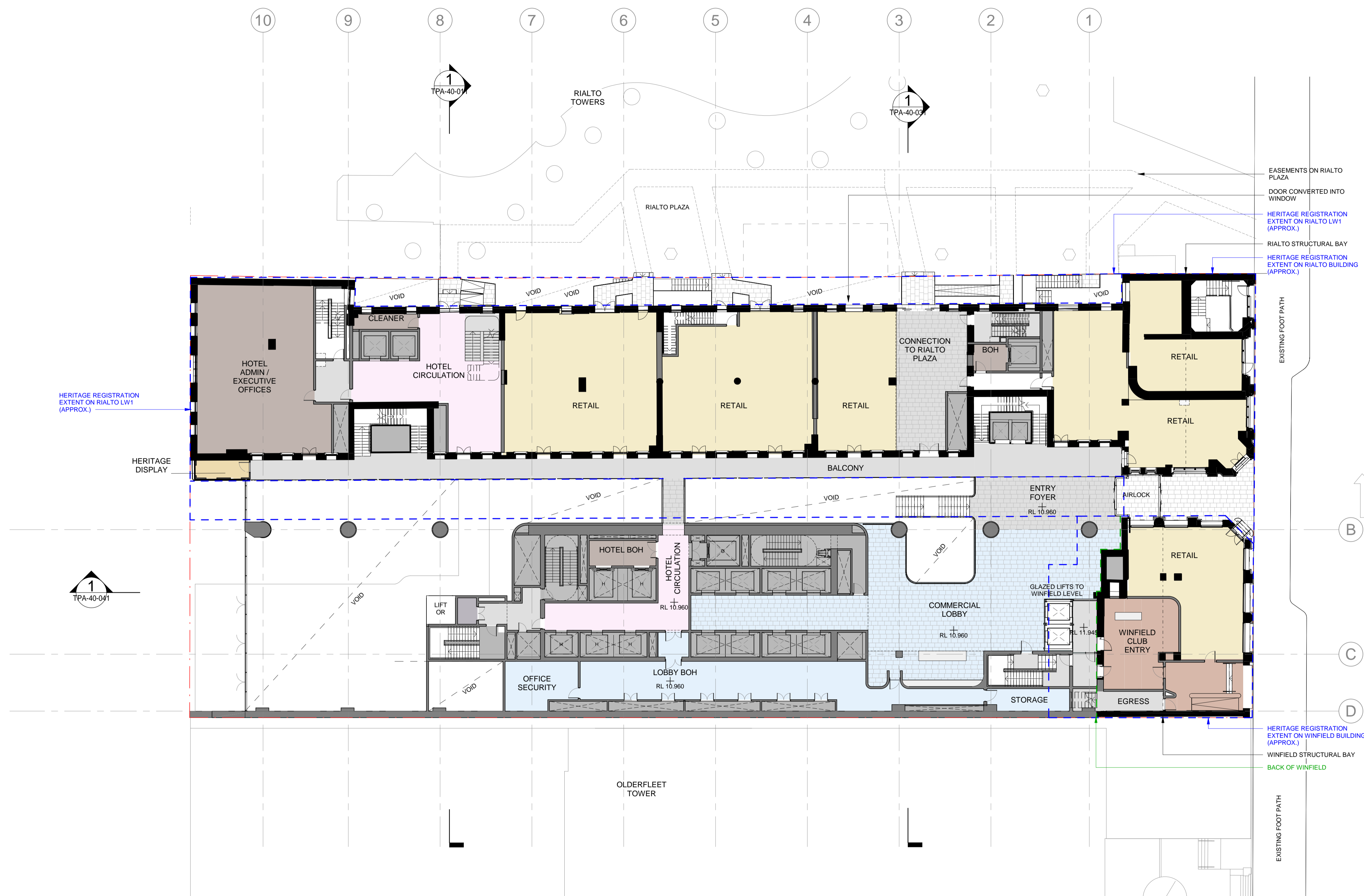
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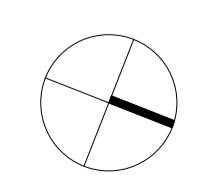


1 FLOOR PLAN - LOWER GROUND LEVEL
SCALE 1:200





1 FLOOR PLAN - COLLINS ST / GROUND LEVEL
SCALE 1 : 200



Project:
495 COLLINS STREET

Drawing Title:
COLLINS ST GROUND FLOOR PLAN

Drawing Number:
TPA-21-103

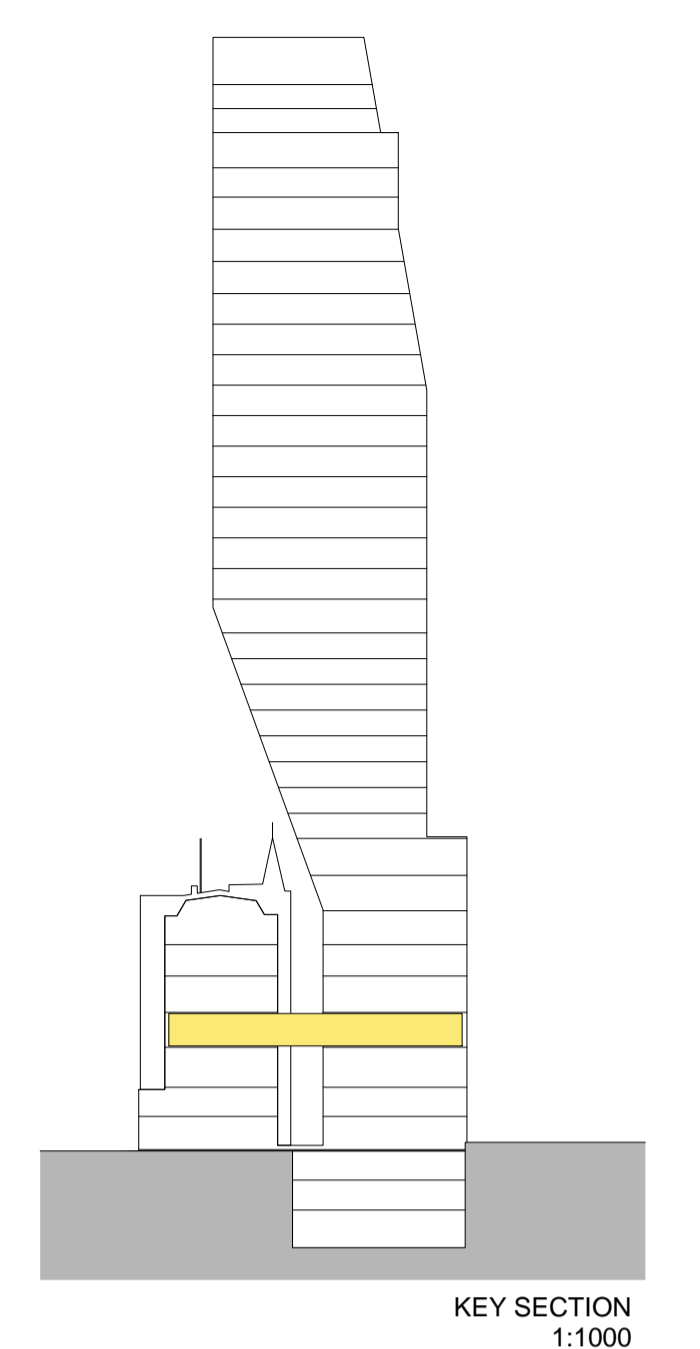
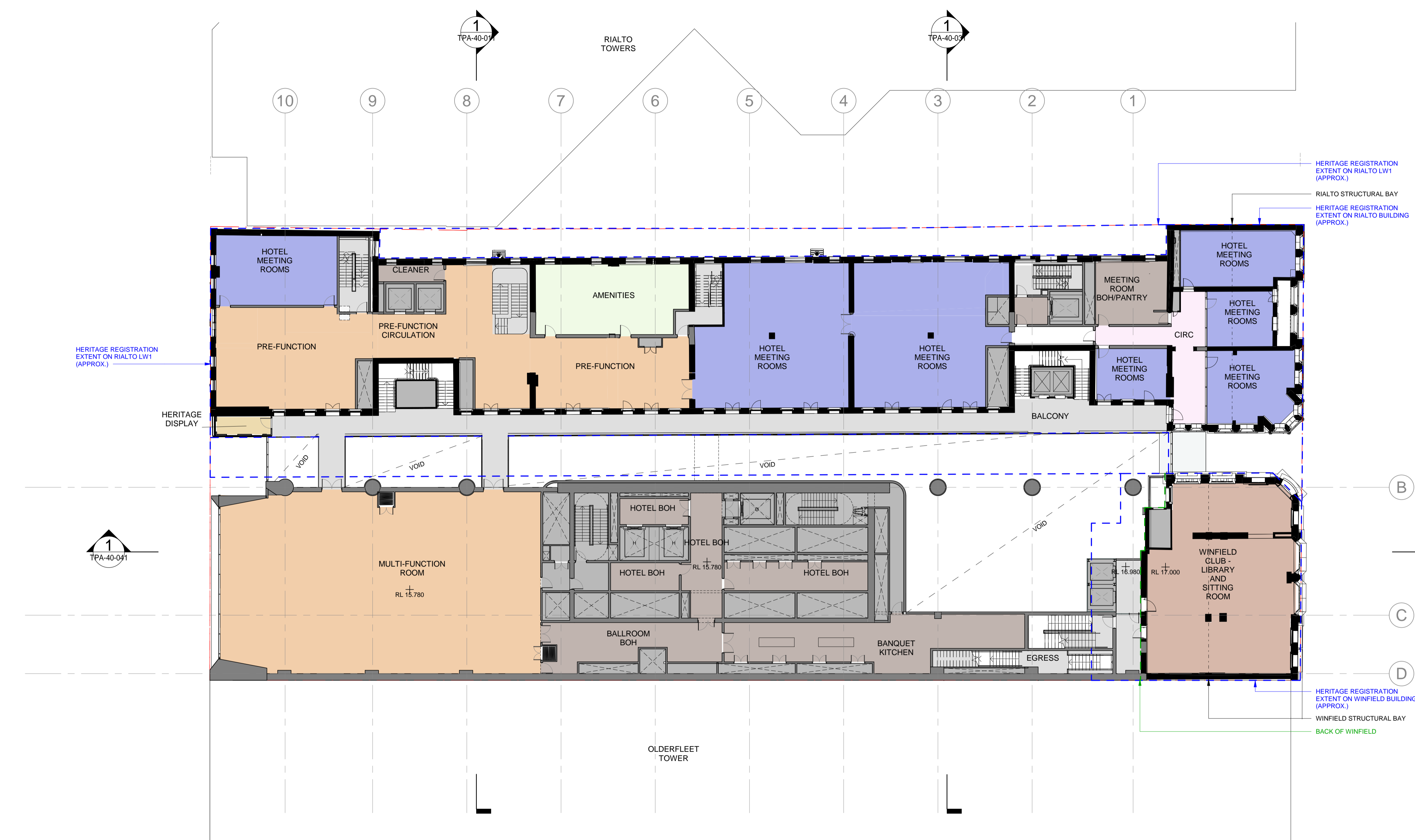
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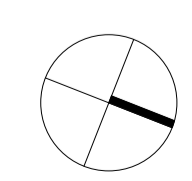
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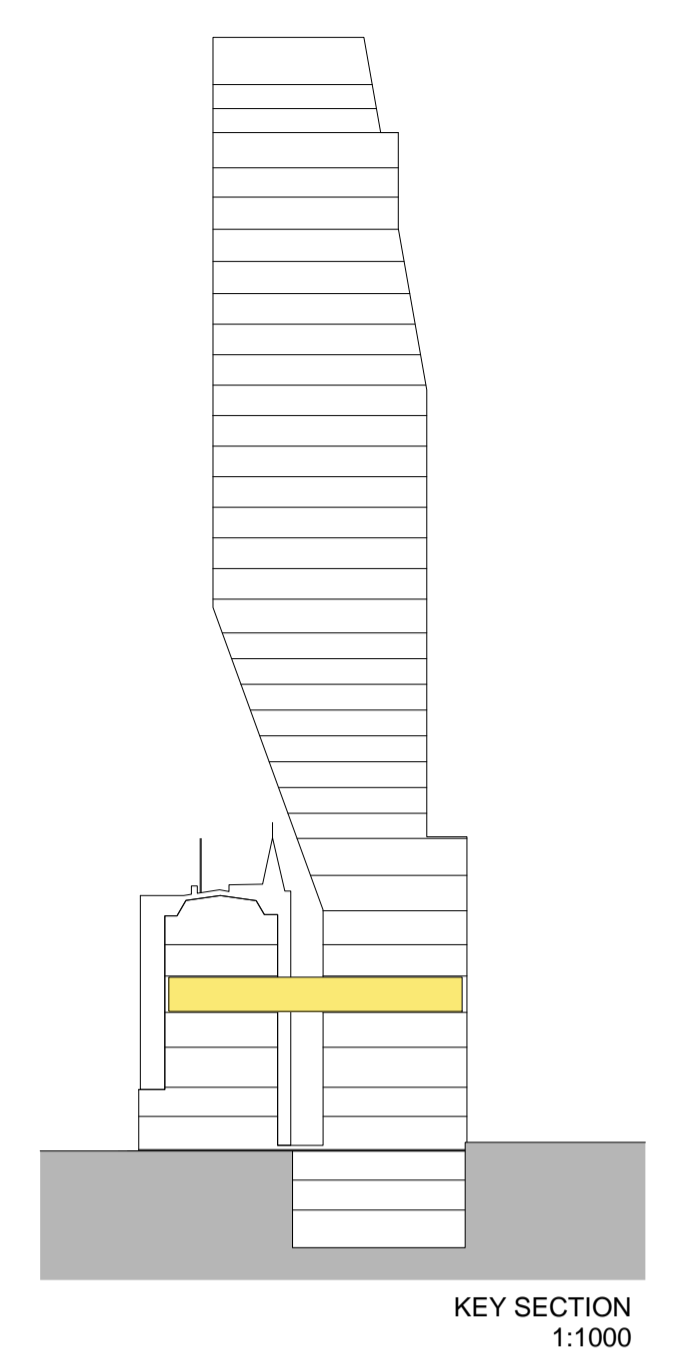
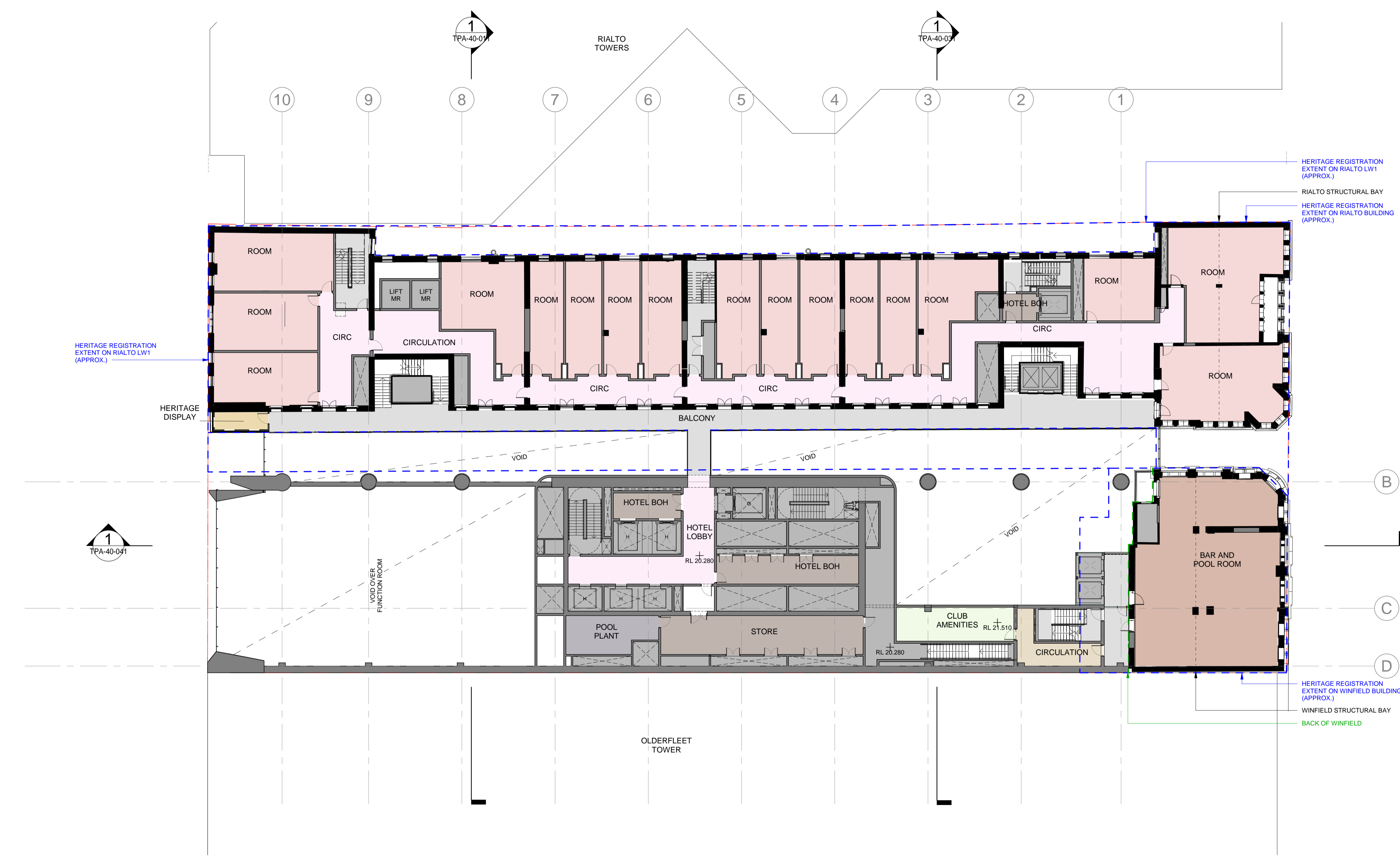
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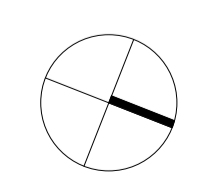


1 FLOOR PLAN - LEVEL 1
SCALE 1 : 200





1 FLOOR PLAN - LEVEL 2
SCALE 1 : 200



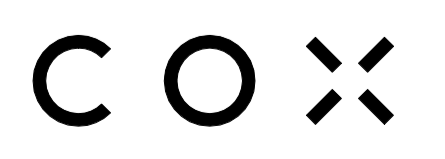
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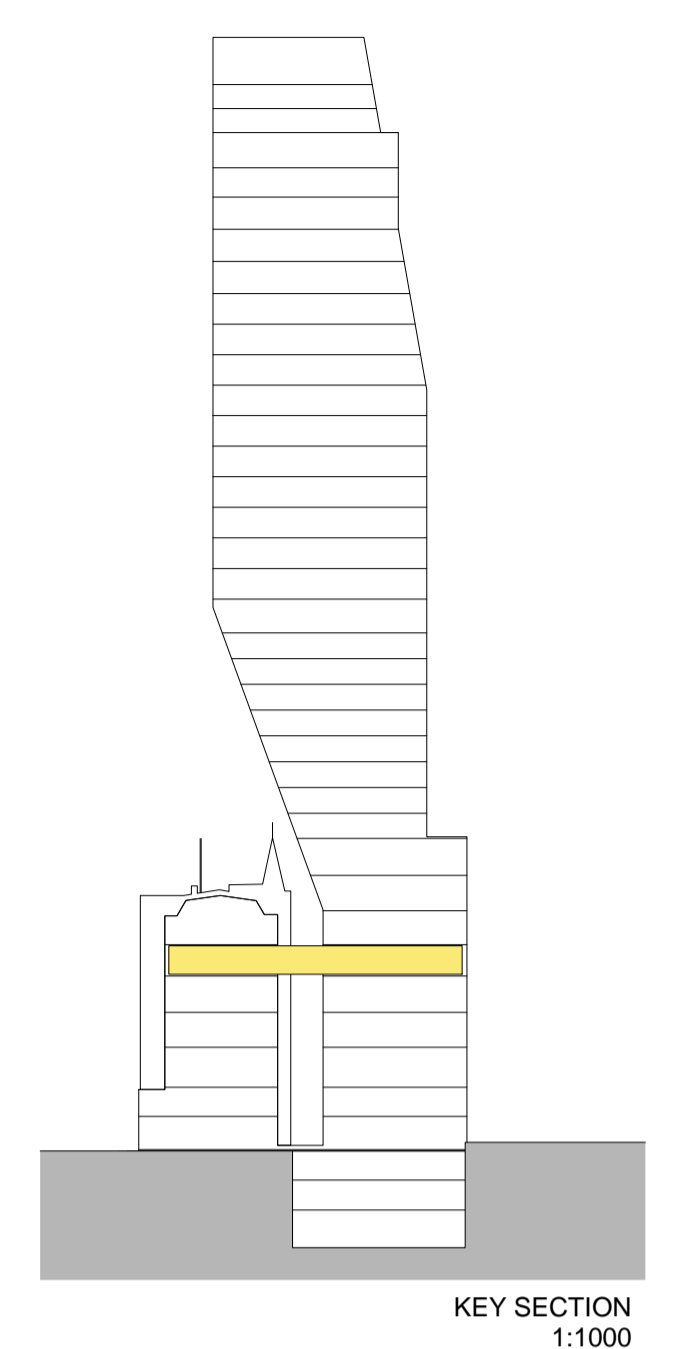
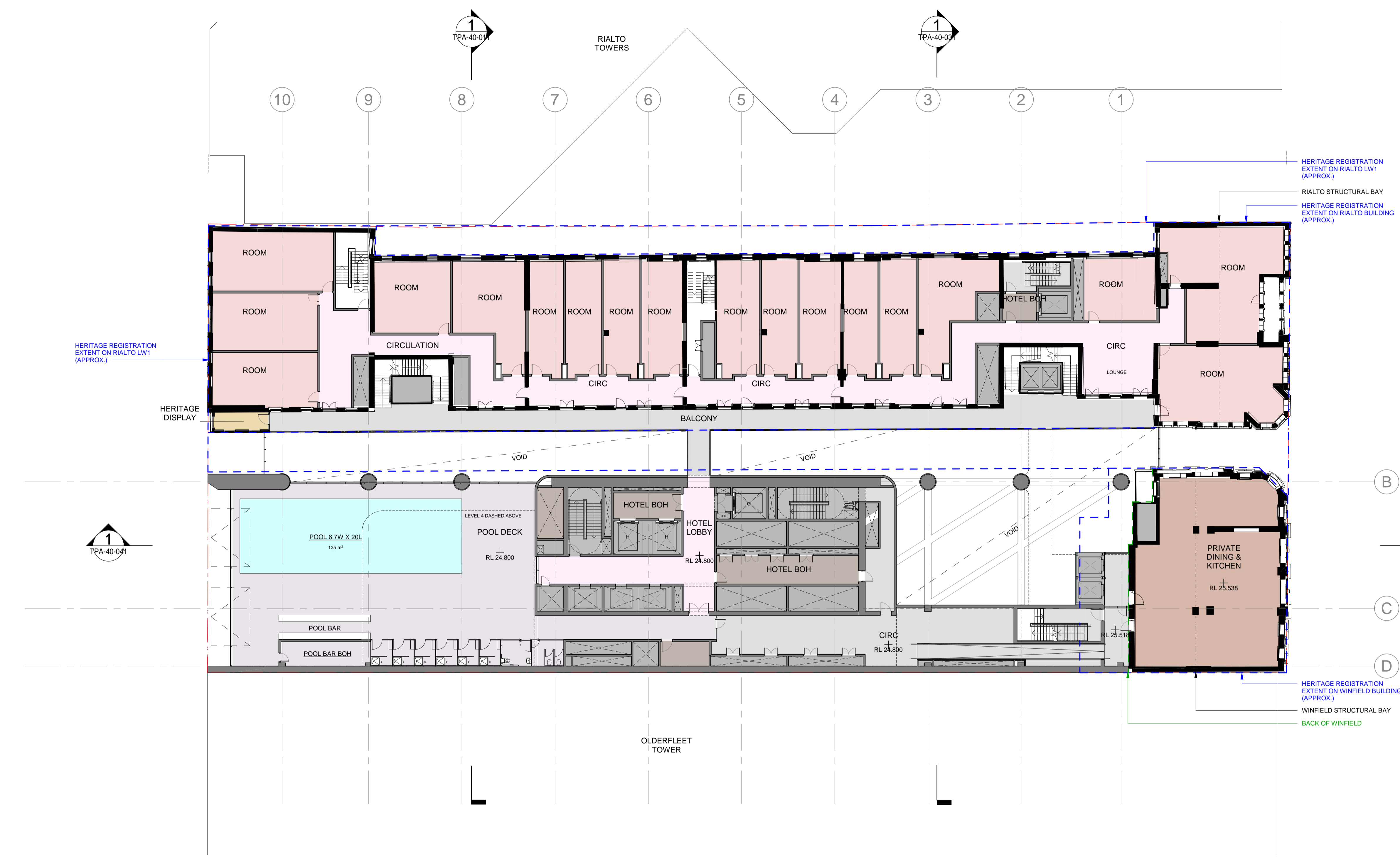
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LEVEL 2 FLOOR PLAN

Drawing Number:
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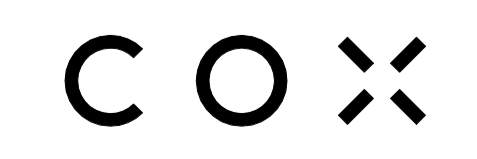
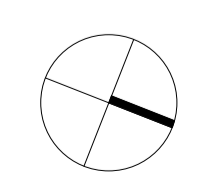
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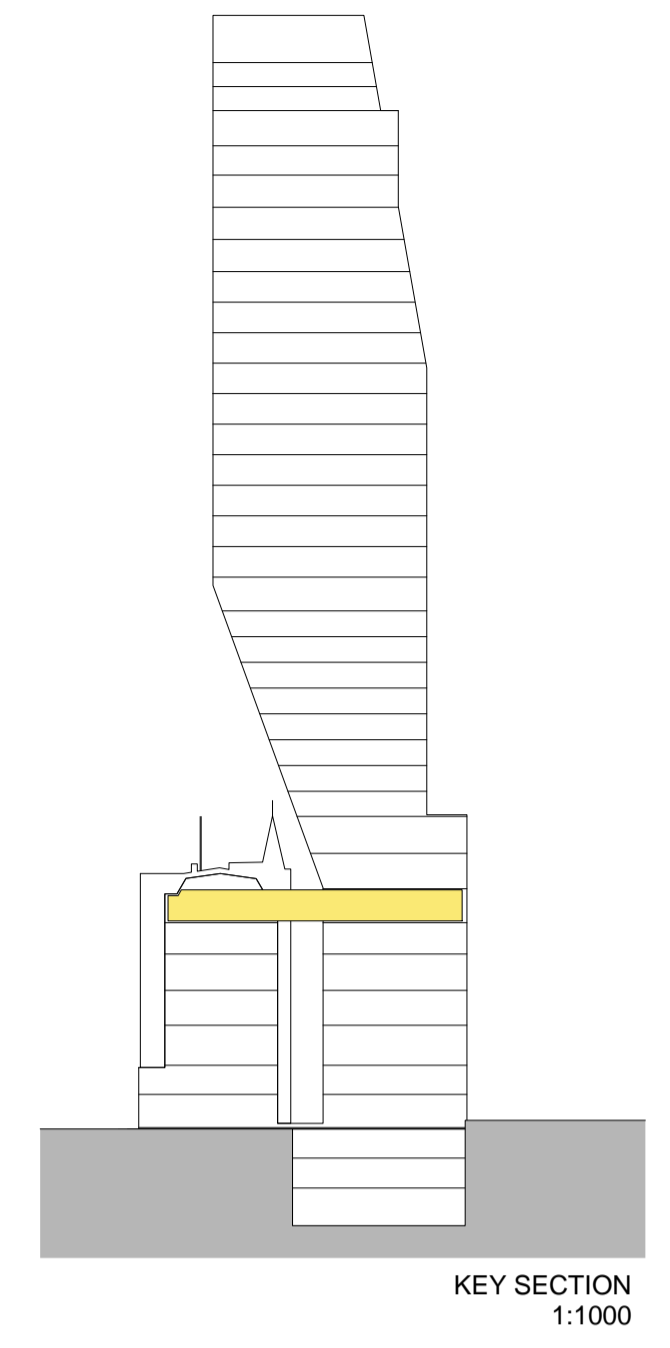
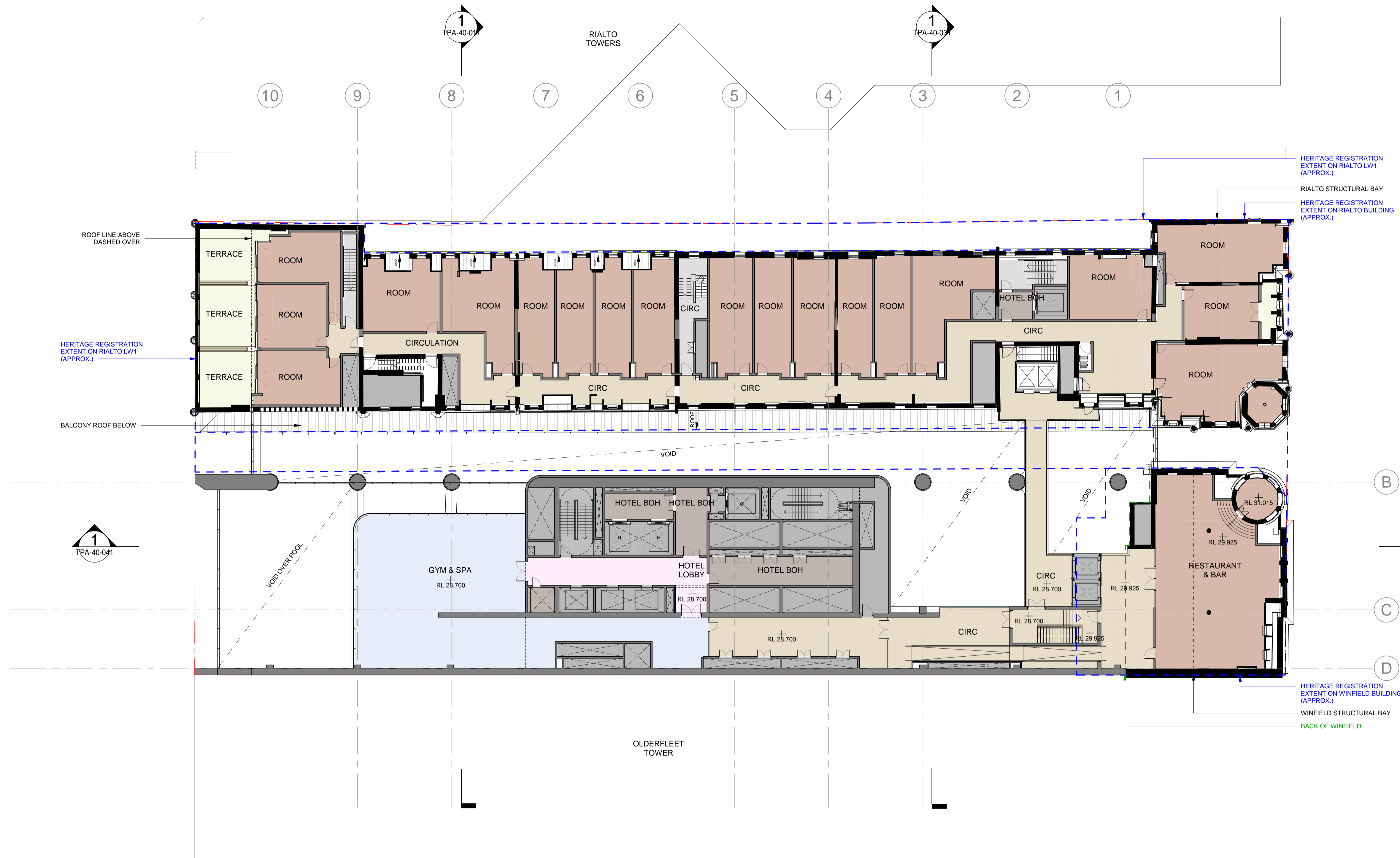
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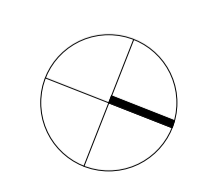


1 FLOOR PLAN - LEVEL 3
SCALE 1 : 200





1 FLOOR PLAN - LEVEL 4
SCALE 1 : 200



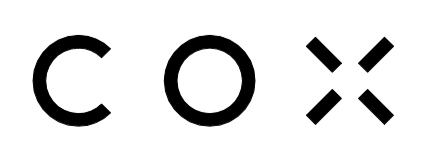
Project:
495 COLLINS STREET

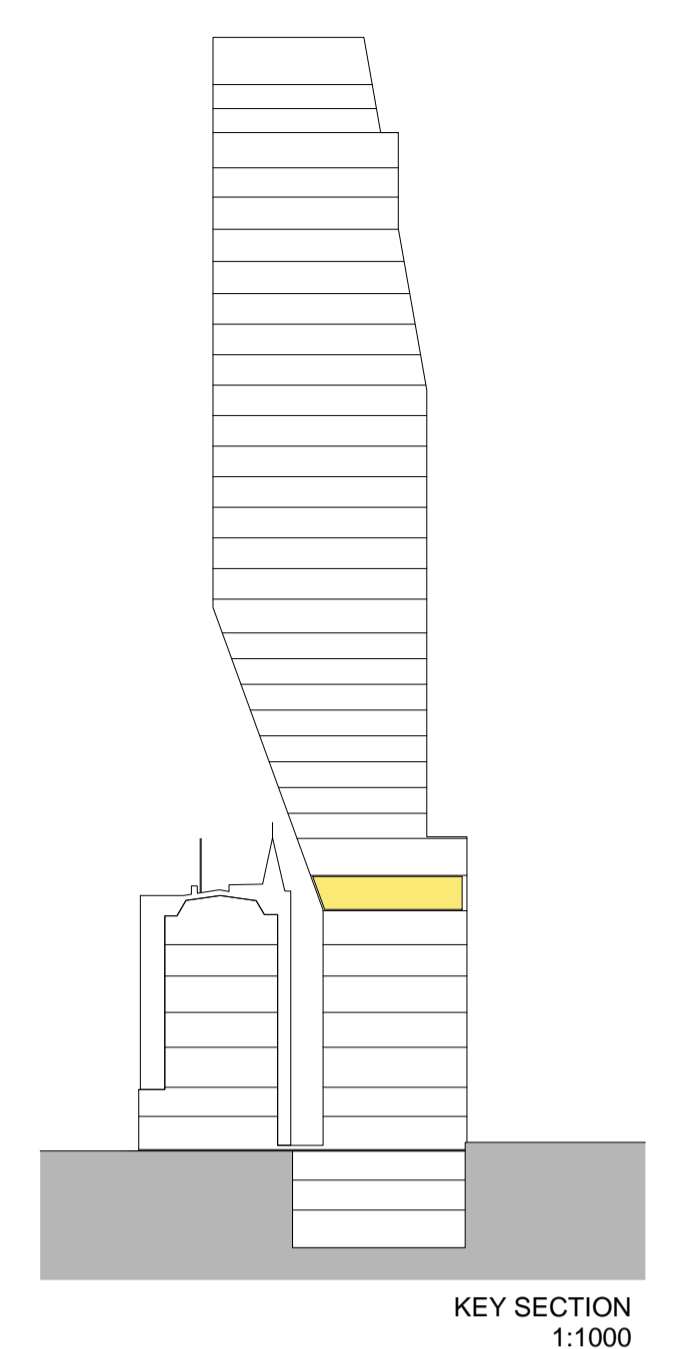
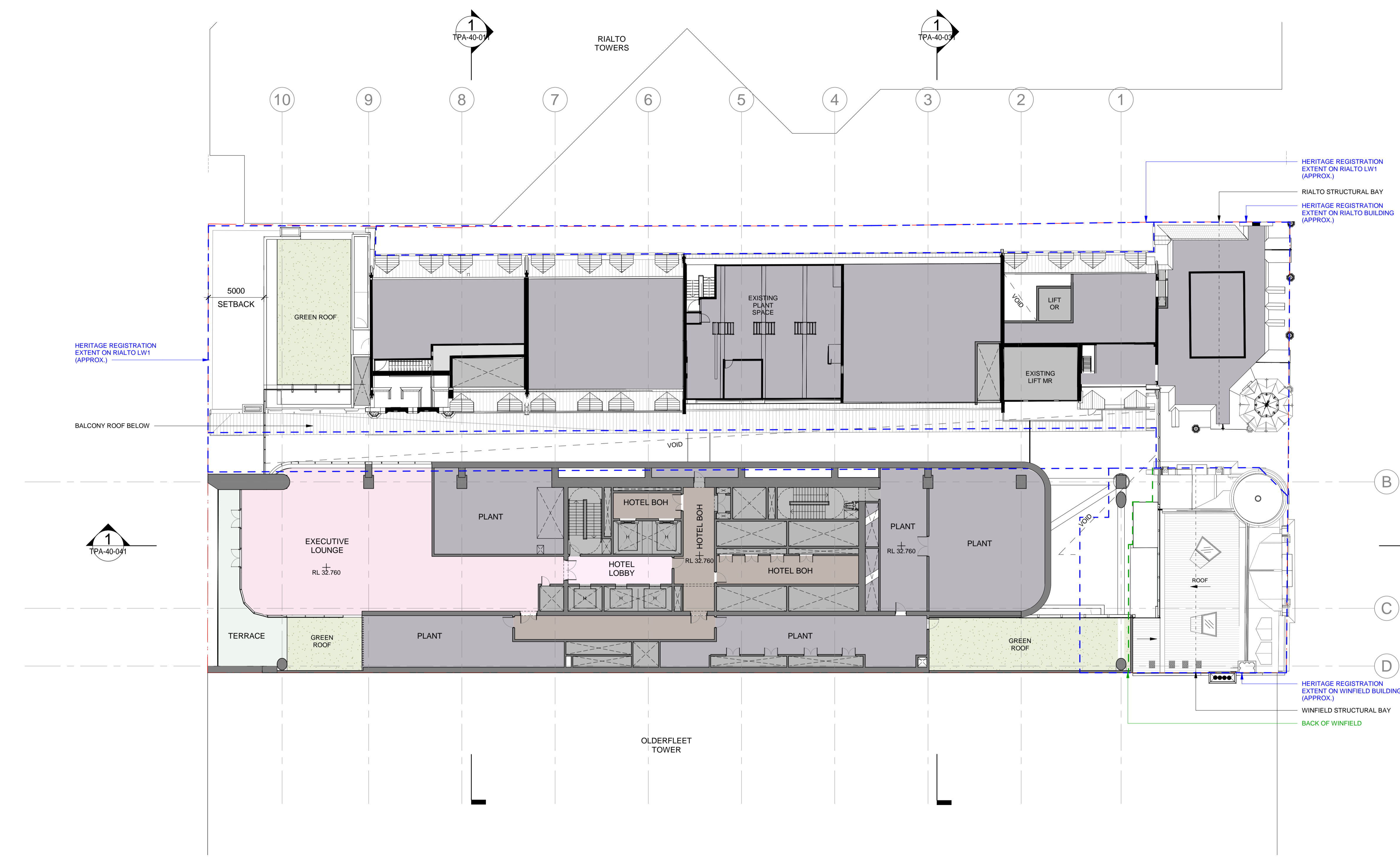
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Drawing Number:
TPA-21-141

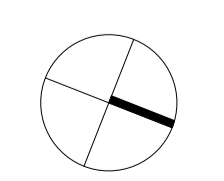
Revision: Date:
APRIL 2023 **1 : 200 @ A1**

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1 FLOOR PLAN - LEVEL 5
SCALE 1 : 200



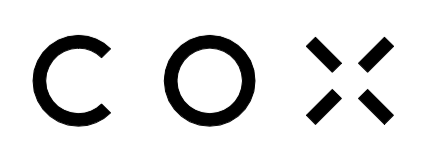
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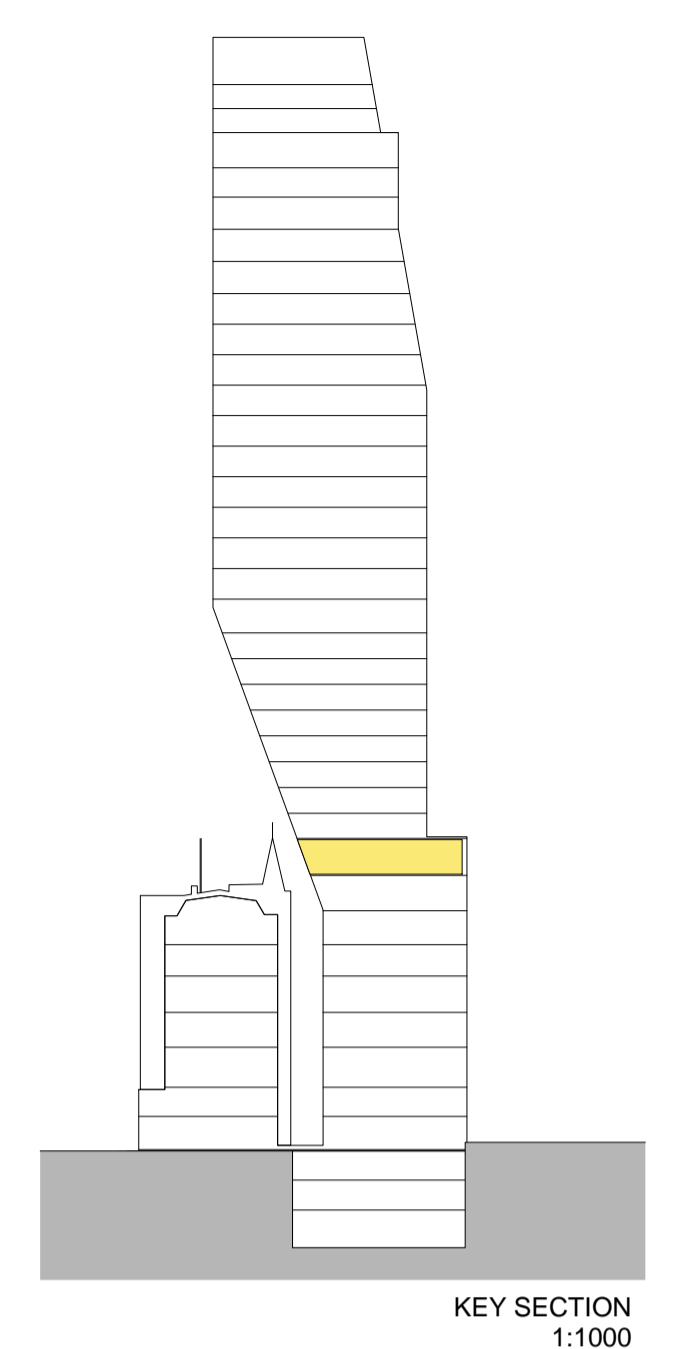
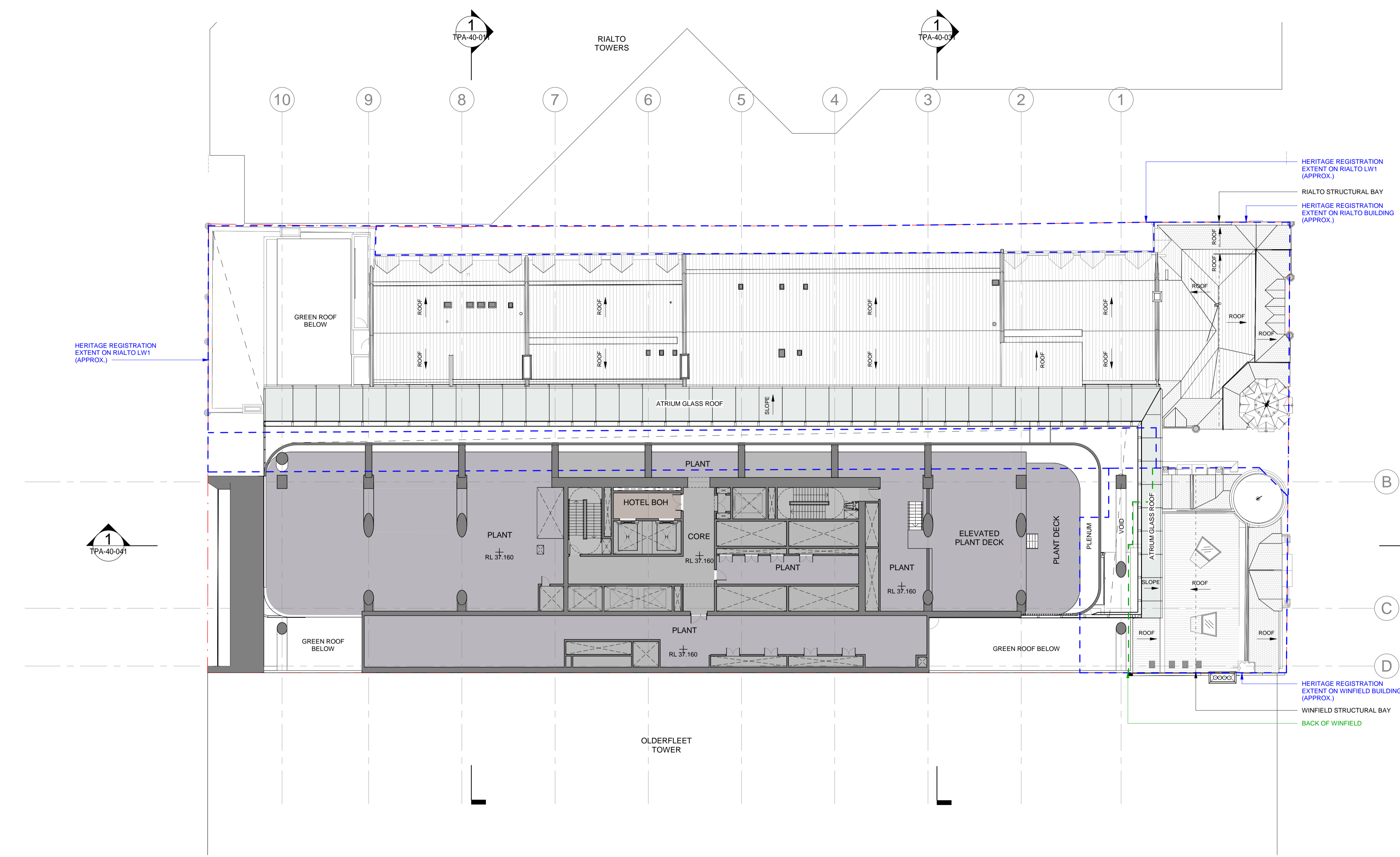
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LEVEL 5 FLOOR PLAN

Drawing Number:
TPA-21-151

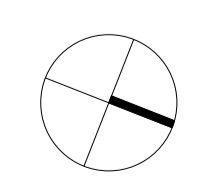
Revision: Date:
APRIL 2023 **1 : 200 @ A1**

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1 FLOOR PLAN - LEVEL 6
SCALE 1 : 200



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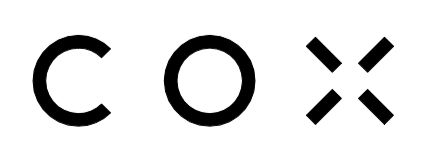
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LEVEL 6 FLOOR PLAN

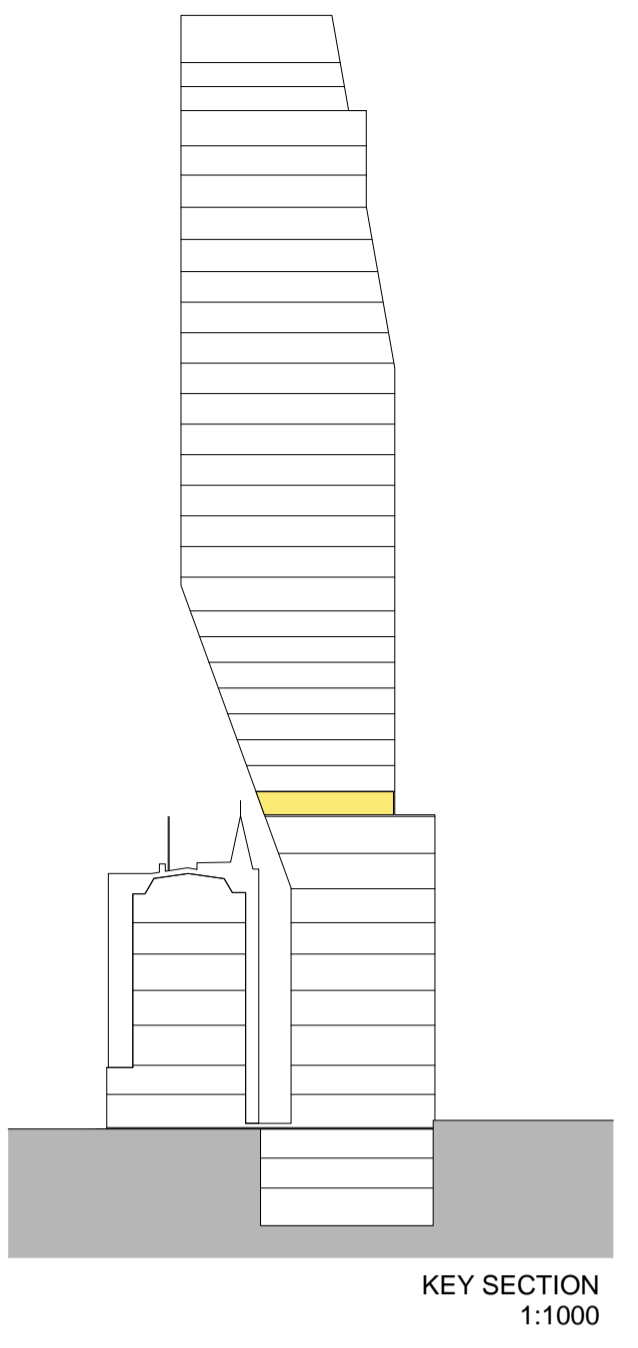
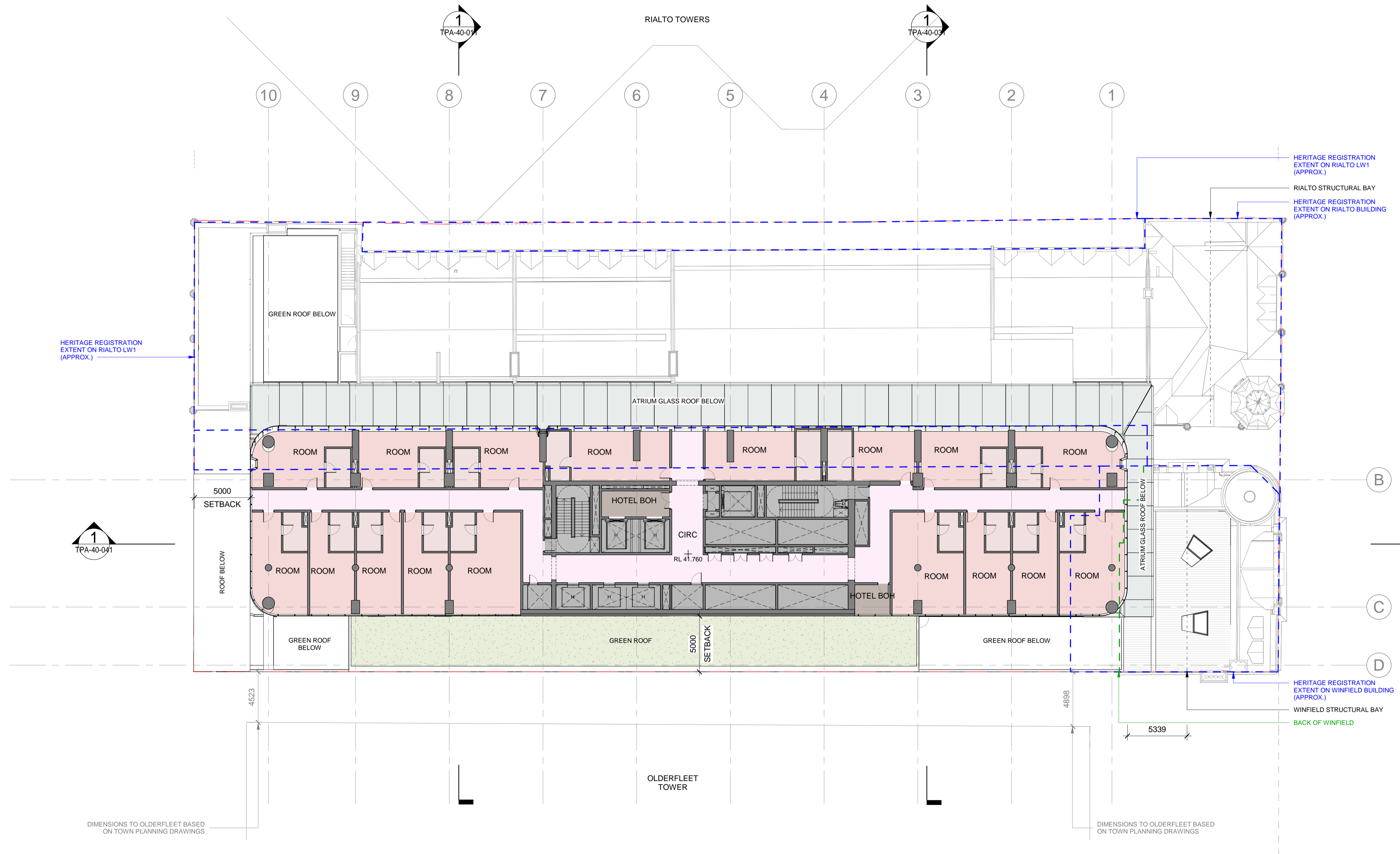
Drawing Number:
TPA-21-161

Revision:
APRIL 2023

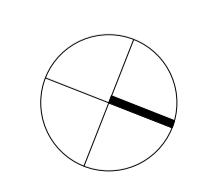
Date:
1 : 200 @ A1

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1 FLOOR PLAN - LEVEL 7
SCALE 1 : 200



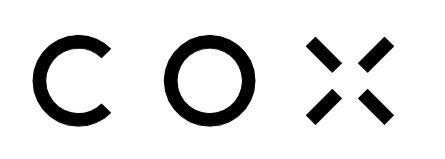
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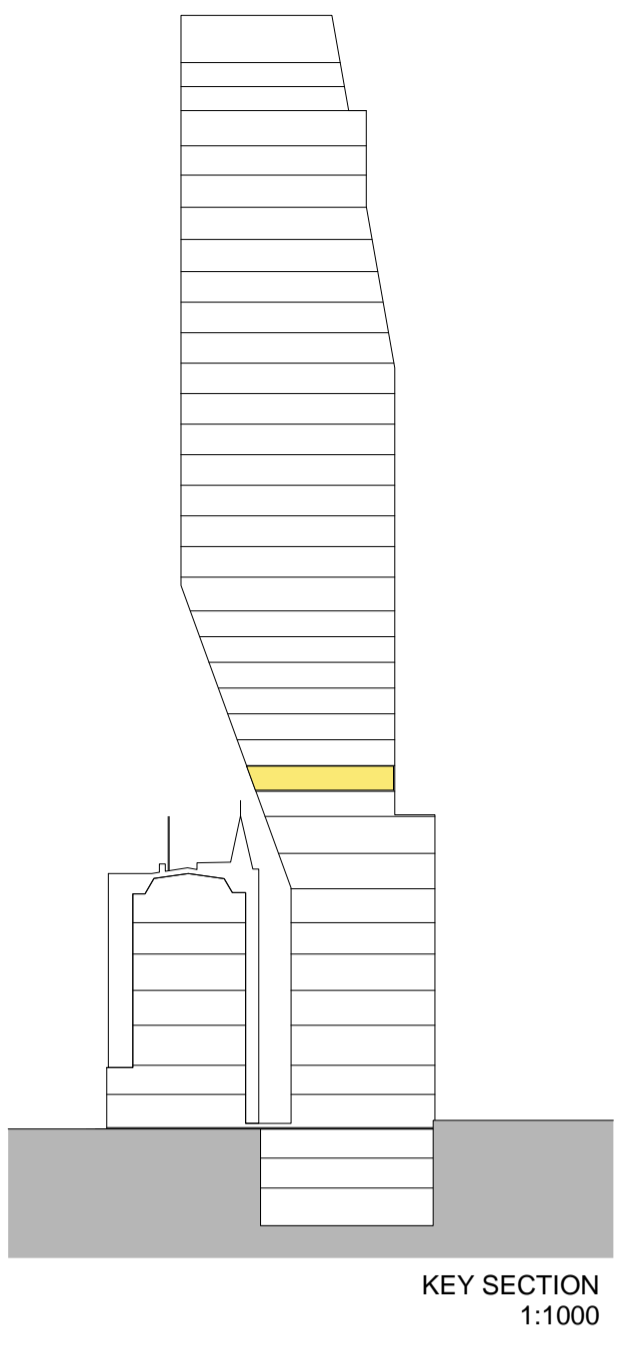
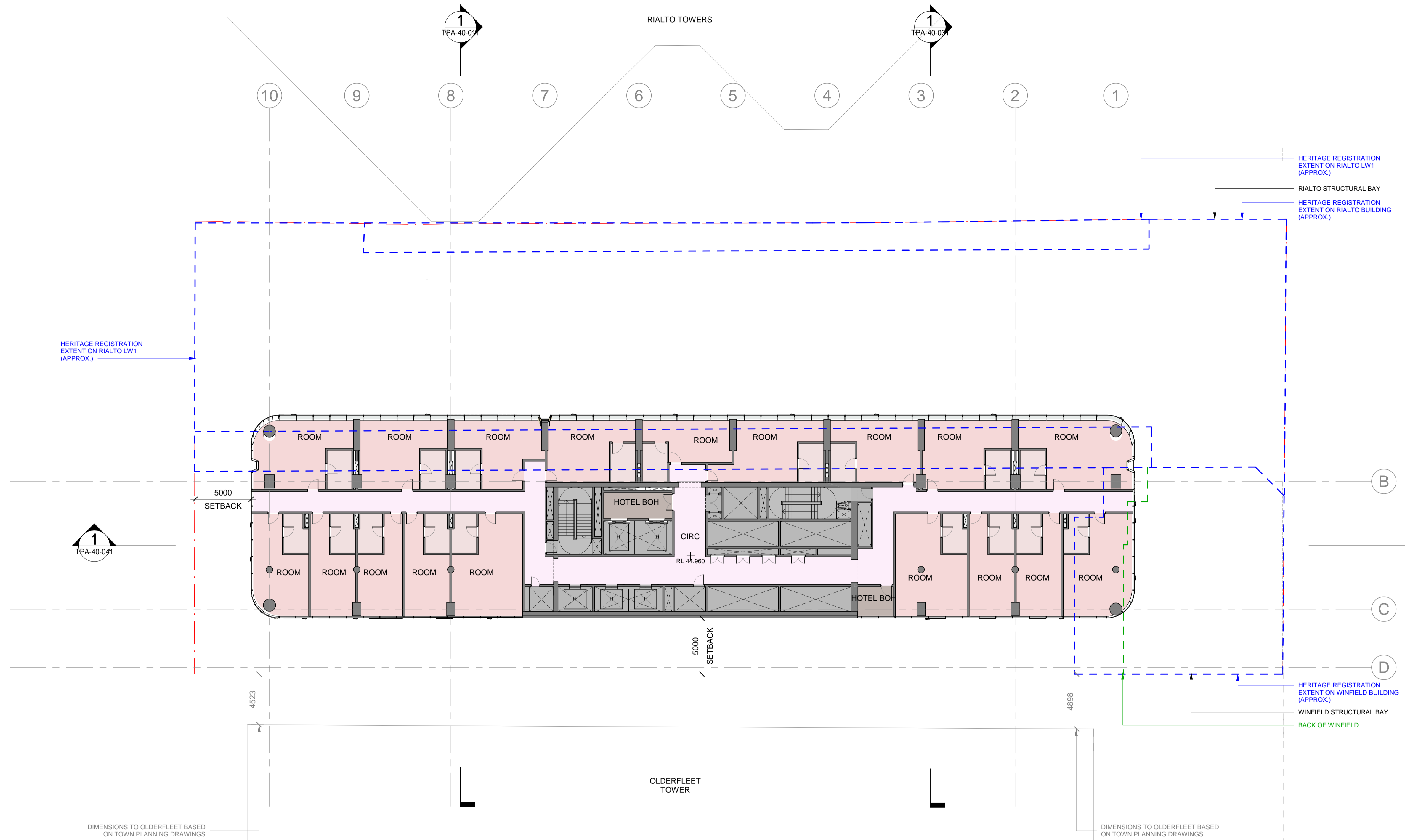
Drawing Title:
LEVEL 7 FLOOR PLAN

Drawing Number:
TPA-21-171

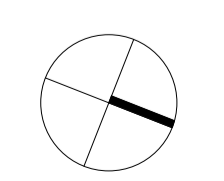
Revision: Date:
APRIL 2023 **1 : 200 @ A1**

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1 FLOOR PLAN - LEVEL 8
SCALE 1 : 200



Project:
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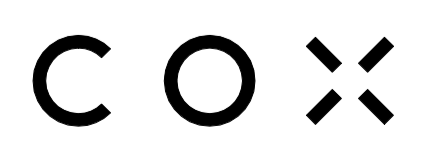
Drawing Title:
LEVEL 8 FLOOR PLAN

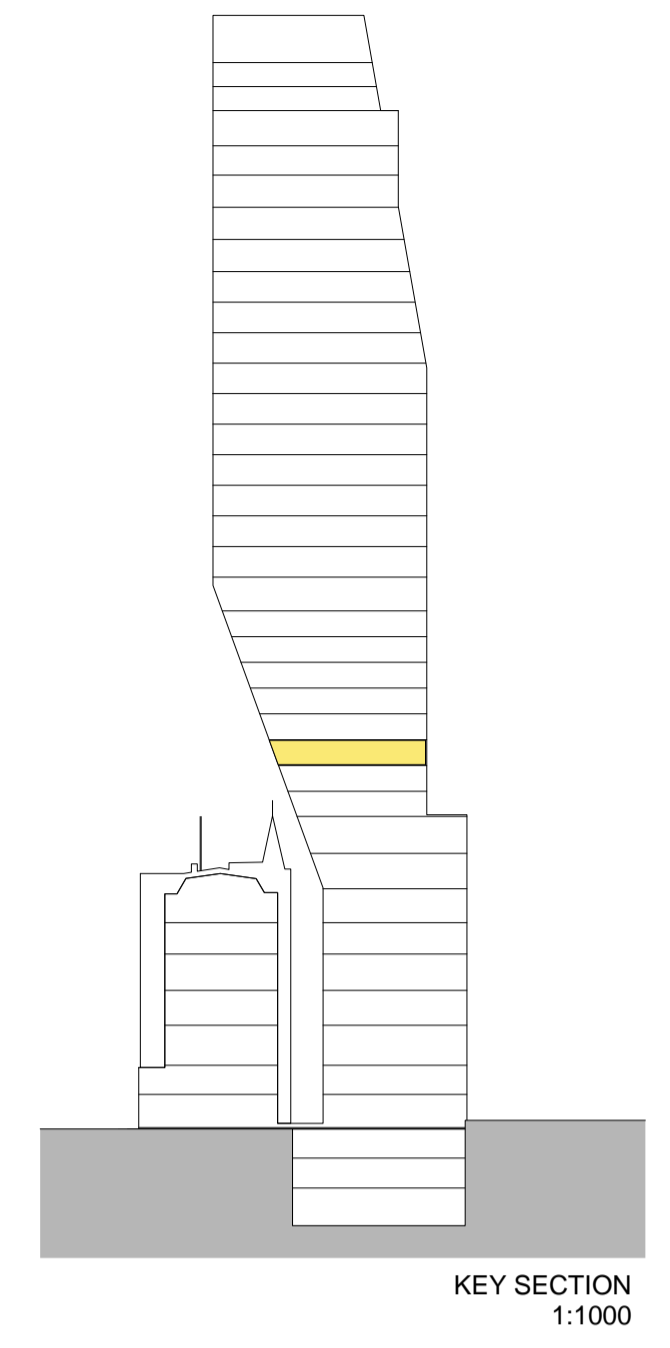
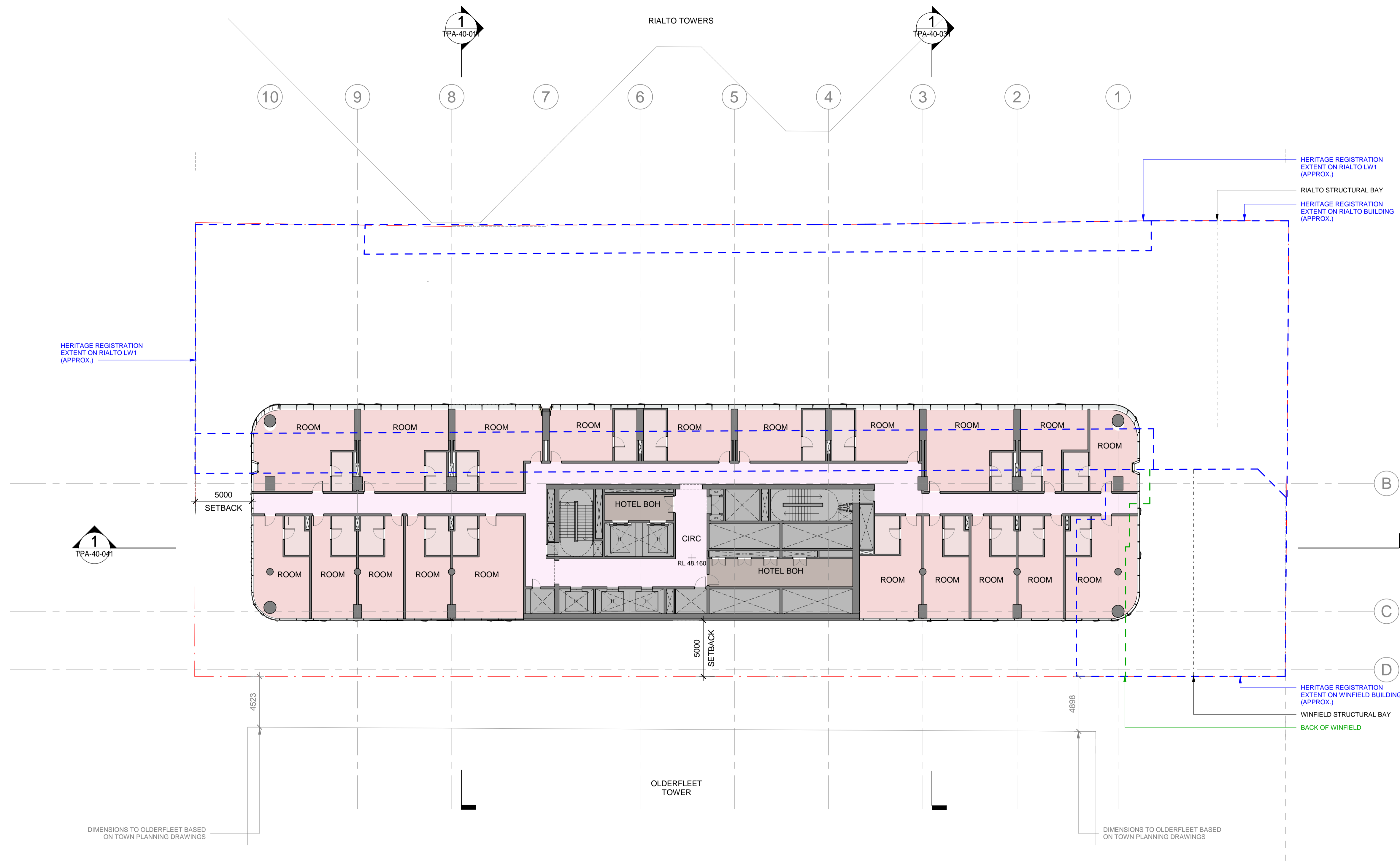
Drawing Number:
TPA-21-181

Revision:
APRIL 2023

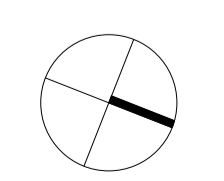
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1 : 200 @ A1

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1 FLOOR PLAN - LEVEL 9
SCALE 1 : 200



Project:
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Drawing Title:
LEVEL 9 FLOOR PLAN

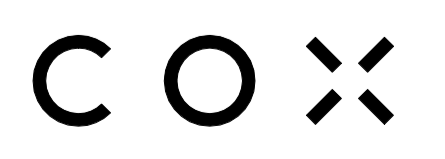
Drawing Number:
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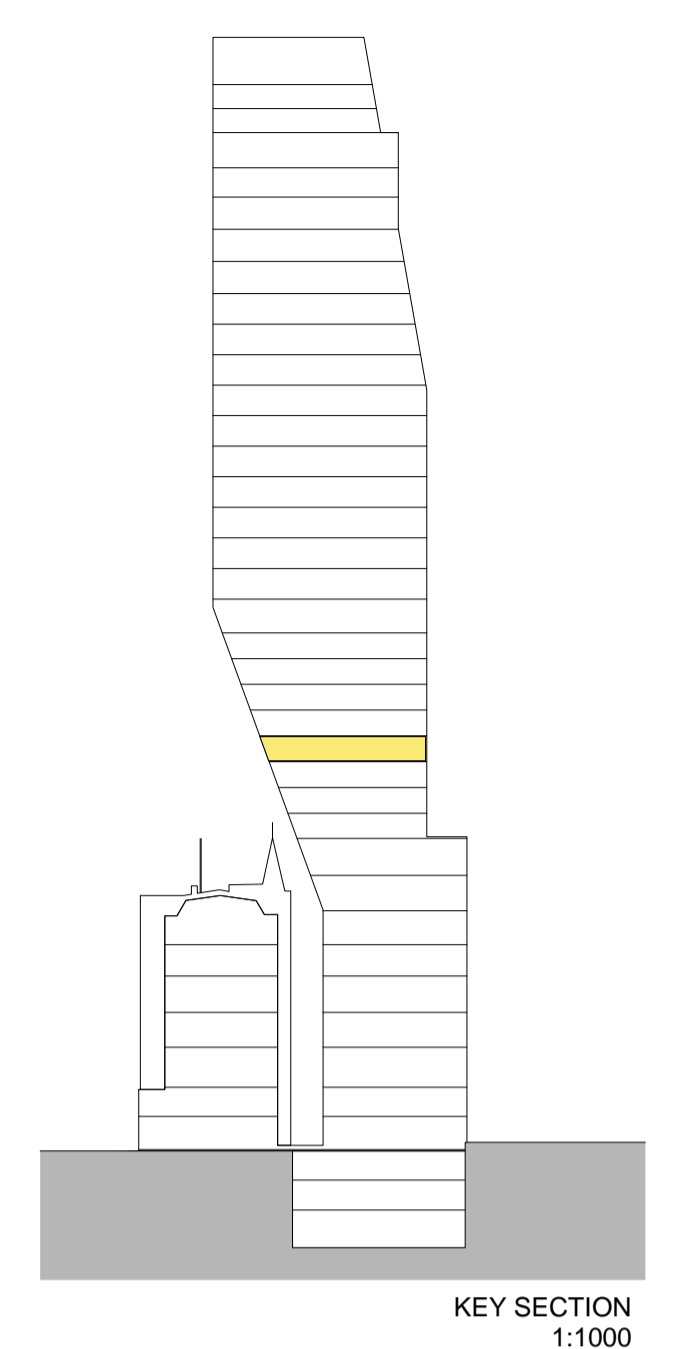
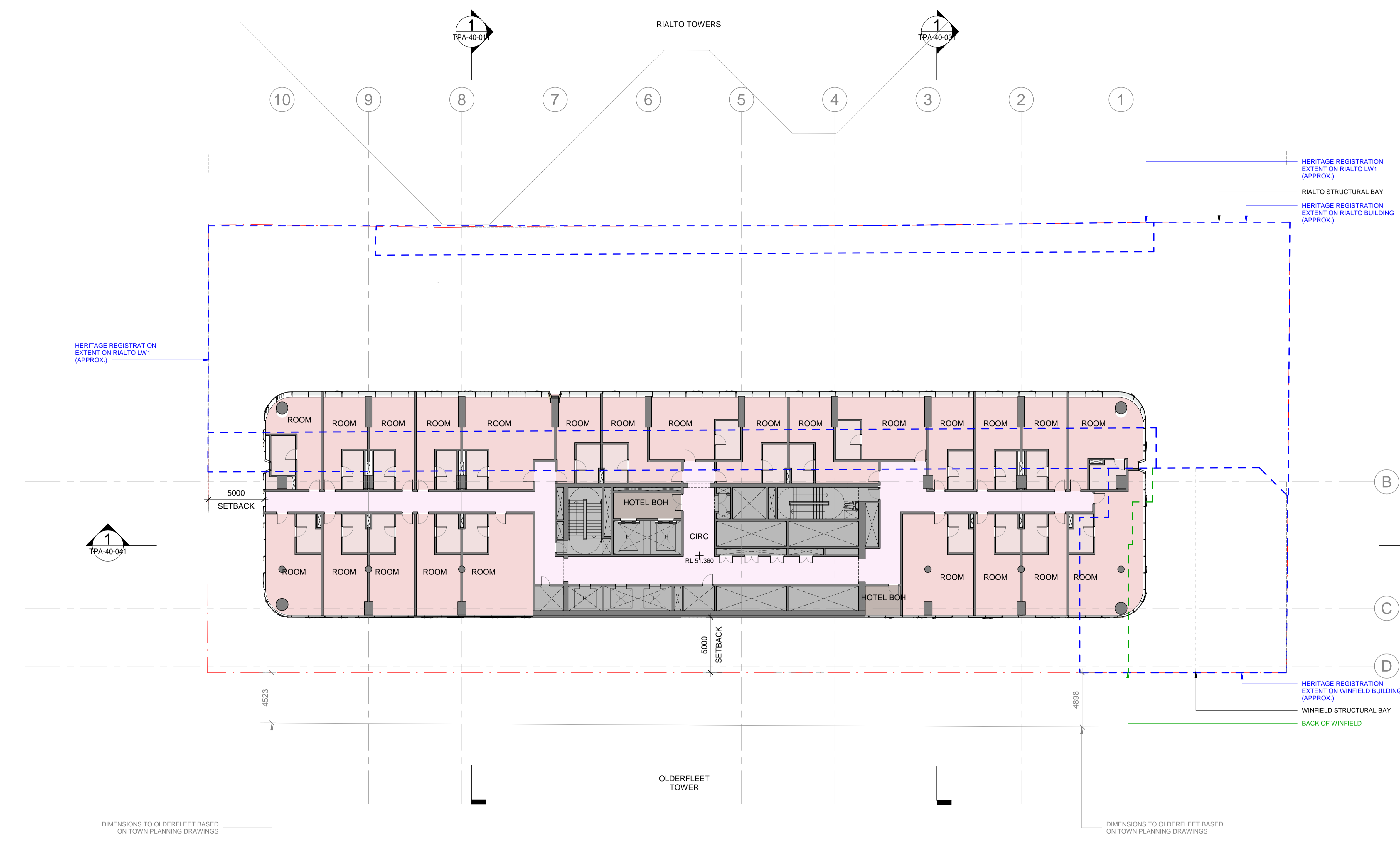
Revision:
APRIL 2023

Date:
1 : 200 @ A1

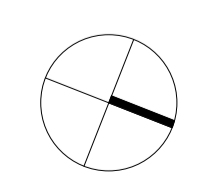
Scale:

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1 FLOOR PLAN - LEVEL 10
SCALE 1 : 200



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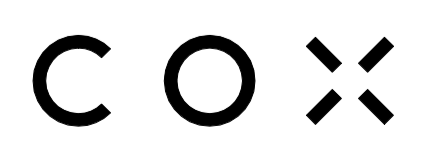
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LEVEL 10 FLOOR PLAN

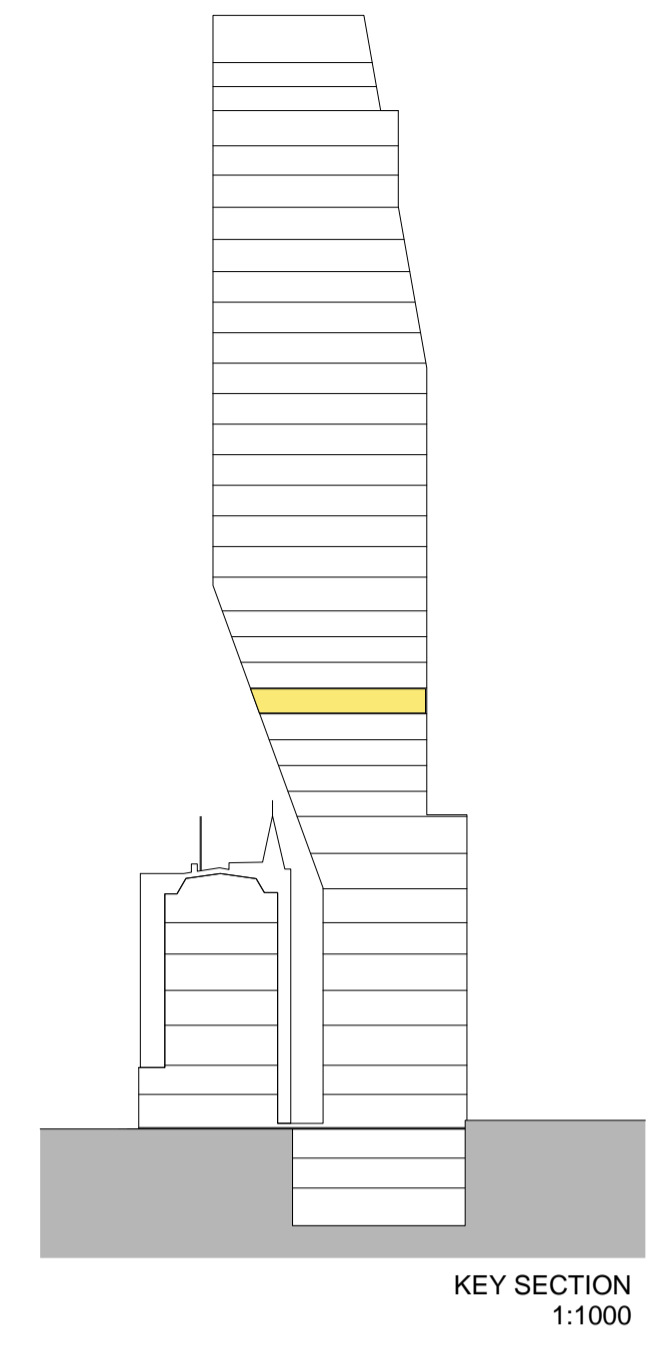
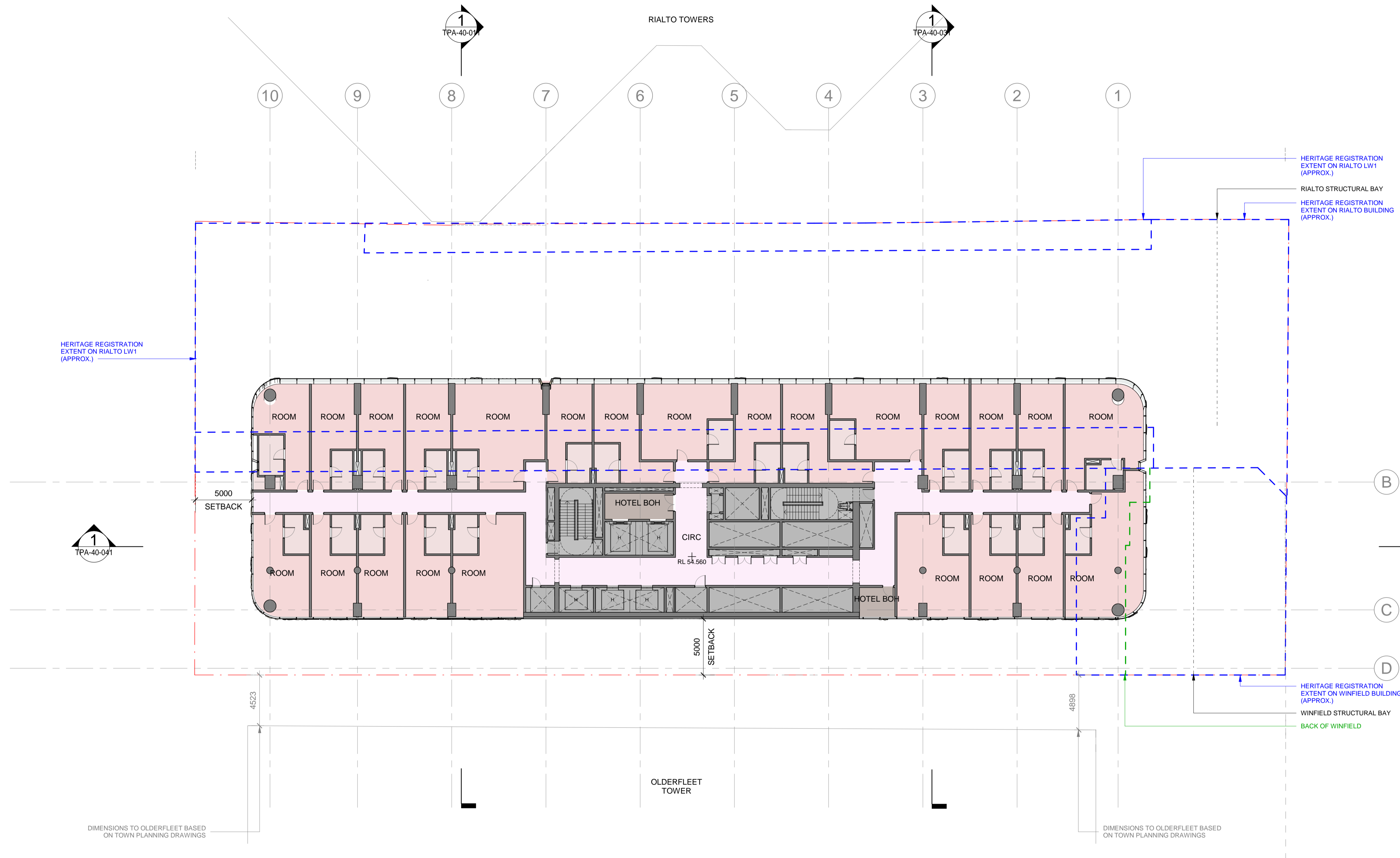
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Revision:
APRIL 2023

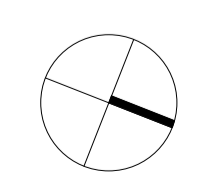
Date:
1 : 200 @ A1

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1 FLOOR PLAN - LEVEL 11
SCALE 1 : 200



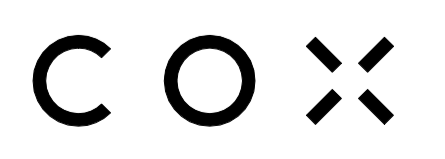
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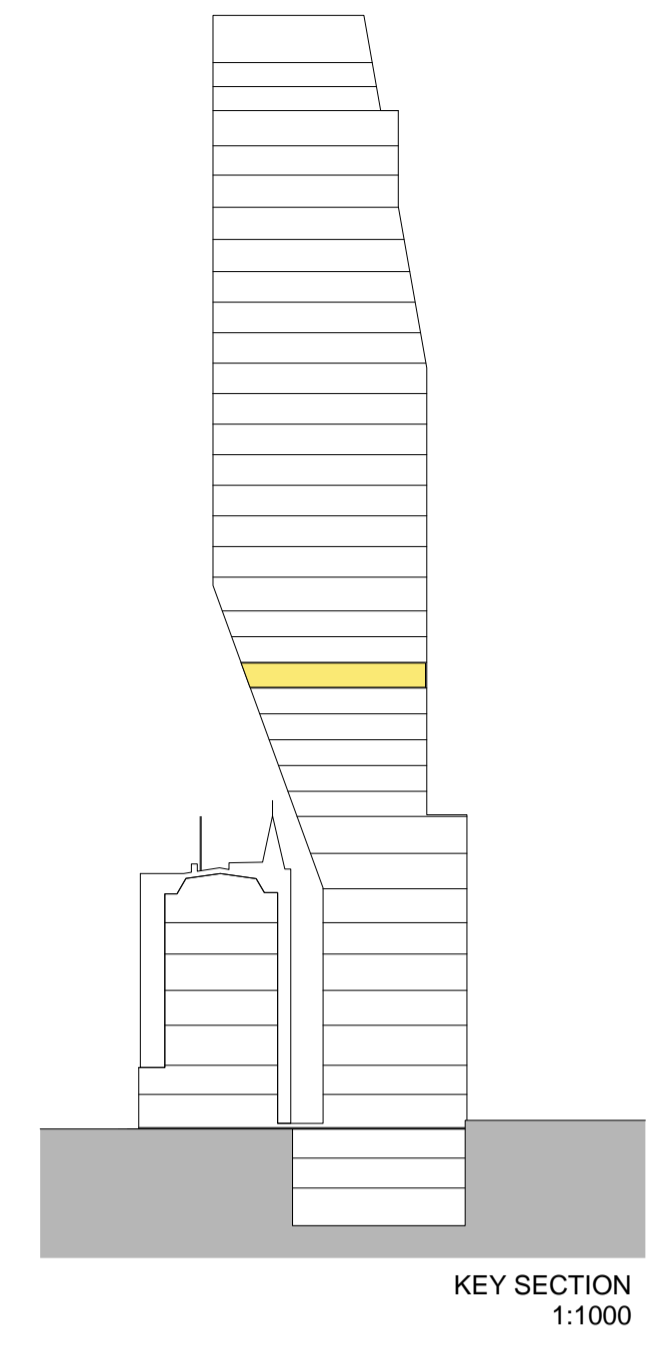
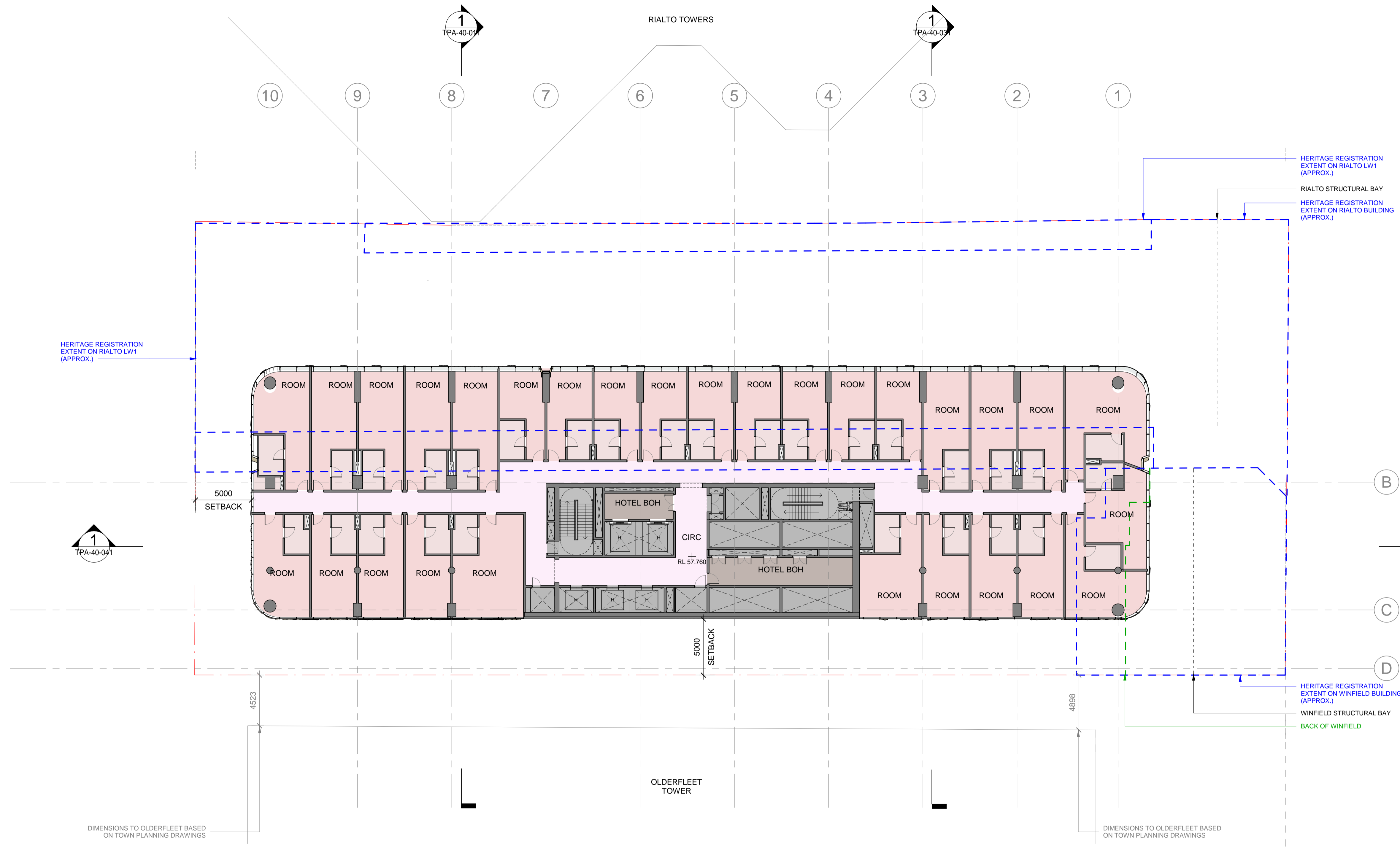
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LEVEL 11 FLOOR PLAN

Drawing Number:
TPA-21-211

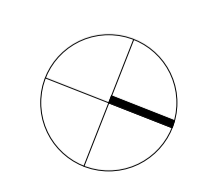
Revision: Date:
APRIL 2023 **1 : 200 @ A1**

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1 FLOOR PLAN - LEVEL 12
SCALE 1 : 200



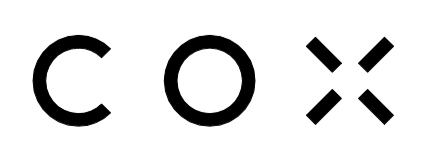
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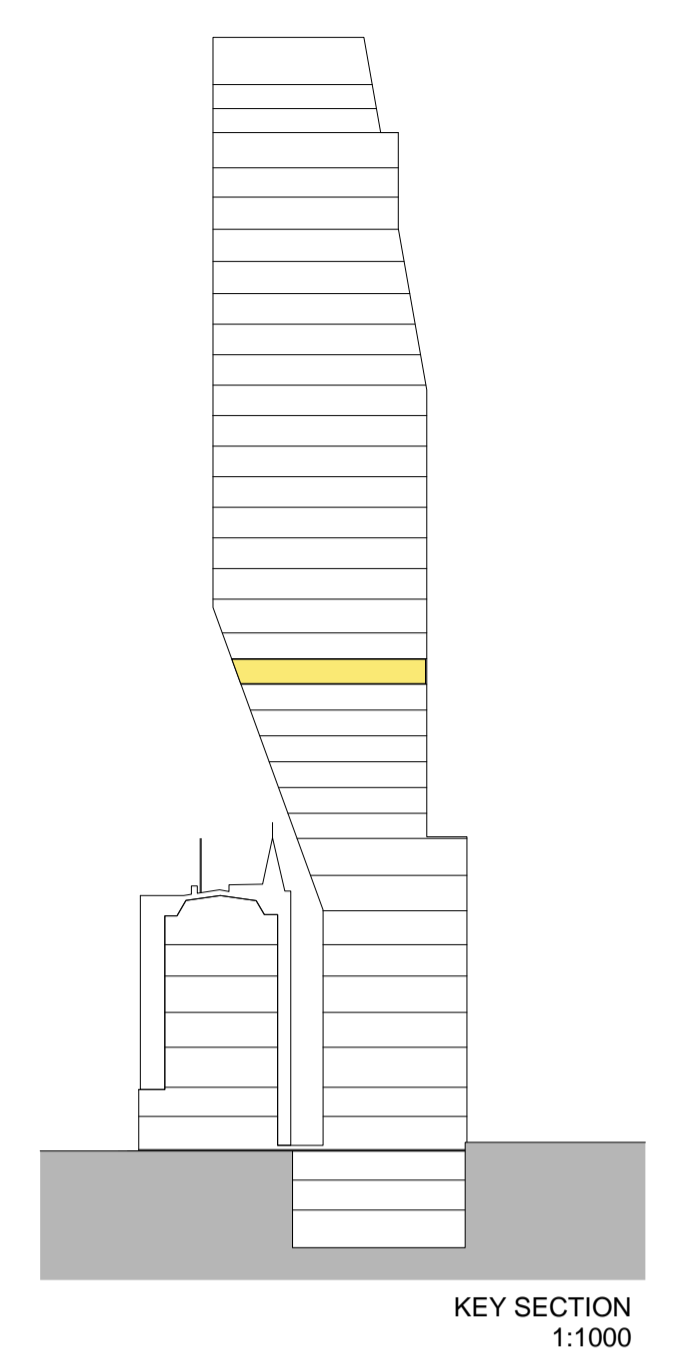
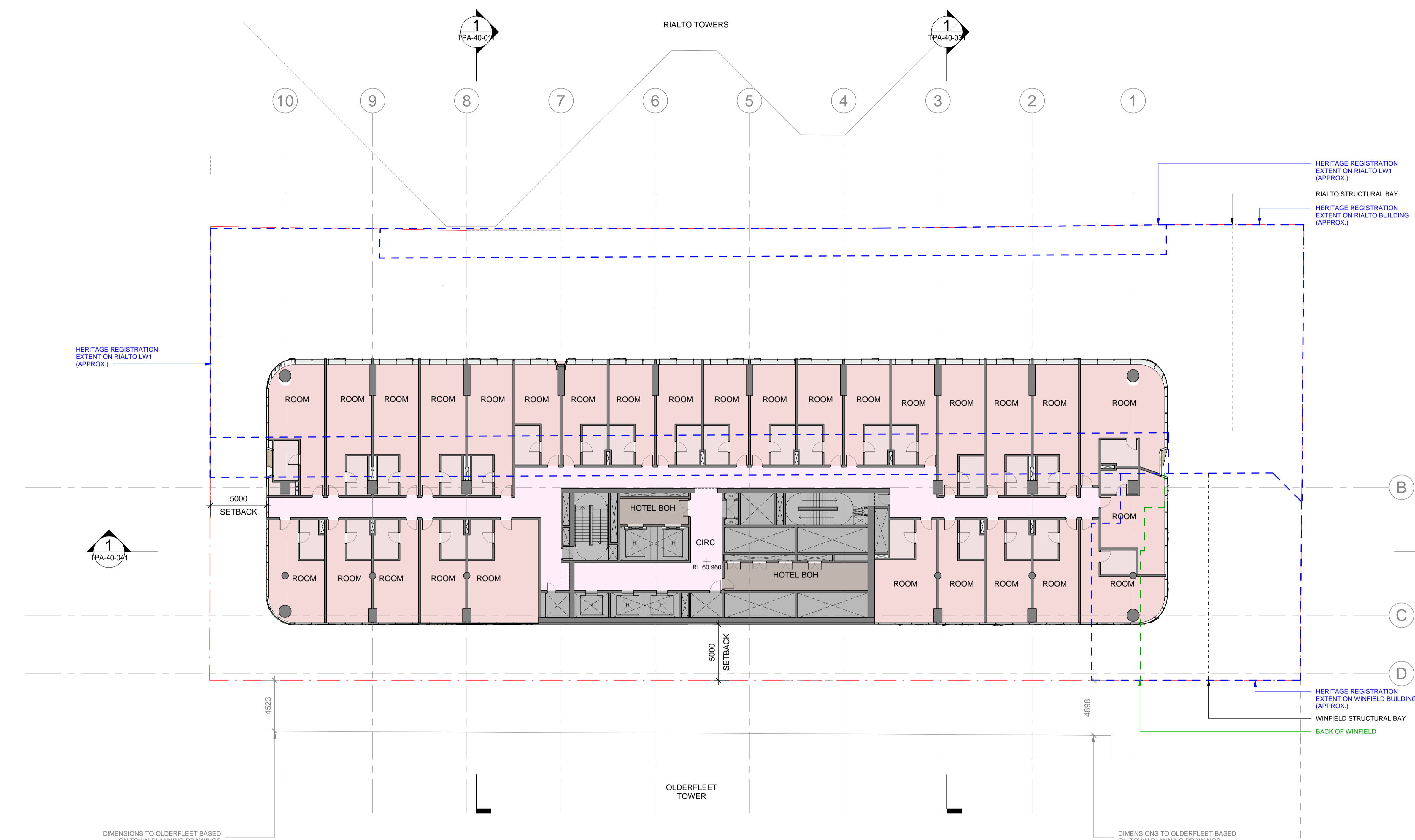
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LEVEL 12 FLOOR PLAN

Drawing Number:
TPA-21-221

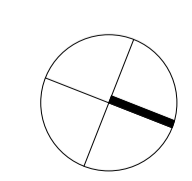
Revision: Date:
APRIL 2023 **1 : 200 @ A1**

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1 FLOOR PLAN - LEVEL 13
SCALE 1 : 200



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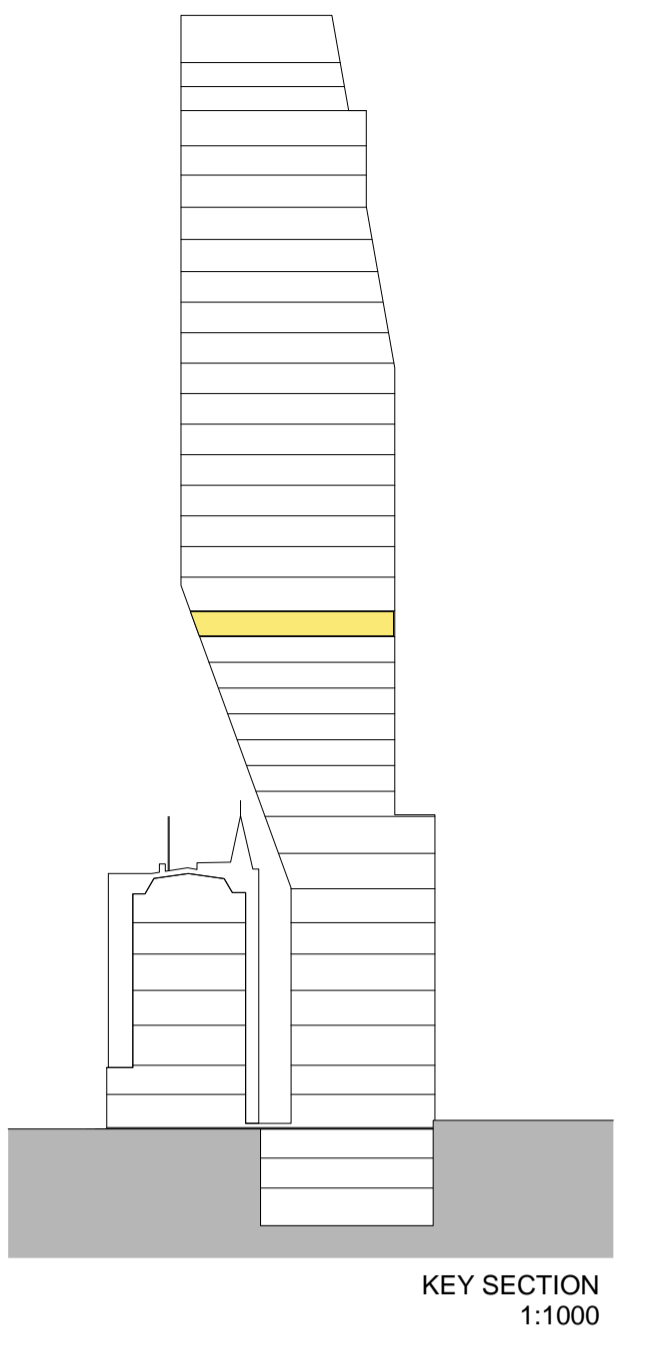
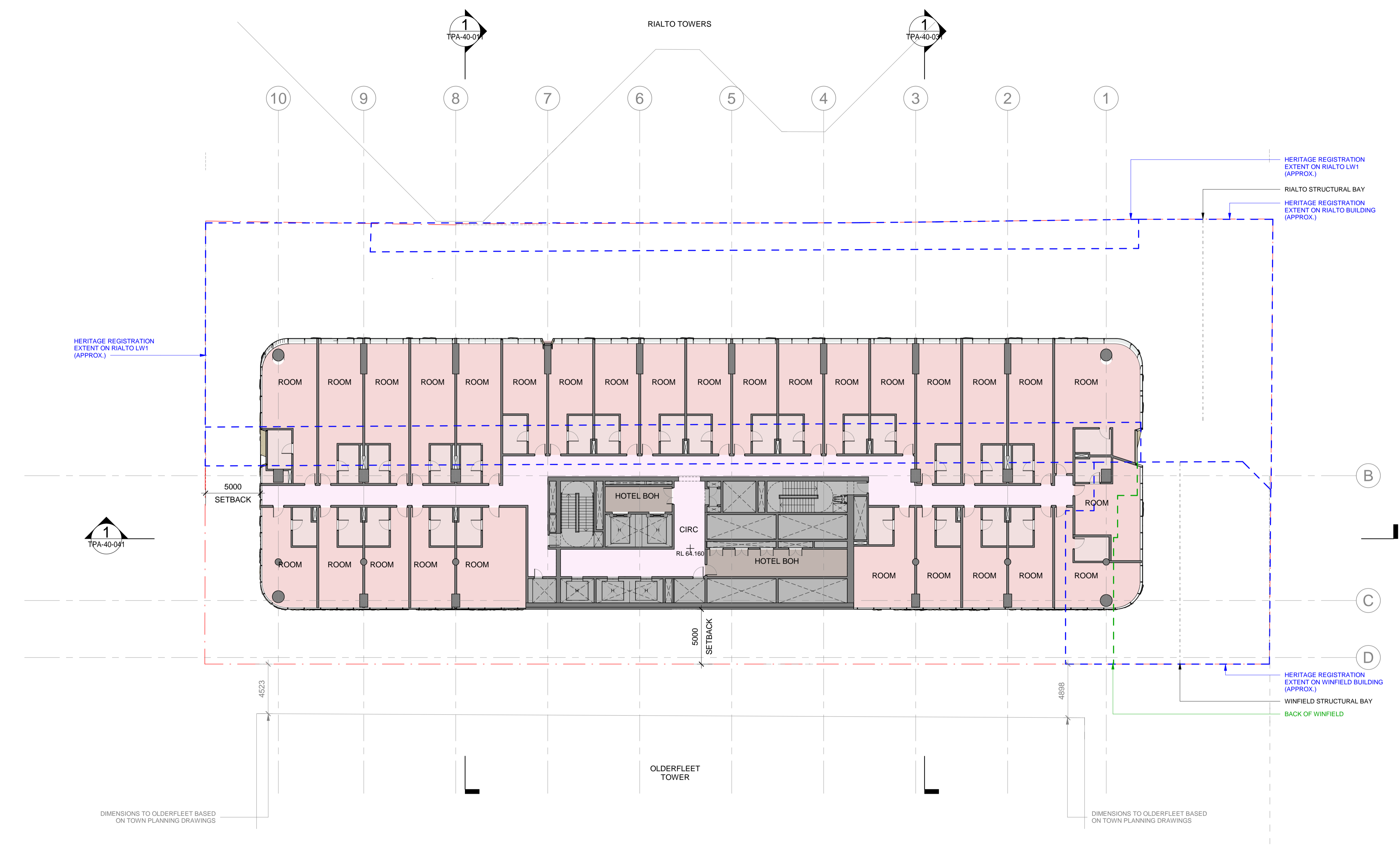
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LEVEL 13 FLOOR PLAN

Drawing Number:
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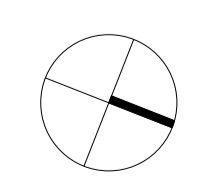
Revision: Date:
APRIL 2023 **1 : 200 @ A1**

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1 FLOOR PLAN - LEVEL 14
SCALE 1 : 200



Project:
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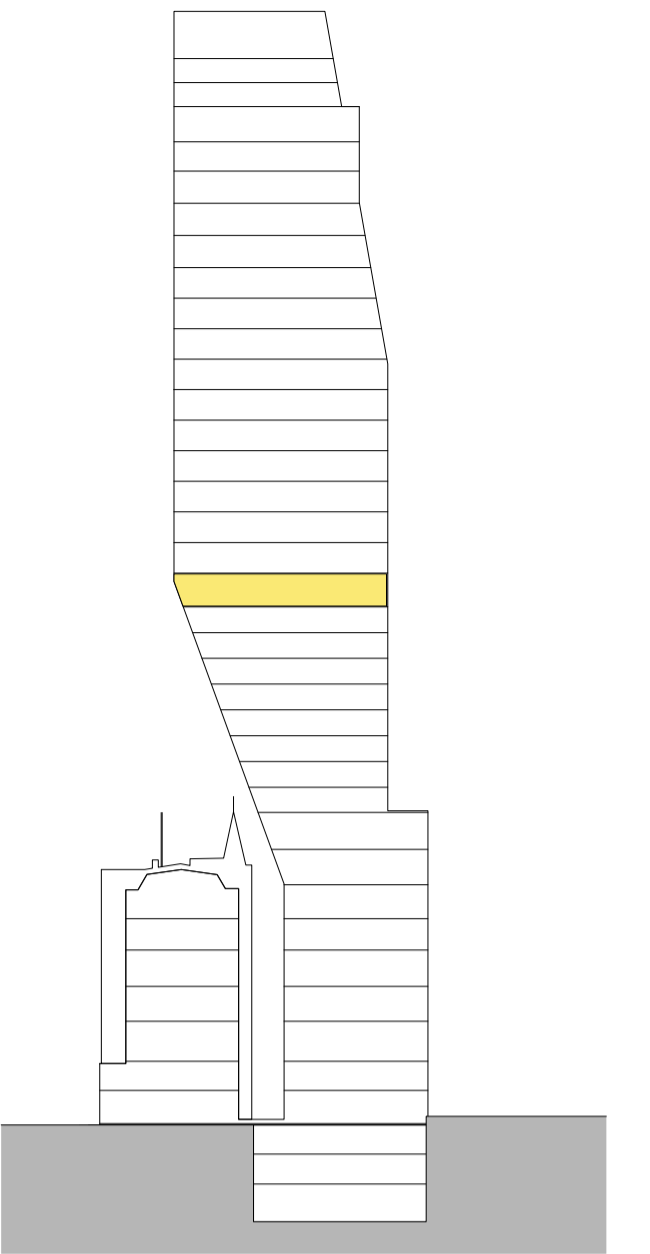
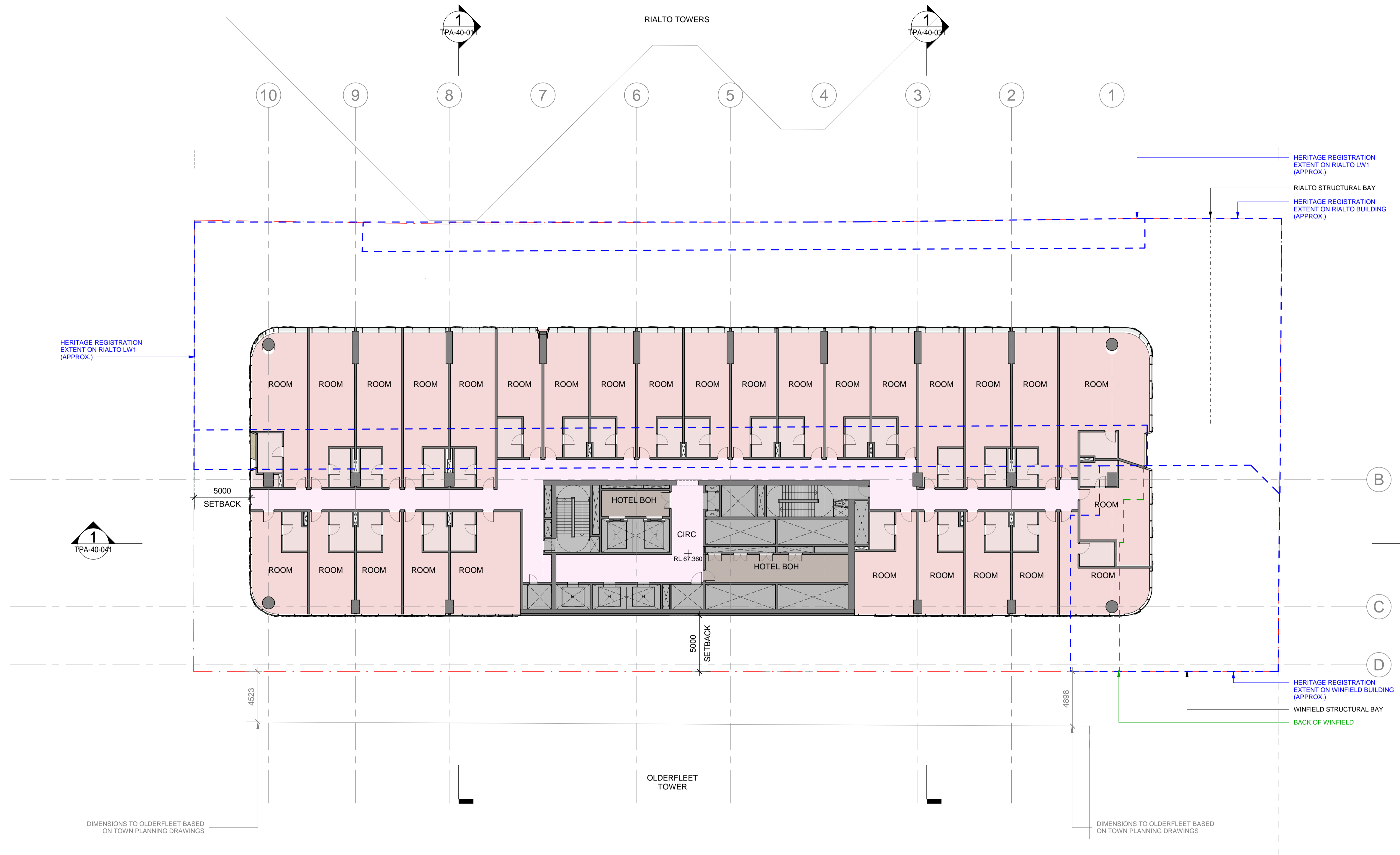
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LEVEL 14 FLOOR PLAN

Drawing Number:
TPA-21-241

Revision: Date: Scale:
APRIL 2023 1 : 200 @ A1

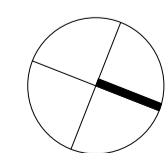
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KEY SECTION
1:1000

1 FLOOR PLAN - LEVEL 15
SCALE 1:200



Project:
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Drawing Title:
LEVEL 15 FLOOR PLAN

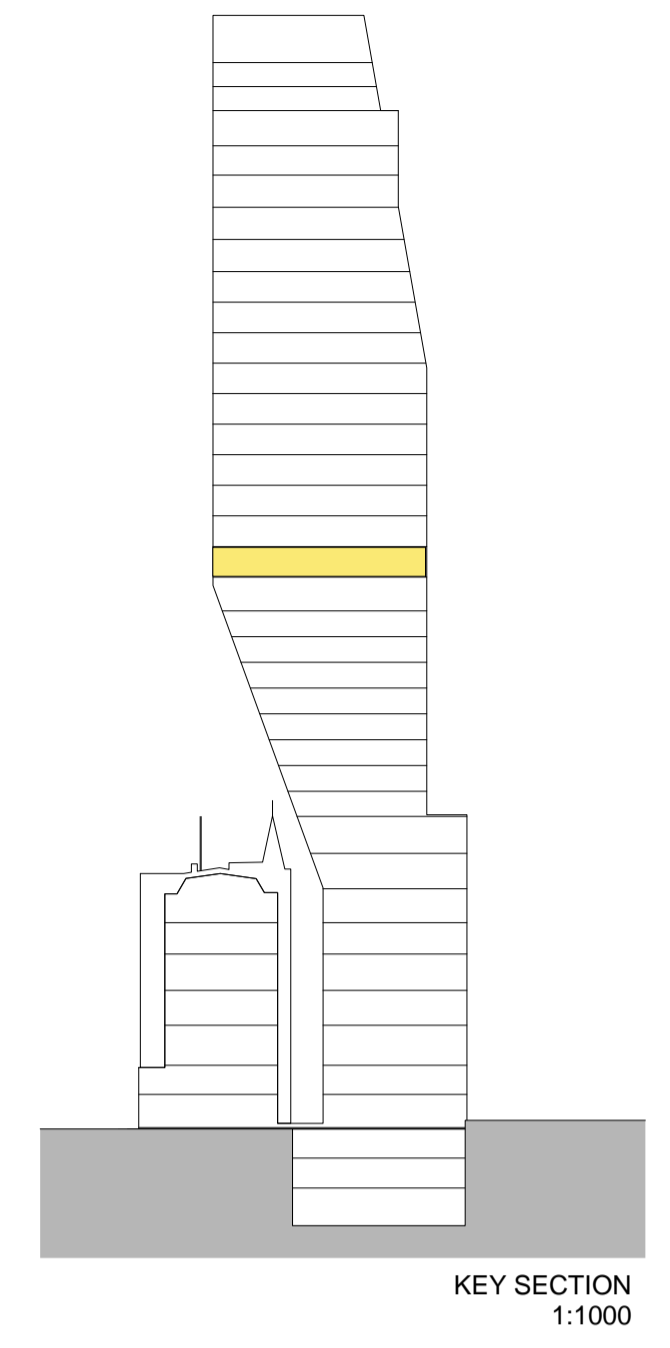
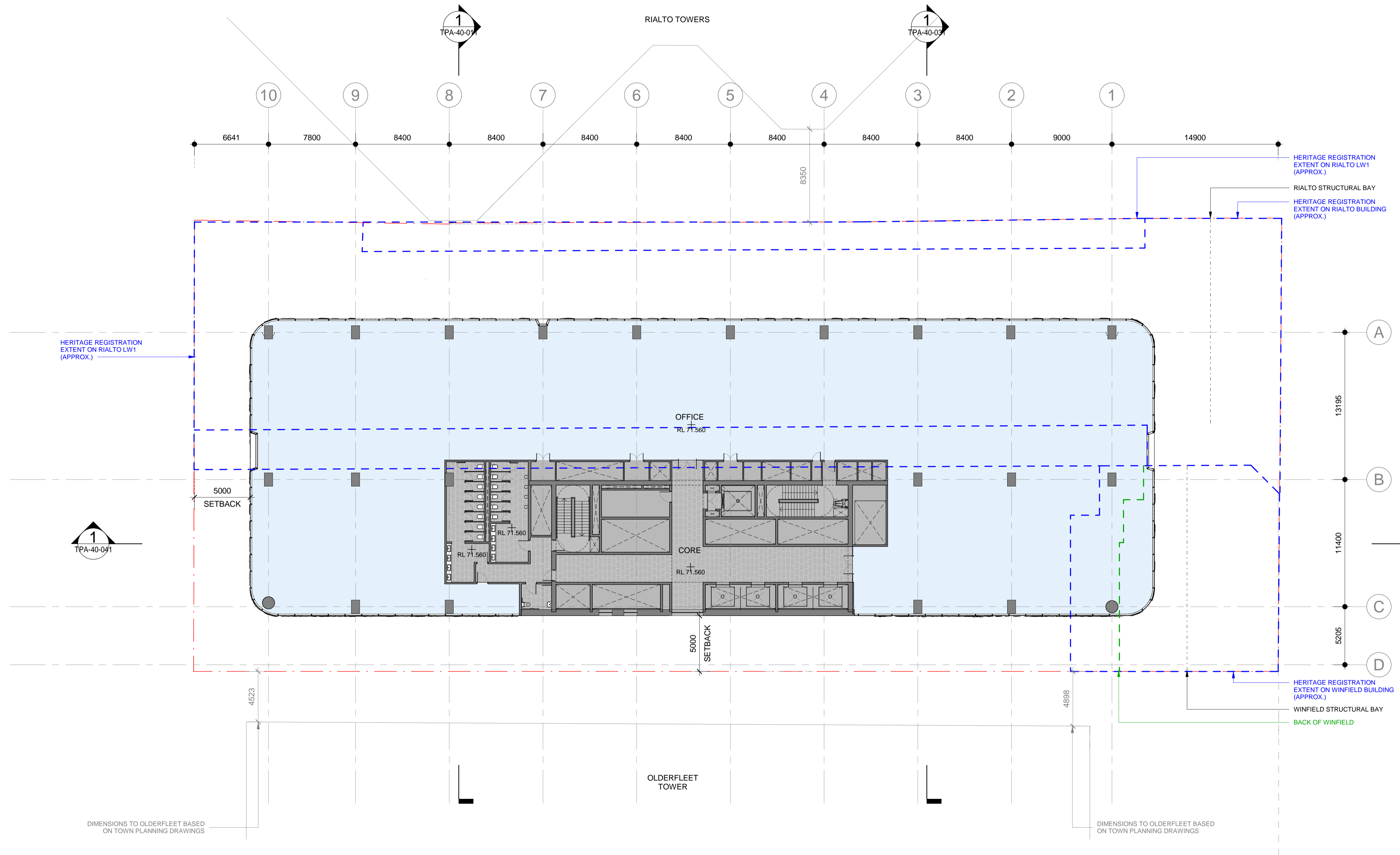
Drawing Number:
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Revision: Date:
APRIL 2023

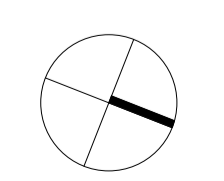
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1 FLOOR PLAN - LEVEL 16
SCALE 1 : 200



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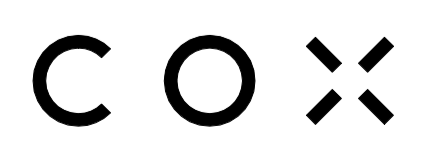
Drawing Title:
LEVEL 16 FLOOR PLAN

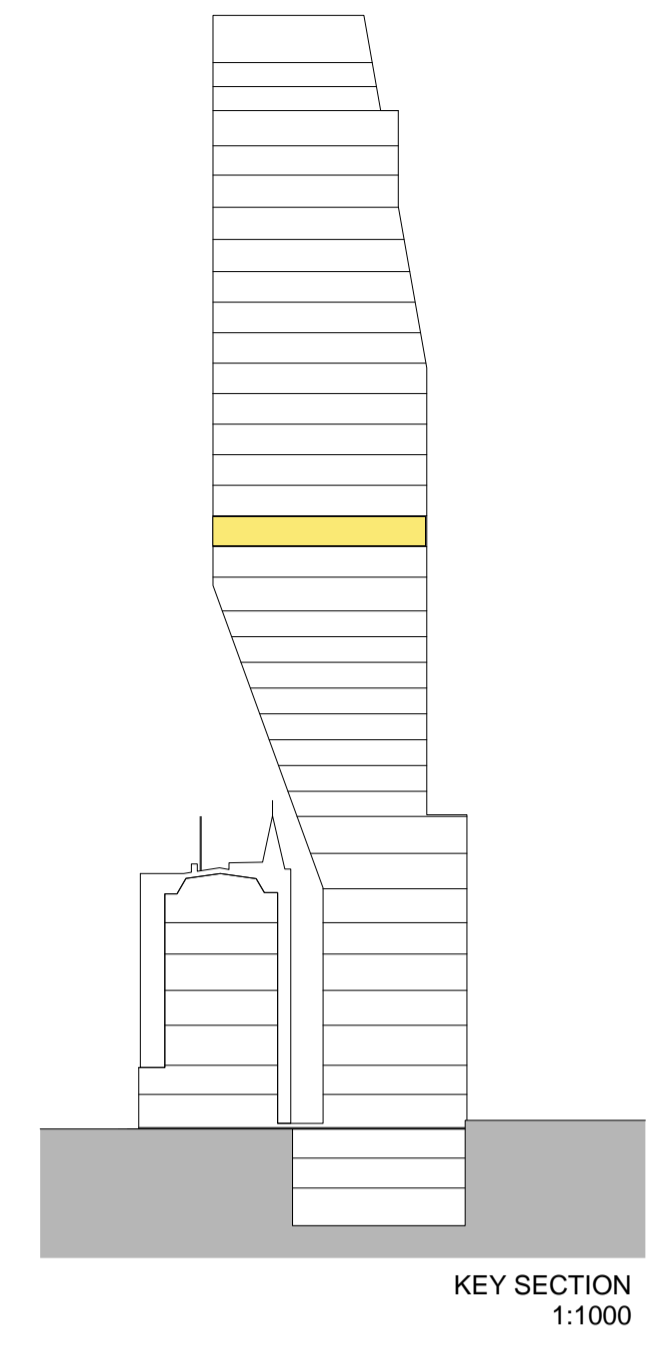
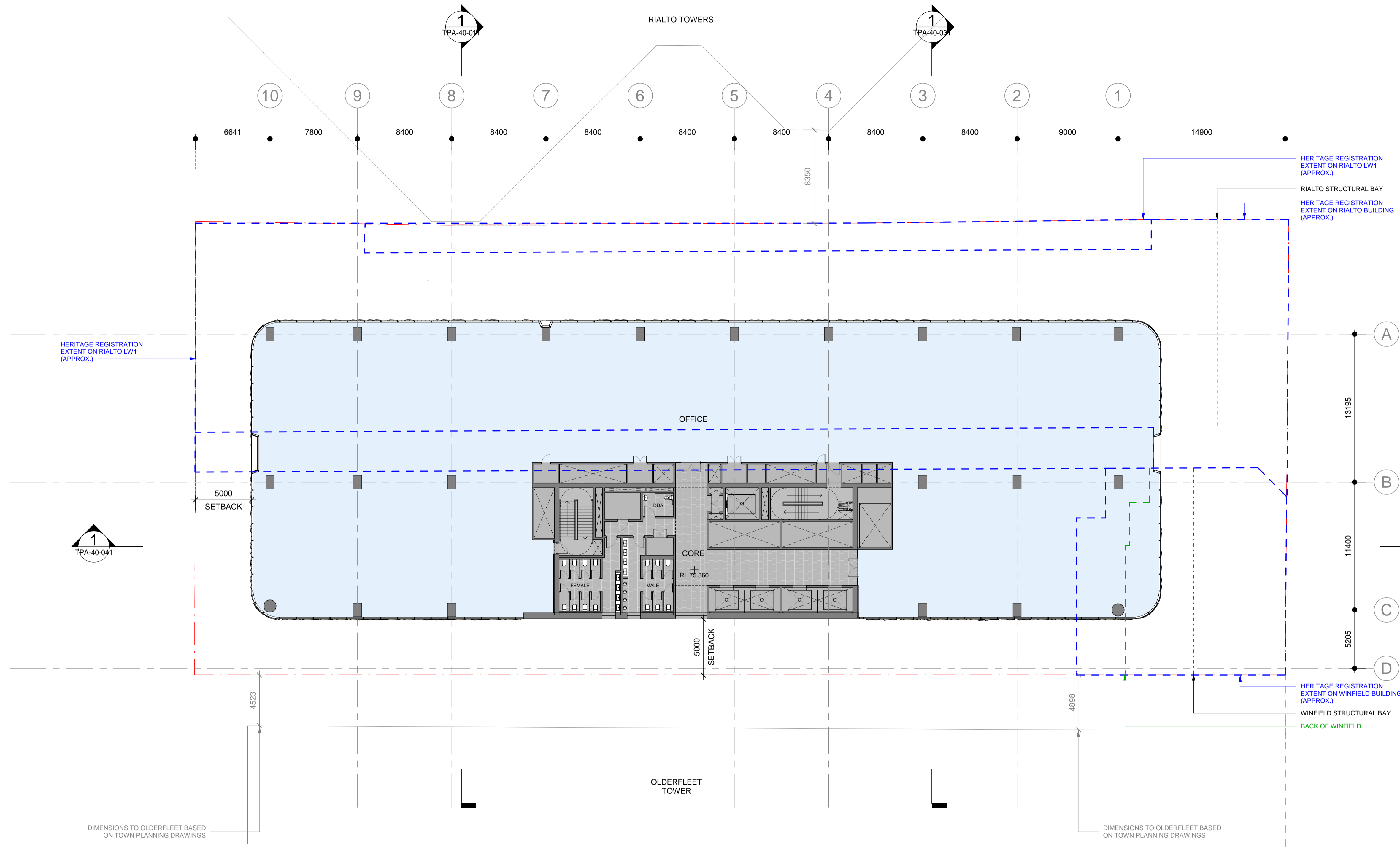
Drawing Number:
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Revision:
APRIL 2023

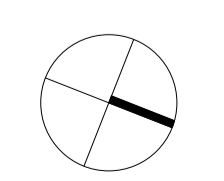
Date:
1 : 200 @ A1

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1 FLOOR PLAN - LEVEL 17
SCALE 1 : 200



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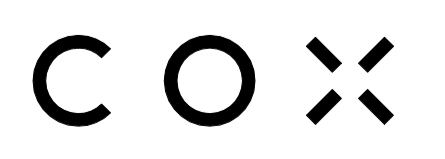
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LEVEL 17-21 FLOOR PLAN

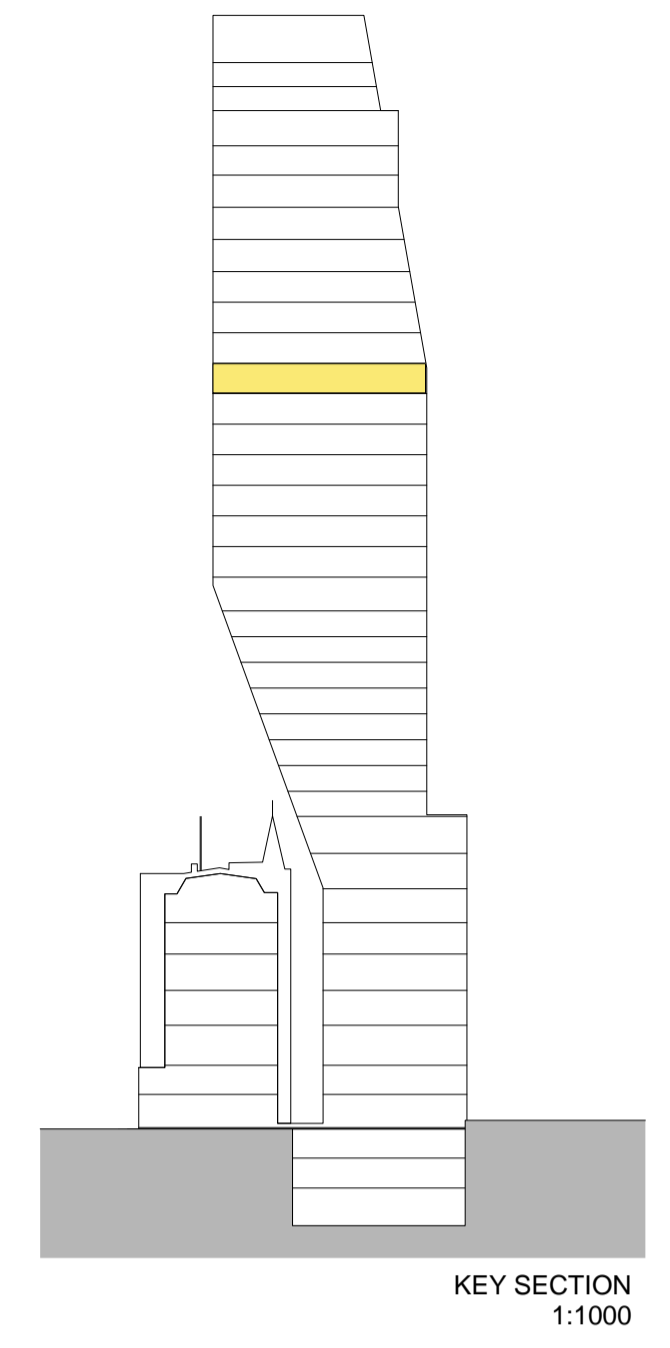
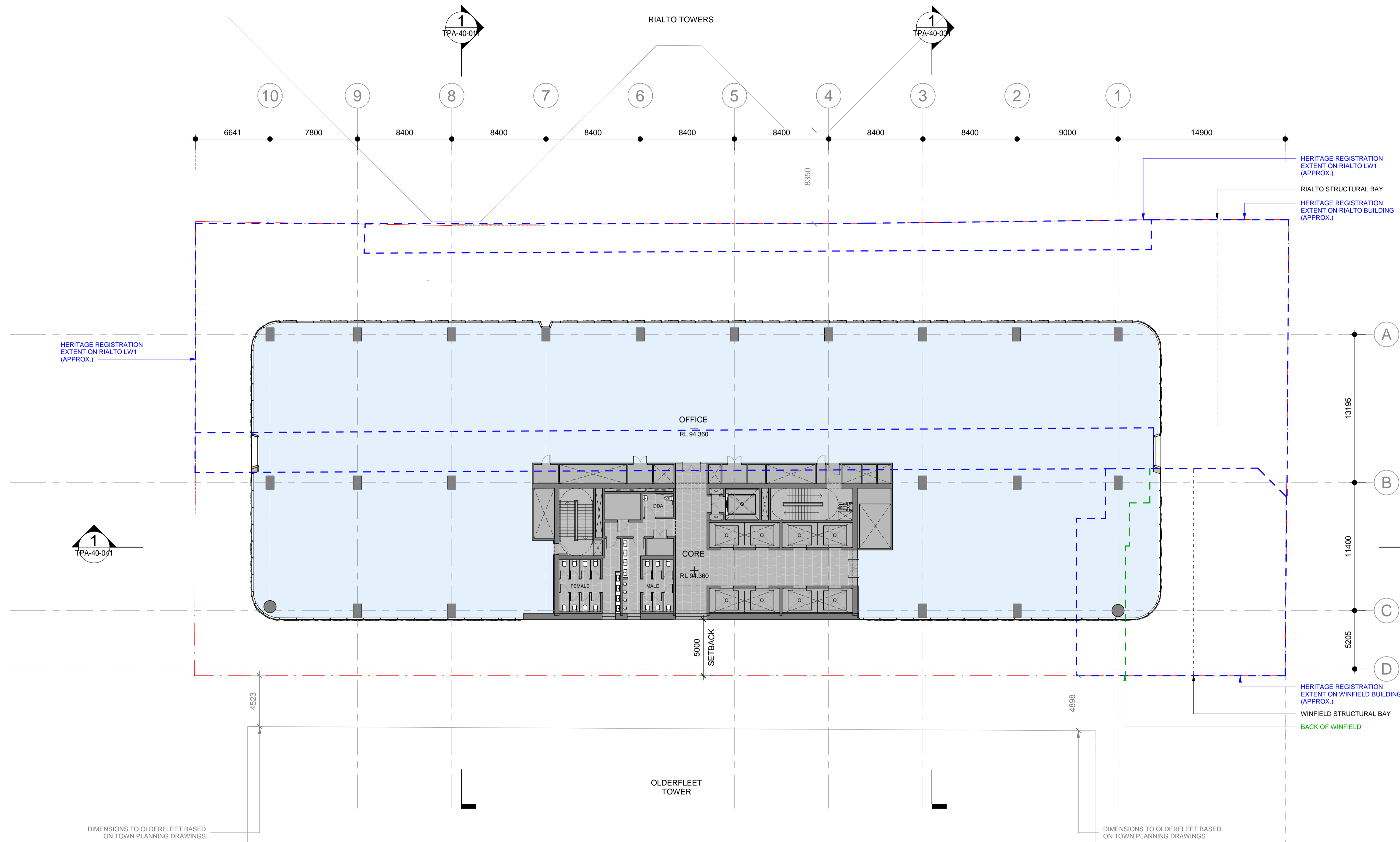
Drawing Number:
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Revision:
APRIL 2023

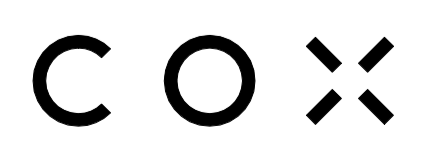
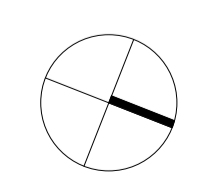
Date:
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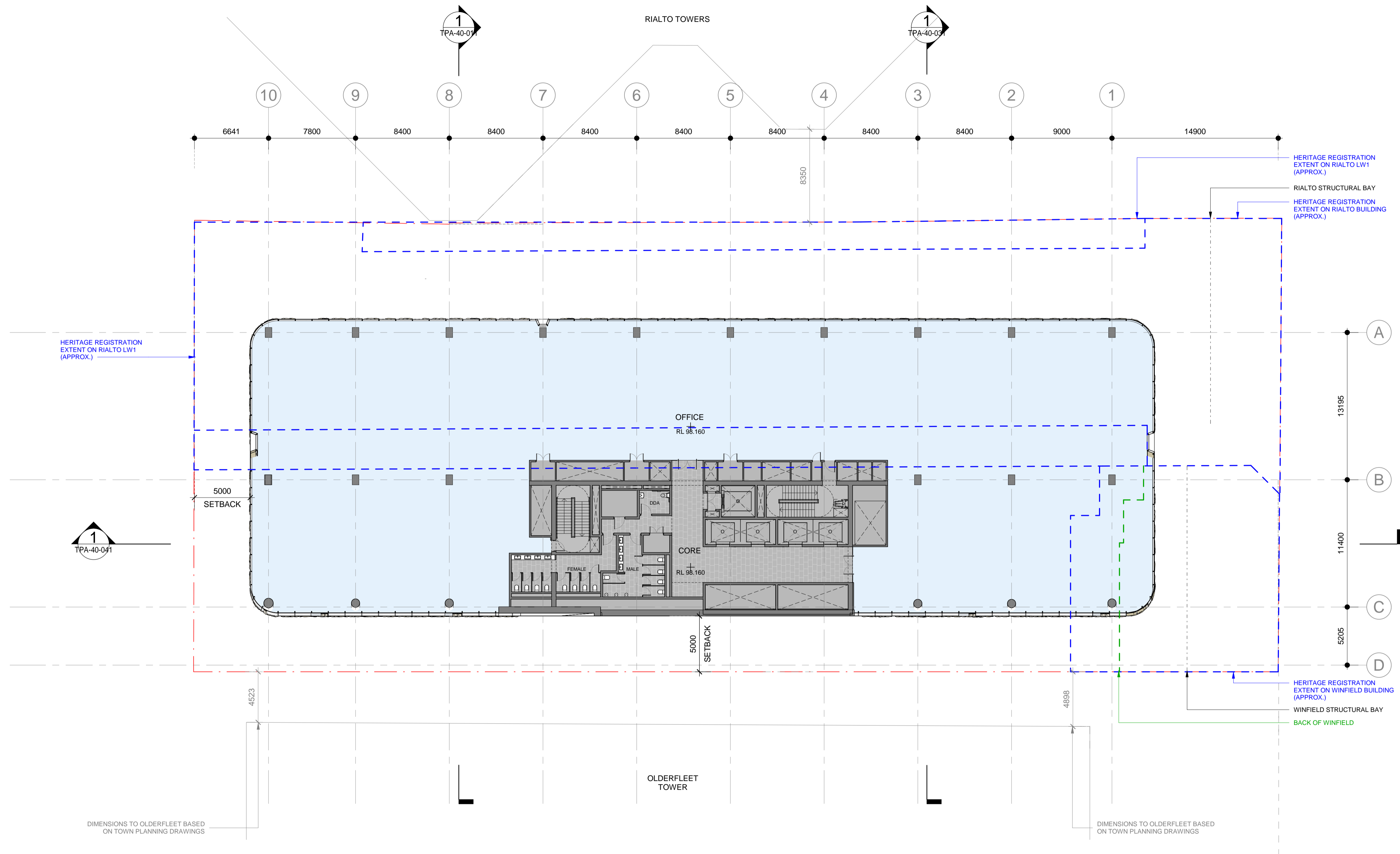
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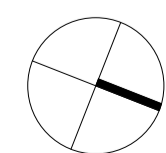


1 FLOOR PLAN - LEVEL 22
SCALE 1 : 200





1 FLOOR PLAN - LEVEL 23
SCALE 1 : 200



Project:
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Drawing Title:
LEVEL 23 FLOOR PLAN

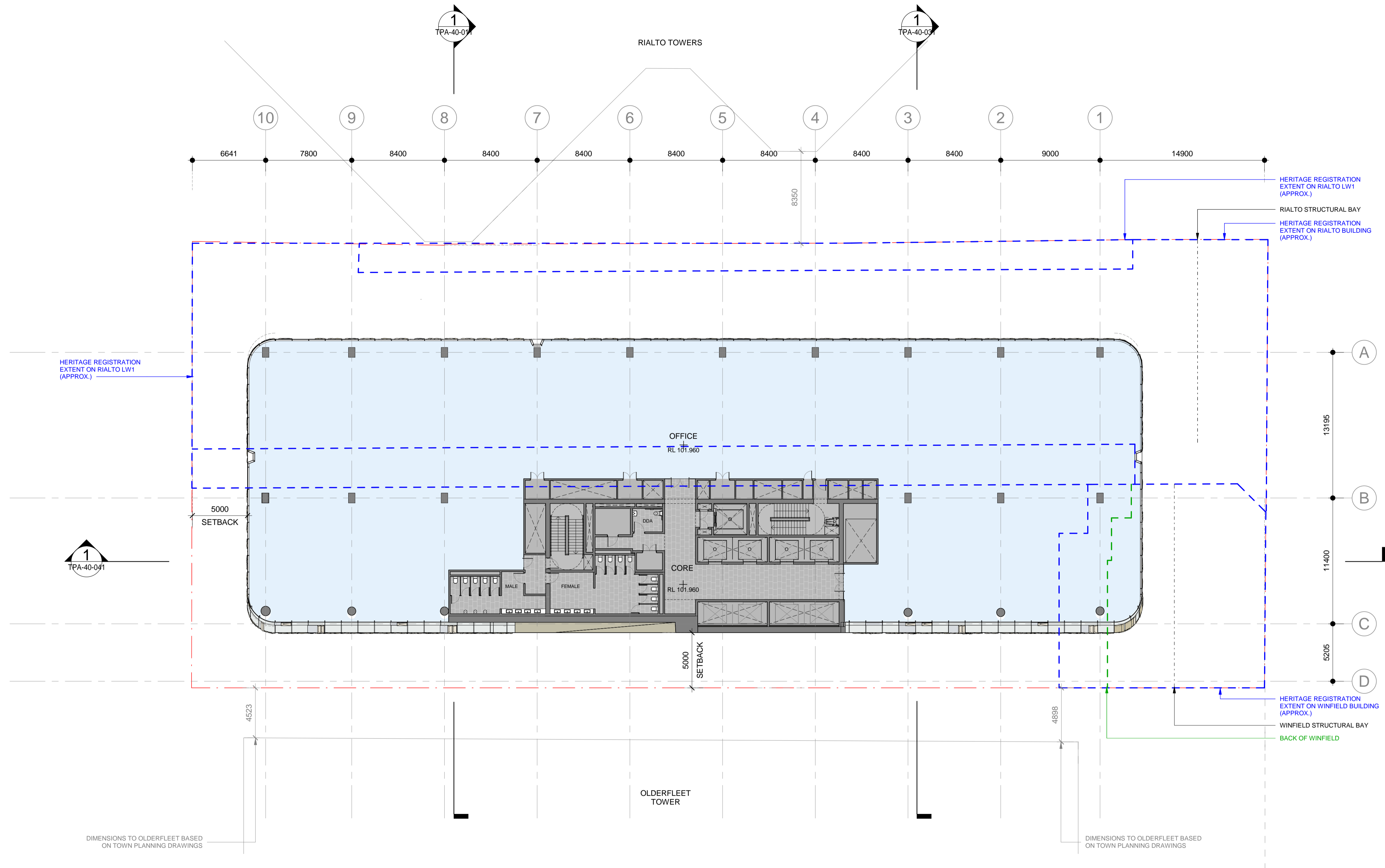
Drawing Number:
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Revision: Date:
APRIL 2023

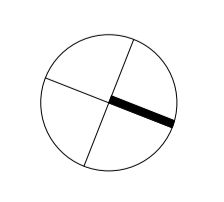
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1 : 200 @ A1

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1 FLOOR PLAN - LEVEL 24
SCALE 1 : 200



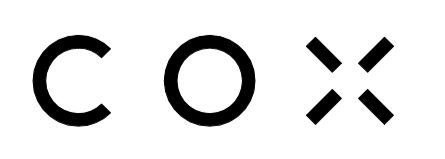
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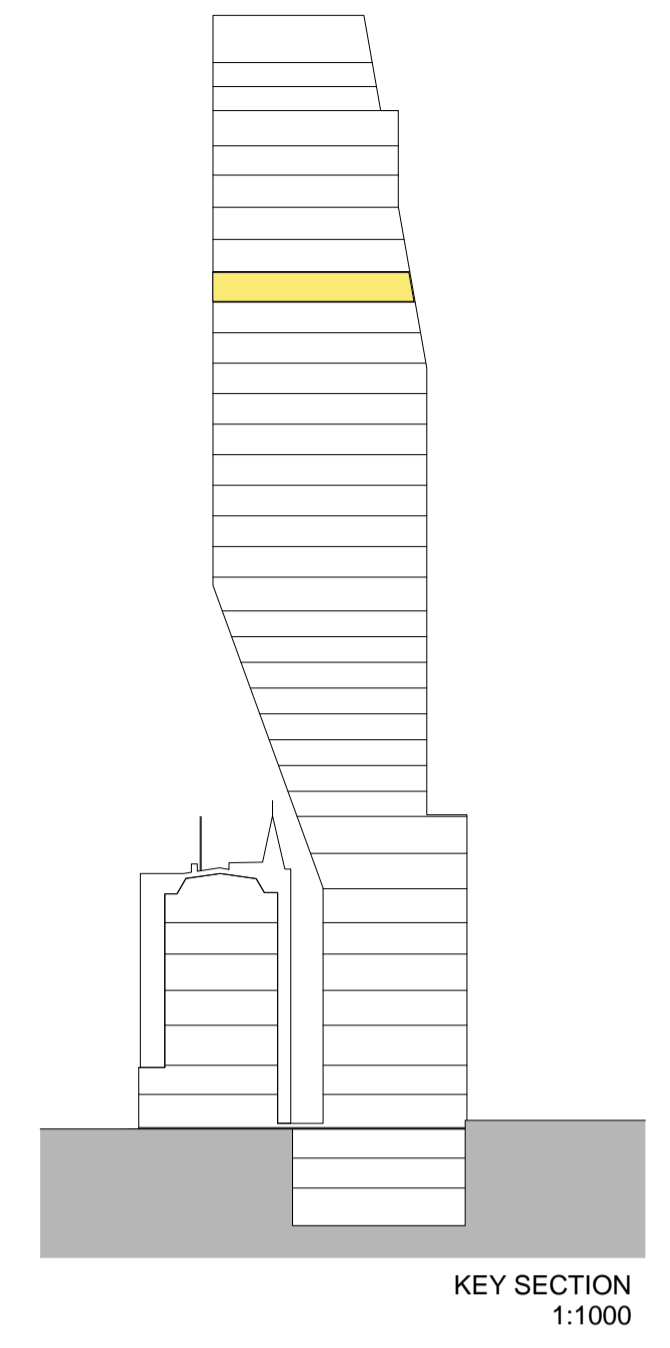
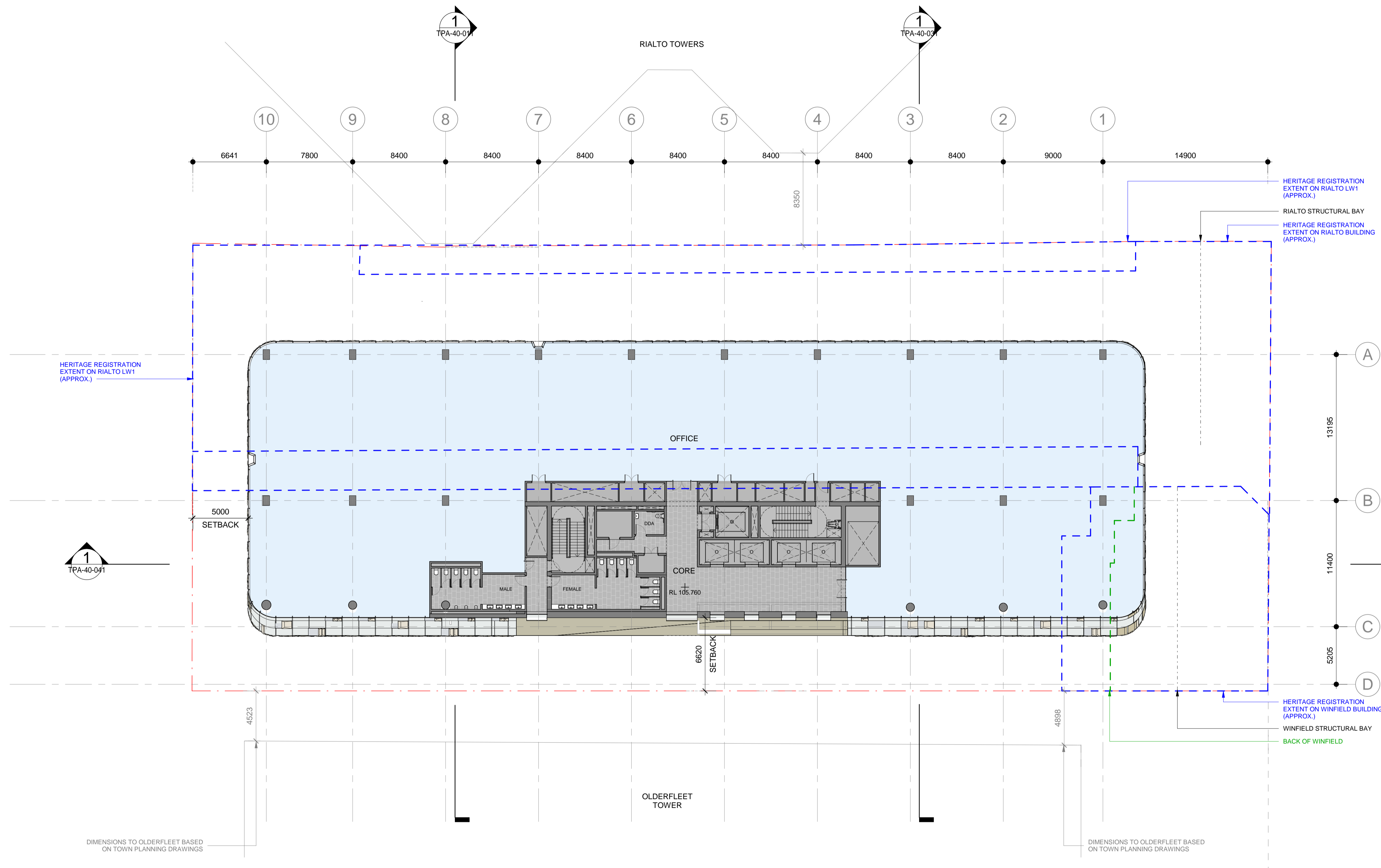
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Drawing Number: **TPA-21-341**

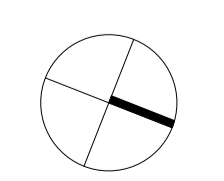
Revision: Date: **APRIL 2023** Scale: **1 : 200 @ A1**

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1 FLOOR PLAN - LEVEL 25
SCALE 1 : 200



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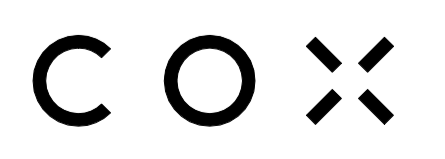
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LEVEL 25 FLOOR PLAN

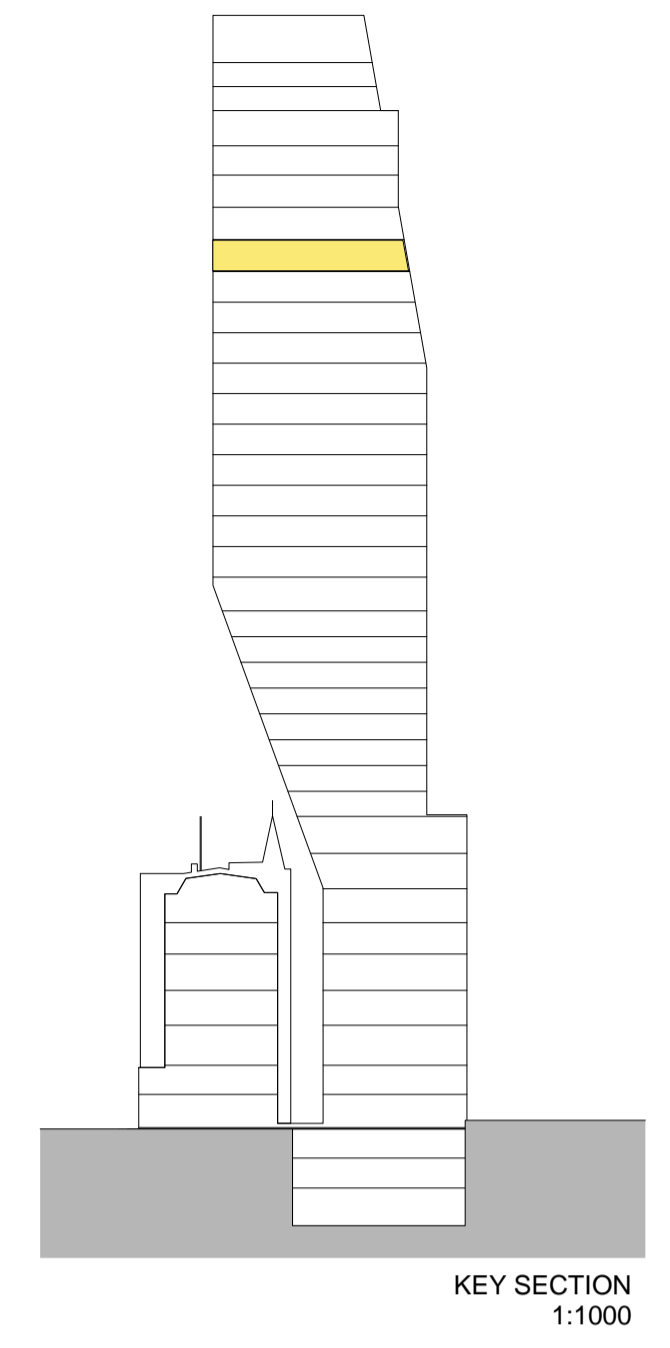
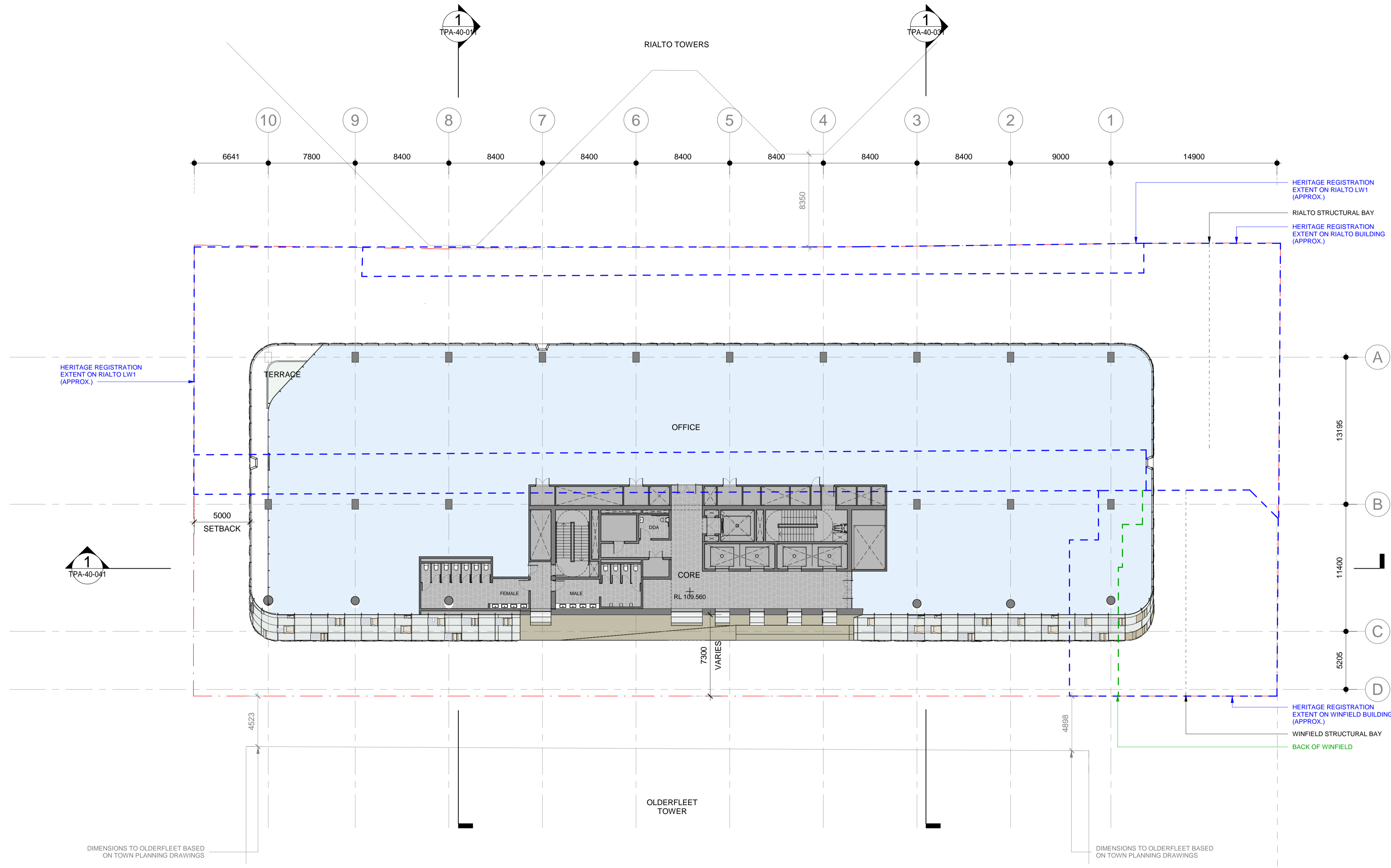
Drawing Number:
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Revision:
APRIL 2023

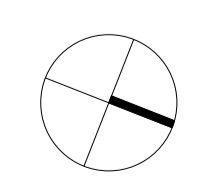
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1 FLOOR PLAN - LEVEL 26
SCALE 1 : 200



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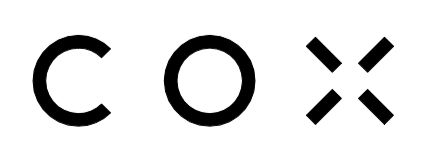
Drawing Title:
LEVEL 26 FLOOR PLAN

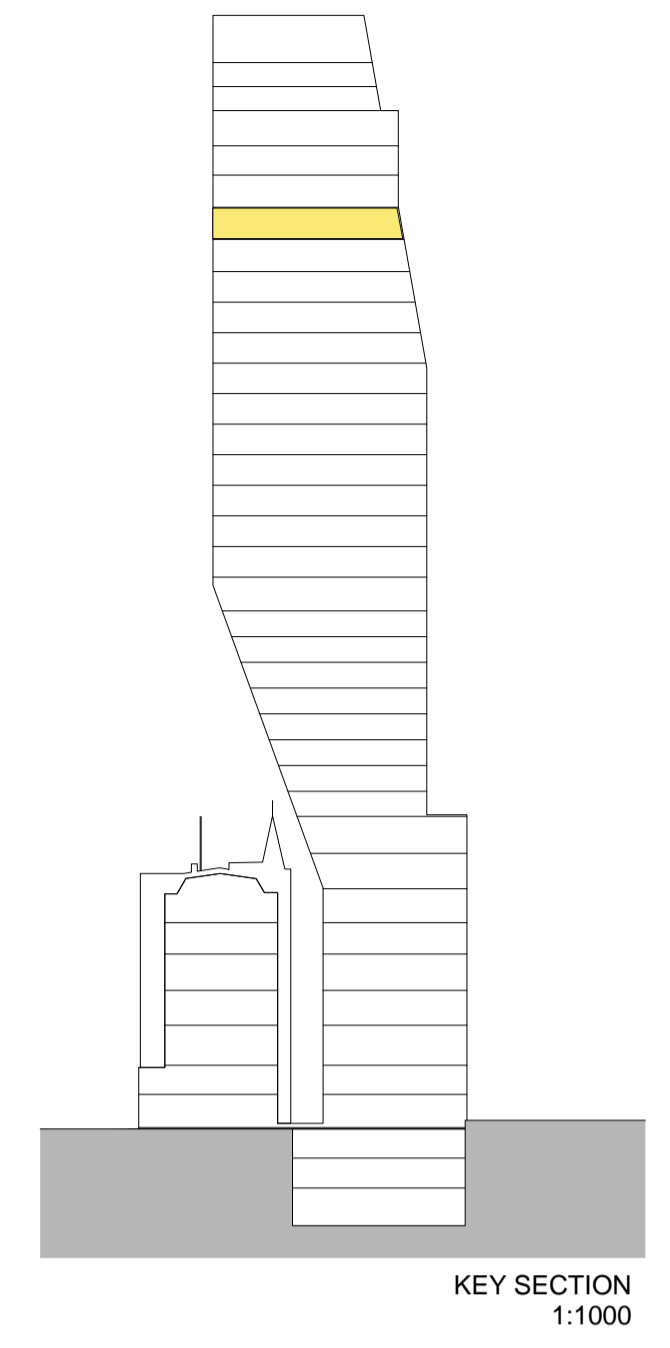
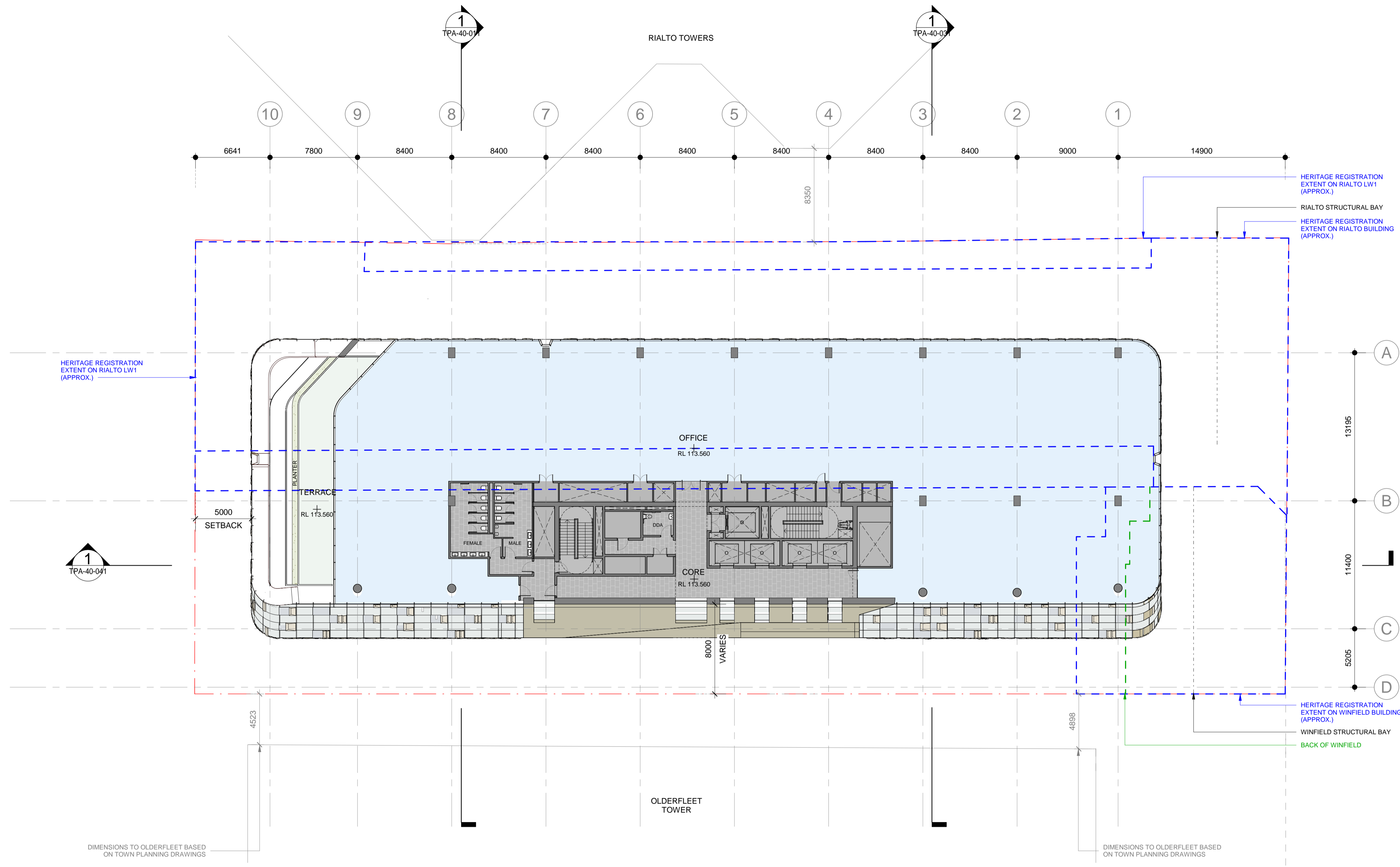
Drawing Number:
TPA-21-361

Revision:
APRIL 2023

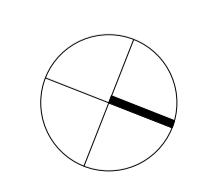
Date:
1 : 200 @ A1

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1 FLOOR PLAN - LEVEL 27
SCALE 1 : 200



Project:
495 COLLINS STREET

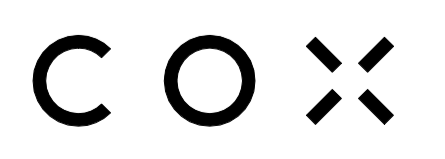
Drawing Title:
LEVEL 27 FLOOR PLAN

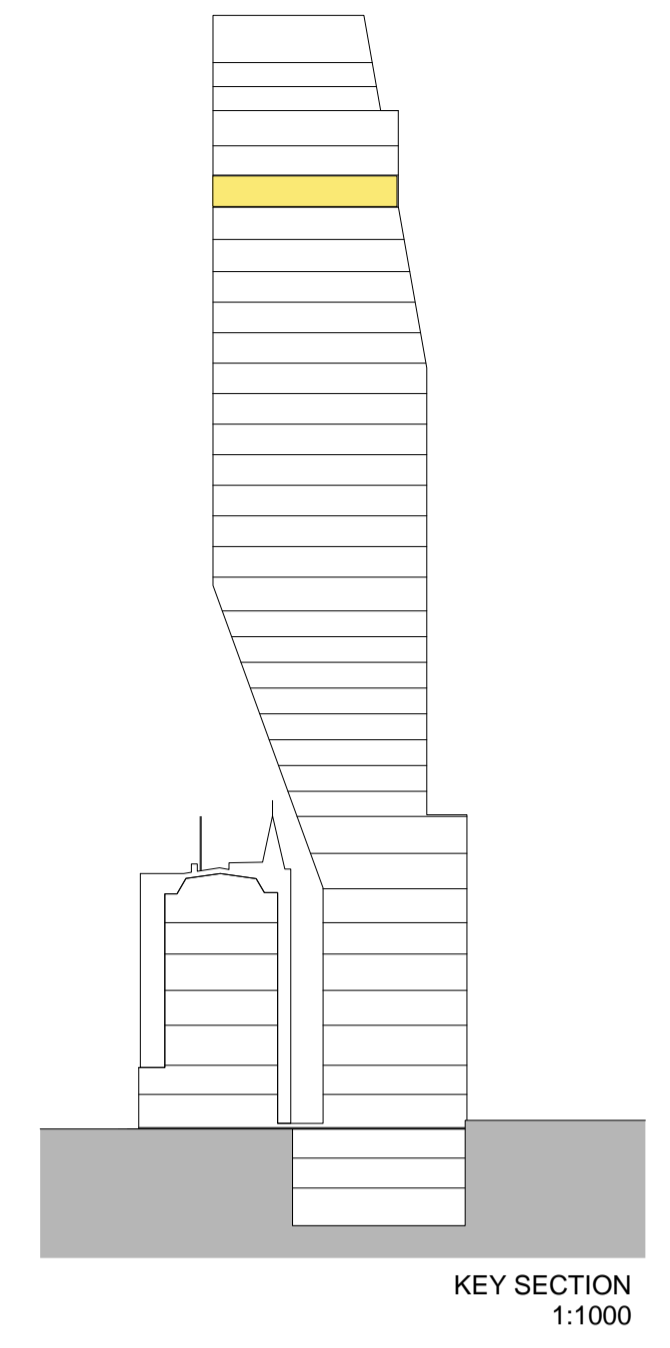
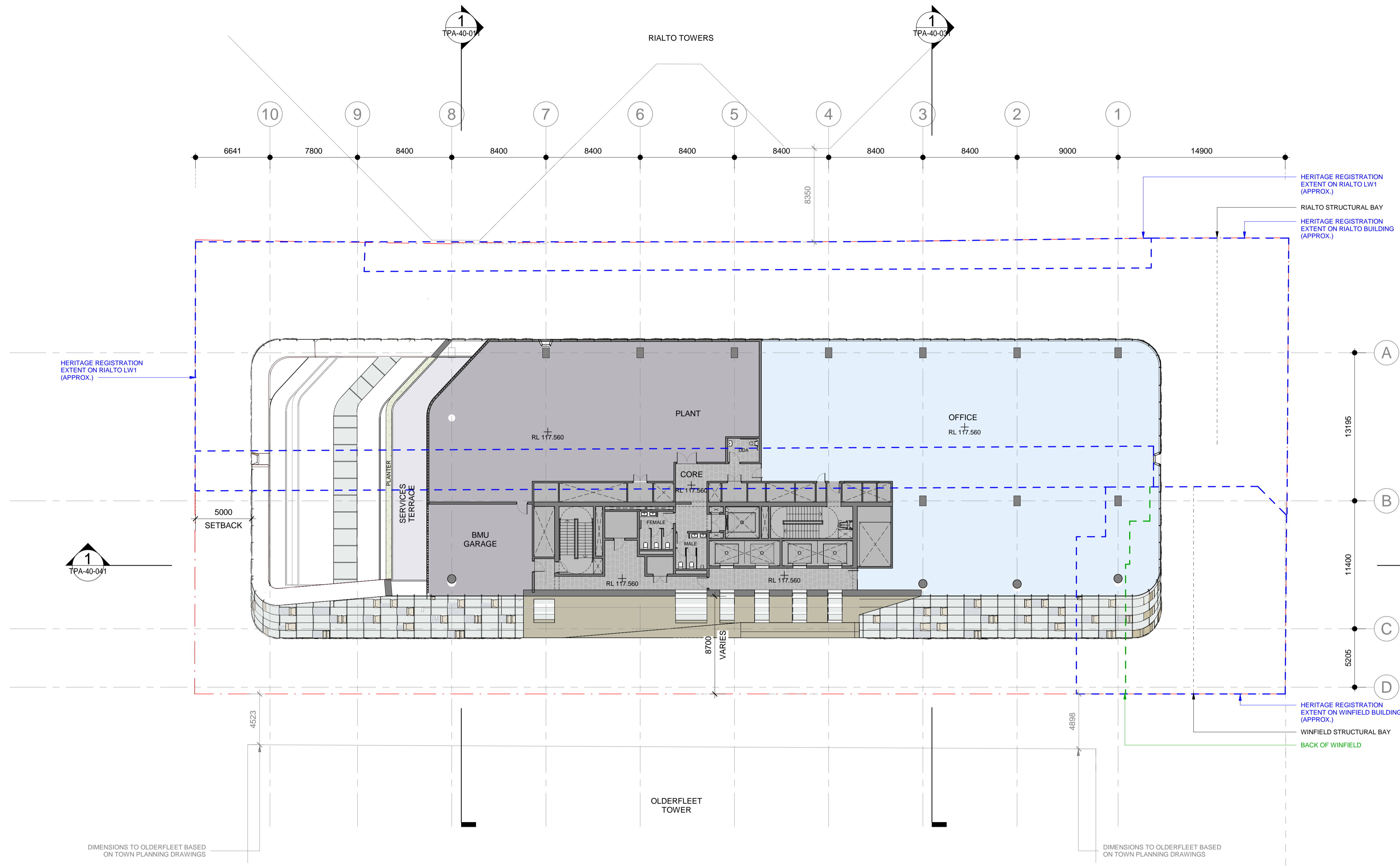
Drawing Number:
TPA-21-371

Revision:
APRIL 2023

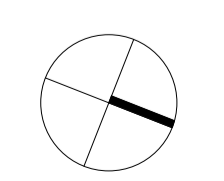
Date:
1 : 200 @ A1

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1 FLOOR PLAN - LEVEL 28
SCALE 1 : 200



Project:
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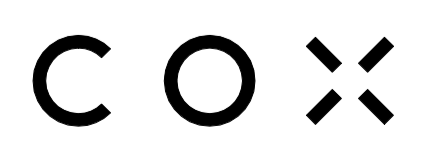
Drawing Title:
LEVEL 28 FLOOR PLAN

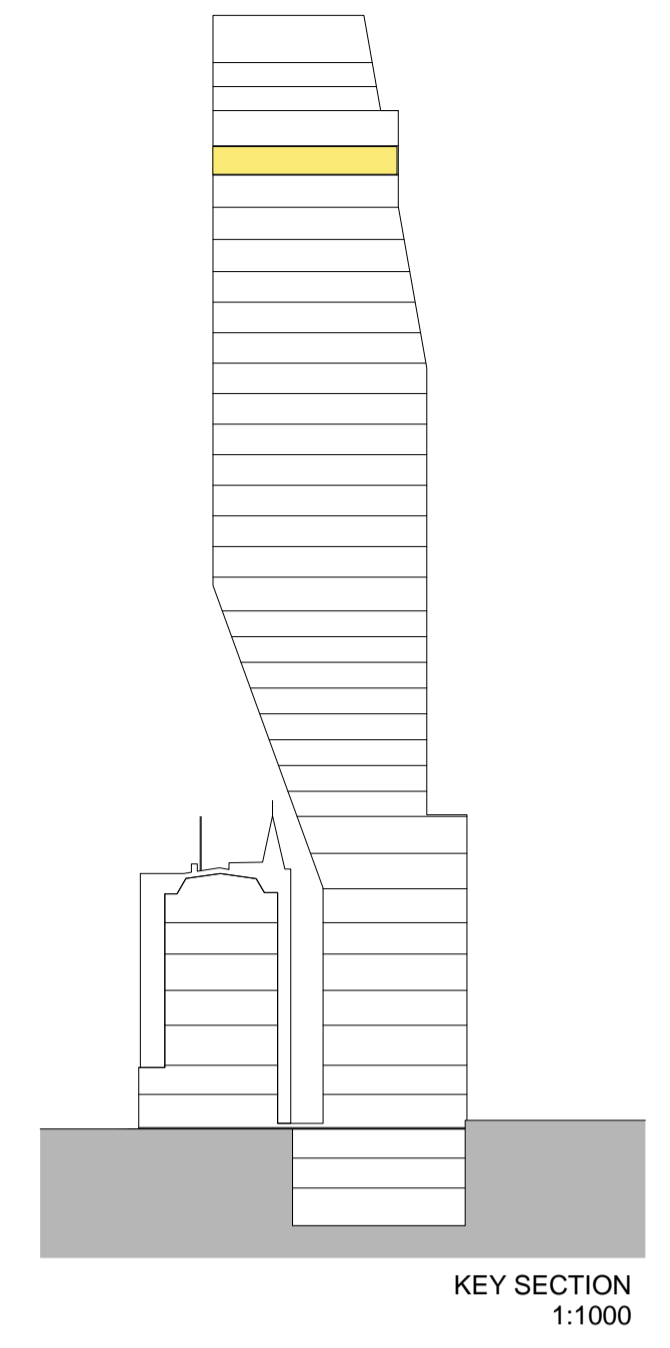
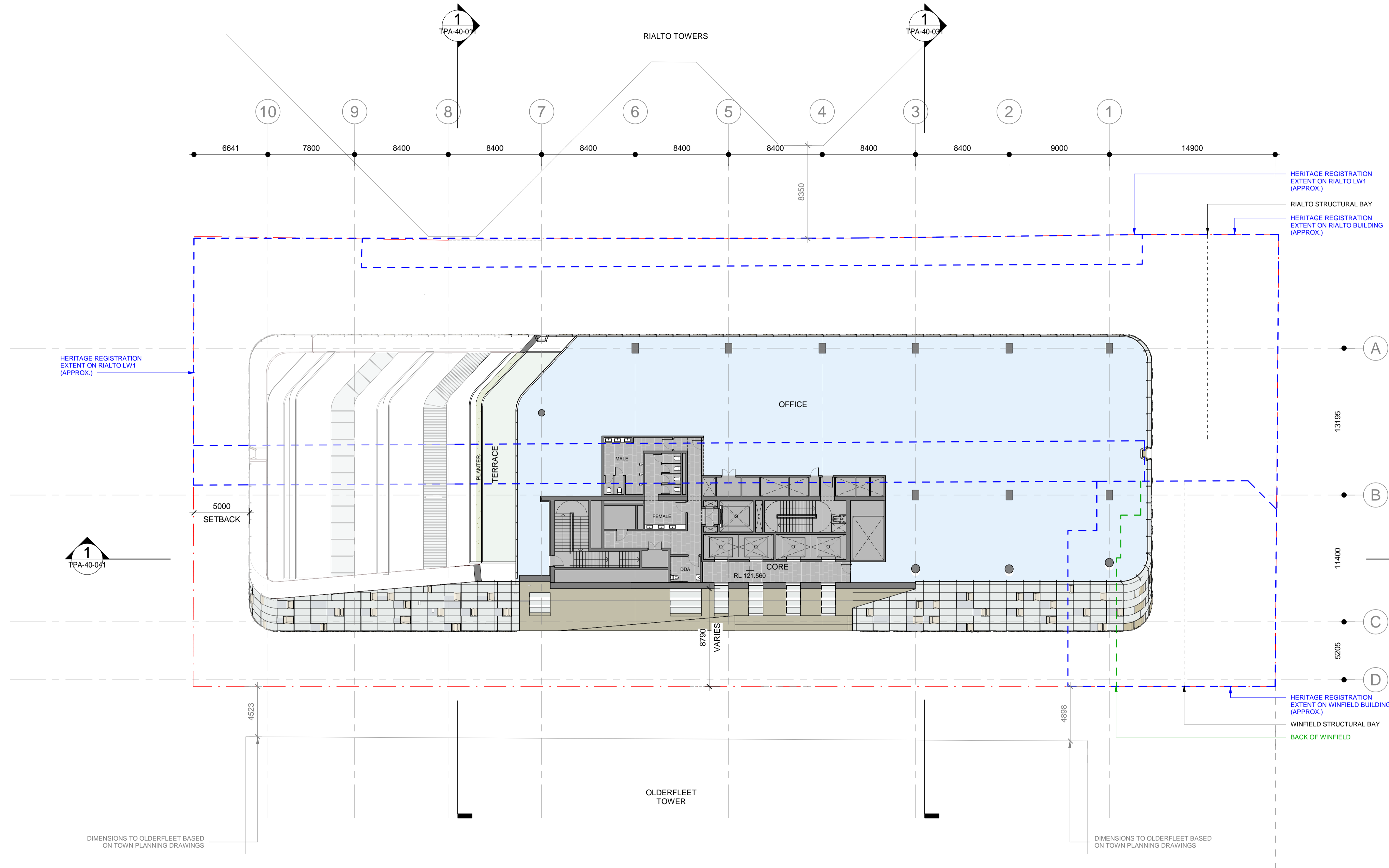
Drawing Number:
TPA-21-381

Revision: Date:
APRIL 2023

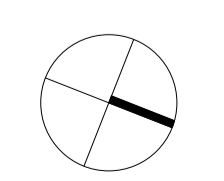
Scale:
1 : 200 @ A1

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1 FLOOR PLAN - LEVEL 29
SCALE 1 : 200



Project:
495 COLLINS STREET

Drawing Title:
LEVEL 29 FLOOR PLAN

Drawing Number:
TPA-21-391

Revision: Date:
APRIL 2023

Scale:
1 : 200 @ A1

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