

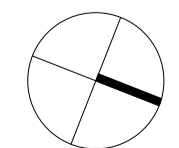
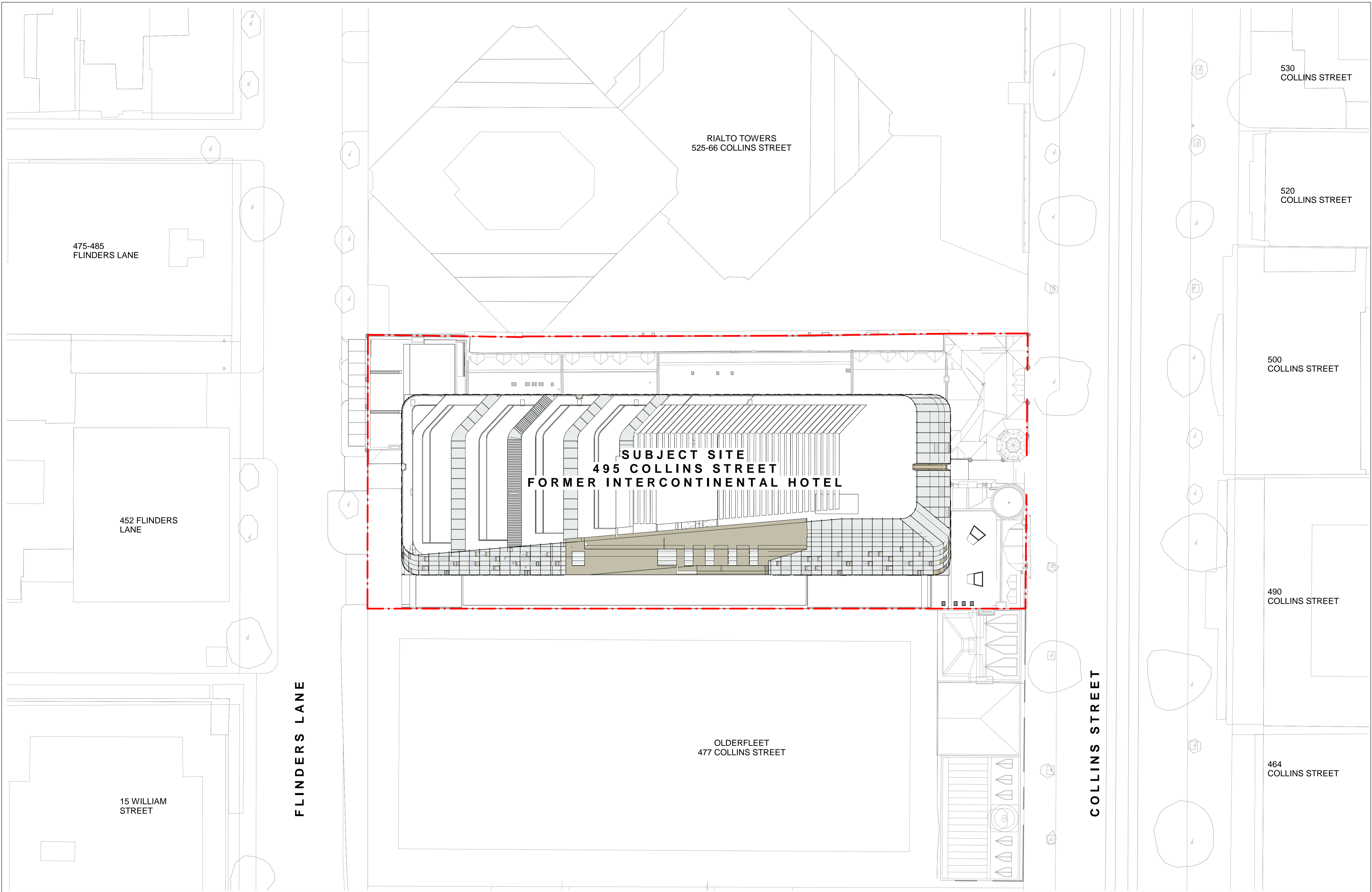
495 COLLINS STREET
TOWN PLANNING DRAWINGS
495 COLLINS STREET MELBOURNE
320031.00



DRAWING LIST - TOWN PLANNING

SHEET No.	SHEET NAME
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TP Town Planning	
TPA-01-00	COVER SHEET - DRAWING INDEX
TPA-10-011	SITE PLAN
TPA-15-091	DEMOLITION PLAN - BASEMENT LEVEL
TPA-15-101	DEMOLITION PLAN - FLINDERS LANE LEVEL
TPA-15-102	DEMOLITION PLAN - LOWER GROUND LEVEL
TPA-15-103	DEMOLITION PLAN - COLLINS ST GROUND LEVEL
TPA-15-111	DEMOLITION PLAN - LEVEL 1
TPA-15-121	DEMOLITION PLAN - LEVEL 2
TPA-15-131	DEMOLITION PLAN - LEVEL 3
TPA-15-141	DEMOLITION PLAN - LEVEL 4
TPA-15-151	DEMOLITION PLAN - LEVEL 5
TPA-15-161	DEMOLITION PLAN - ROOF
TPA-15-311	DEMOLITION ELEVATION - NORTH
TPA-15-321	DEMOLITION ELEVATION - INTERNAL WEST
TPA-15-322	DEMOLITION ELEVATION - EXTERNAL WEST
TPA-15-331	DEMOLITION ELEVATION - SOUTH
TPA-15-341	DEMOLITION ELEVATION - INTERNAL EAST
TPA-15-342	DEMOLITION ELEVATION - EXTERNAL EAST
TPA-21-071	BASEMENT 3 FLOOR PLAN
TPA-21-081	BASEMENT 2 FLOOR PLAN
TPA-21-091	BASEMENT 1 FLOOR PLAN
TPA-21-101	FLINDERS LANE FLOOR PLAN
TPA-21-102	LOWER GROUND FLOOR PLAN
TPA-21-103	COLLINS ST GROUND FLOOR PLAN
TPA-21-111	LEVEL 1 FLOOR PLAN
TPA-21-121	LEVEL 2 FLOOR PLAN
TPA-21-131	LEVEL 3 FLOOR PLAN
TPA-21-141	LEVEL 4 FLOOR PLAN
TPA-21-151	LEVEL 5 FLOOR PLAN
TPA-21-161	LEVEL 6 FLOOR PLAN
TPA-21-171	LEVEL 7 FLOOR PLAN
TPA-21-181	LEVEL 8 FLOOR PLAN
TPA-21-191	LEVEL 9 FLOOR PLAN
TPA-21-201	LEVEL 10 FLOOR PLAN
TPA-21-211	LEVEL 11 FLOOR PLAN
TPA-21-221	LEVEL 12 FLOOR PLAN
TPA-21-231	LEVEL 13 FLOOR PLAN
TPA-21-241	LEVEL 14 FLOOR PLAN
TPA-21-251	LEVEL 15 FLOOR PLAN
TPA-21-261	LEVEL 16 FLOOR PLAN
TPA-21-271	LEVEL 17-21 FLOOR PLAN
TPA-21-321	LEVEL 22 FLOOR PLAN
TPA-21-331	LEVEL 23 FLOOR PLAN
TPA-21-341	LEVEL 24 FLOOR PLAN
TPA-21-351	LEVEL 25 FLOOR PLAN
TPA-21-361	LEVEL 26 FLOOR PLAN
TPA-21-371	LEVEL 27 FLOOR PLAN
TPA-21-381	LEVEL 28 FLOOR PLAN
TPA-21-391	LEVEL 29 FLOOR PLAN
TPA-21-401	LEVEL 30 FLOOR PLAN
TPA-21-411	LEVEL 31 FLOOR PLAN
TPA-21-412	LEVEL 31M FLOOR PLAN
TPA-21-421	LEVEL 32 FLOOR PLAN
TPA-21-431	ROOF PLAN
TPA-30-011	NORTH ELEVATION
TPA-30-021	SOUTH ELEVATION
TPA-30-031	EAST ELEVATION
TPA-30-041	WEST ELEVATION
TPA-40-011	SECTION 01
TPA-40-031	SECTION 02
TPA-40-041	SECTION 04
TPA-90-011	FACADE STRATEGY - MATERIALITY
Grand total: 62	



Project:
495 COLLINS STREET

Drawing Title:
SITE PLAN

Drawing Number:
TPA-10-011

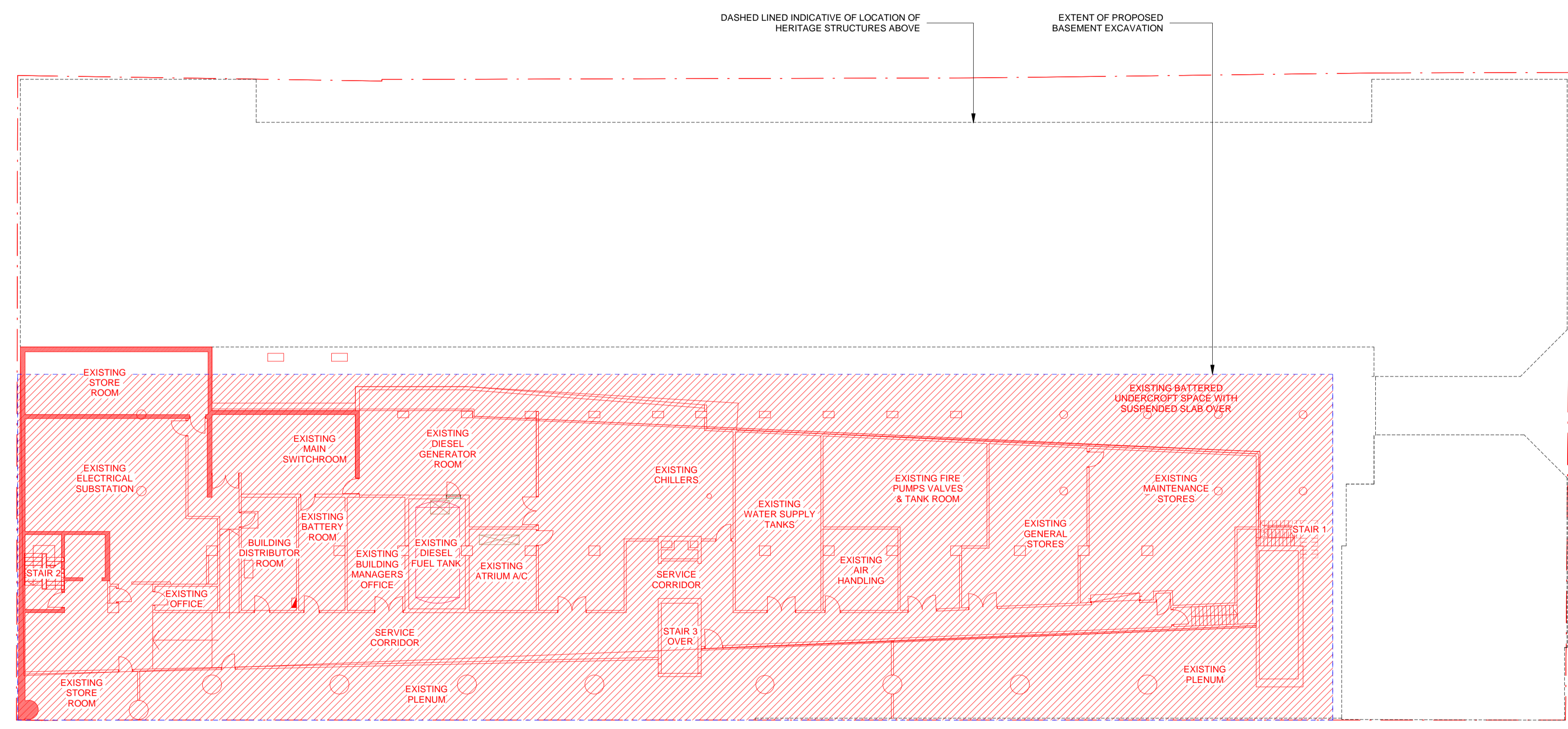
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Scale:
1 : 250 @ A1

Cox Architecture
Level 2, 167 Flinders Lane,
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T + 61 3 9650 3288
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- KEYNOTES**
- HATCHED AREA INDICATES EXISTING FLOOR TO BE REMOVED AND EXCAVATION CARRIED OUT FOR NEW LIFT PIT.
 - HATCH INDICATES SECTION OF EXISTING BALUSTRADE TO BE REMOVED FOR NEW BRIDGE. REMOVED BALUSTRADE TO BE ASSESSED FOR RESTORATION AND REINSTATEMENT IN LOCATIONS WHERE SECTIONS ARE MISSING FOLLOWING DEMOLITION OF NON-HERITAGE STRUCTURE.
 - EXISTING METAL SHEET ROOFING TO BE REMOVED AND REPLACED WITH Z600 CORRUGATED GALVANISED METAL STEEL ROOFING. ALL EXISTING MECHANICAL AND HYDRAULIC ROOF SERVICES, PENETRATIONS AND ACCESS EQUIPMENT TO BE REMOVED OR REPLACED WITH LESS INTRUSIVE EQUIPMENT.
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 - REMOVE INFILL BRICKWORK TO REINSTATE REMNANT ARCHED OPENINGS



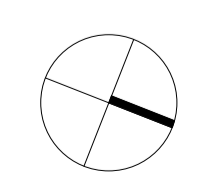
1 DEMOLITION - BASEMENT PLAN
SCALE 1 : 200

LEGEND

	TO BE RETAINED		ASSUMED HERITAGE STRUCTURE TBC (CURRENTLY CONCEALED) TO BE RETAINED		EXISTING WALLS, PARTITIONS, DOORS, AND FITTINGS TO BE RETAINED AND MADE GOOD.
	TO BE DEMOLISHED	FFL 4.500	FINISHED FLOOR LEVEL (METRES) ABOVE DATUM.		EXISTING WALLS, PARTITIONS, DOORS, CEILINGS, JOINERY AND SANITARY WARE, FIXTURES AND FITTINGS TO BE DEMOLISHED OR REMOVED SURROUNDING SURFACE TO BE MADE GOOD.
	EXTENT OF FLOOR TO BE REMOVED	+ RL 4.500	SPOT LEVEL - REDUCED LEVEL (METERS) ABOVE DATUM.		
	TO BE REMOVED AND REINSTALLED/REFURBISHED				

GENERAL NOTES

- ALL EXISTING NON-ORIGINAL, AND NON-STRUCTURAL ITEMS IN RETAINED HERITAGE LISTED BUILDINGS TO BE REMOVED, INCLUDING PARTITIONS, CEILINGS, RAISED FLOORS AND FLOOR FINISHES, FLOOR FINISHES, FIXTURES AND FITTINGS EQUIPMENT AND SERVICES.
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495 COLLINS STREET

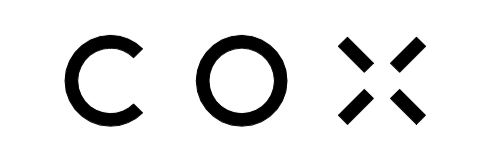
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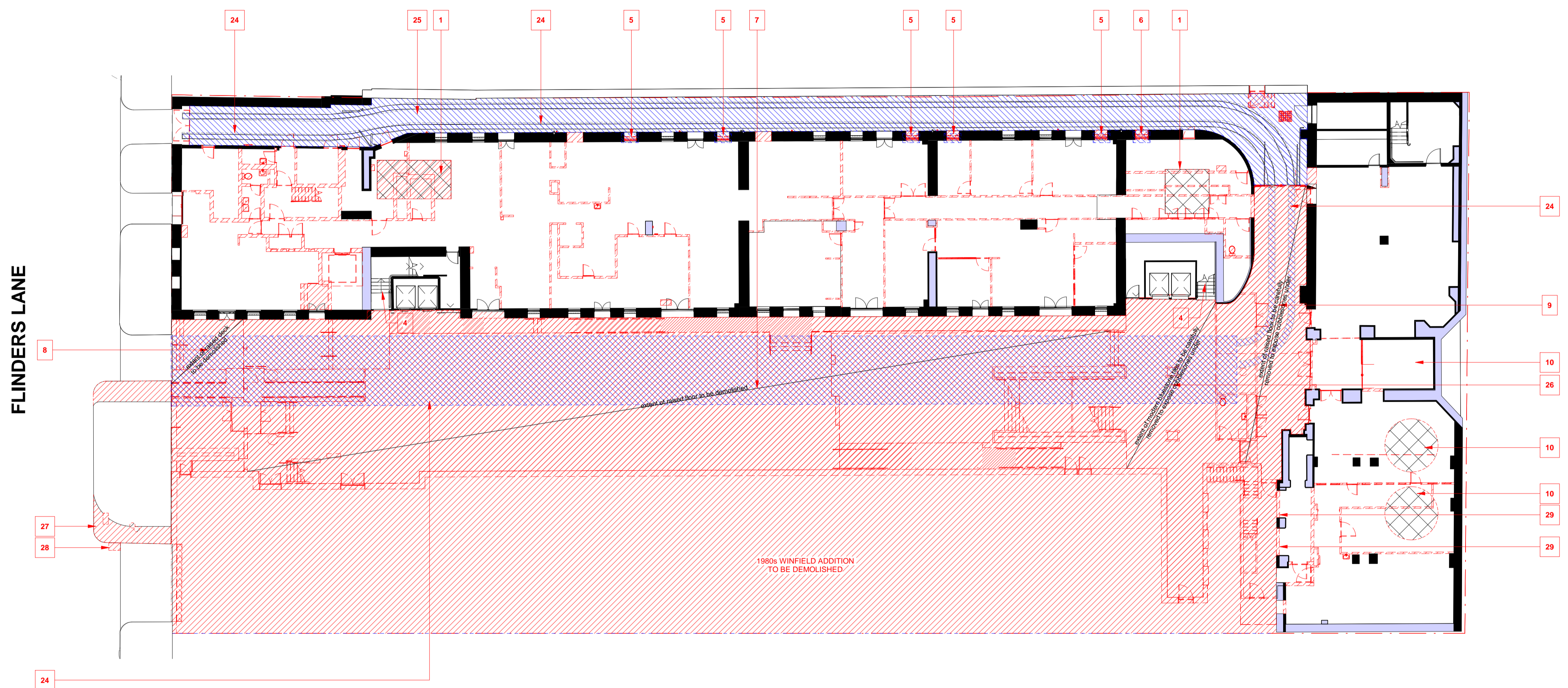
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Cox Architecture
Level 2, 167 Flinders Lane,
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T + 61 3 9650 3288
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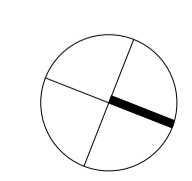
1 DEMOLITION - FLINDERS LANE PLAN
SCALE 1 : 200

LEGEND

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Project:
495 COLLINS STREET

Drawing Title:
DEMOLITION PLAN - FLINDERS LANE LEVEL

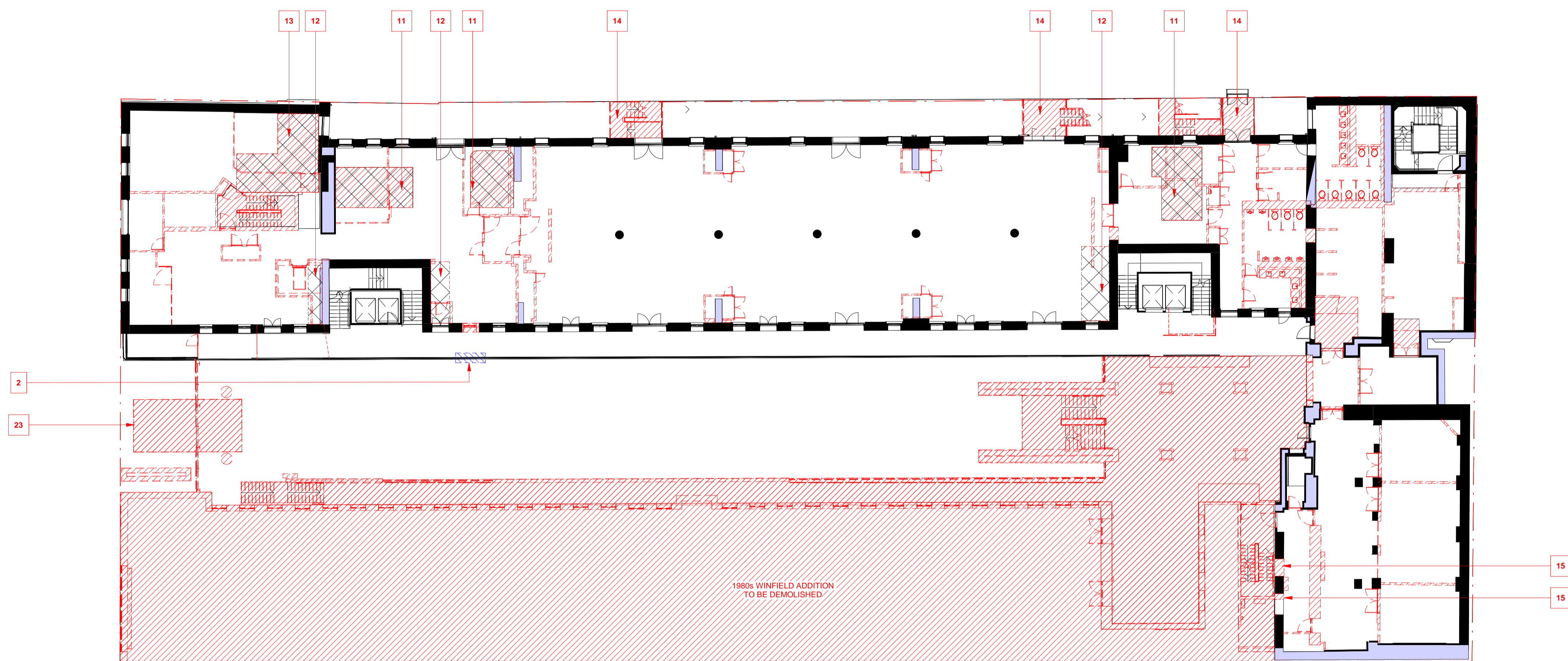
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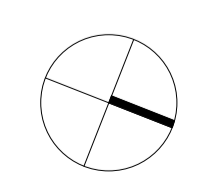
1 DEMOLITION - LOWER GROUND PLAN
SCALE 1:200

LEGEND

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Project:
495 COLLINS STREET

Drawing Title:
DEMOLITION PLAN - LOWER GROUND LEVEL

Drawing Number:
TPA-15-102

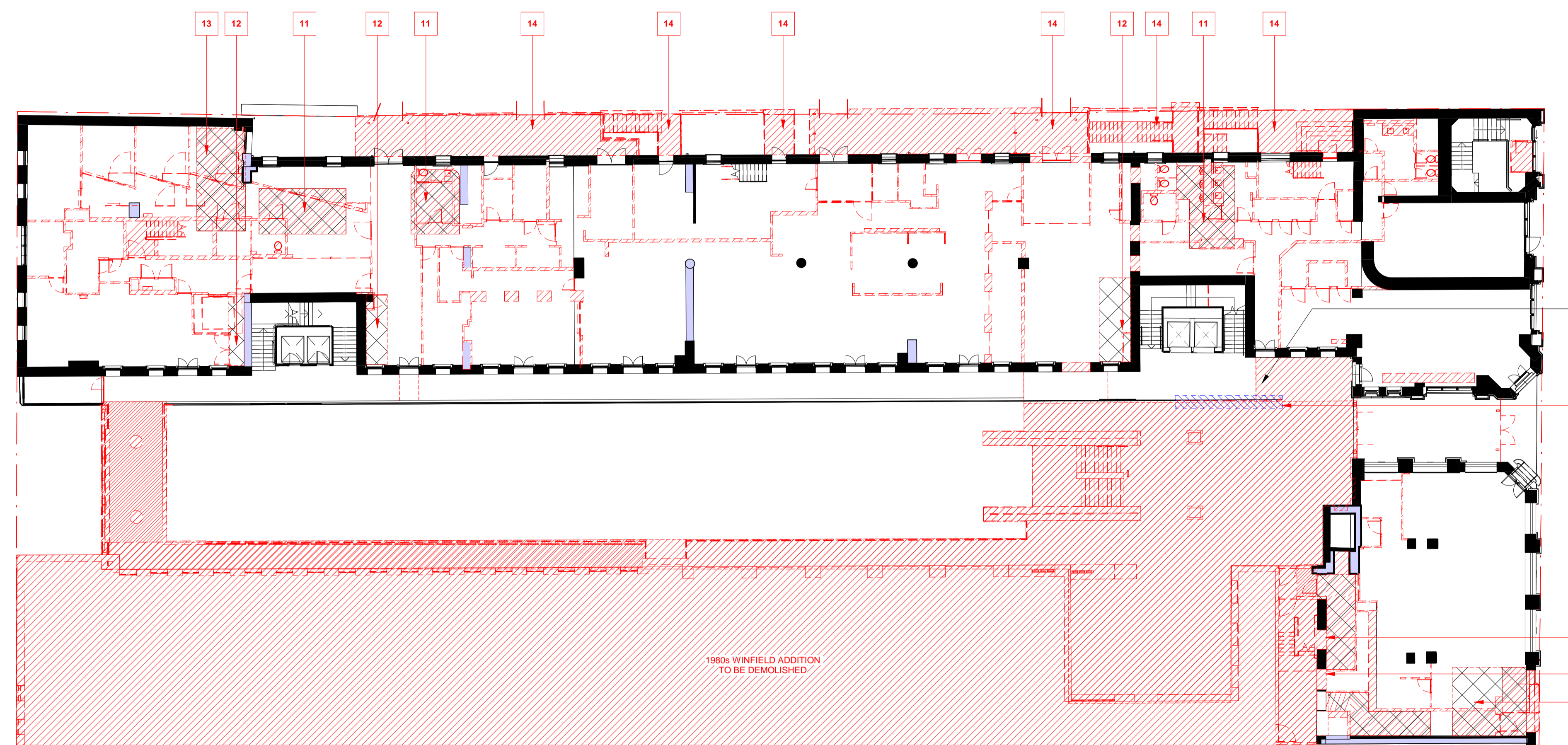
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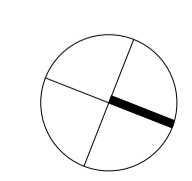
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 - HATCHED AREA INDICATES EXISTING FLOOR TO BE REMOVED FOR NEW SERVICES RISERS.
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 - CONCRETE DECKS AND STAIRS REMOVED. MAKE GOOD HERITAGE WALLS WHERE NO NEW BRIDGES ARE PROPOSED.
 - REMNANT WINDOW OPENING TO BE REINSTATED FOR NEW DOOR OPENING.
 - ATRIUM GLAZING, FRAME AND STRUCTURE TO BE REMOVED.
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 - ALL INTERNAL NON-HERITAGE, AND NON-STRUCTURAL WALLS, CEILINGS, FLOOR FINISHES, JOINERY FIXTURES, FITTINGS AND EQUIPMENT TO BE REMOVED.
 - ROOF CANOPIES TO BE REMOVED.
 - EXISTING FLOOR TO BE REMOVED TO PROVIDE DDA ACCESS FROM COLLINS ST.
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 - EXISTING SEWER PIT TO BE REMOVED AND RELOCATED. REFER TO CIVIL ENGINEER'S DRAWING FOR DETAILS.
 - REMOVE INFILL BRICKWORK TO REINSTATE REMNANT ARCHED OPENINGS.



1 DEMOLITION - COLLINS ST PLAN
SCALE 1 : 200

LEGEND	
	TO BE RETAINED
	TO BE DEMOLISHED
	EXTENT OF FLOOR TO BE REMOVED
	TO BE REMOVED AND REINSTALLED/REFURBISHED
	ASSUMED HERITAGE STRUCTURE TBC (CURRENTLY CONCEALED) TO BE RETAINED
FFL 4.500	FINISHED FLOOR LEVEL (METRES) ABOVE DATUM.
+ RL 4.500	SPOT LEVEL - REDUCED LEVEL (METERS) ABOVE DATUM.
	EXISTING WALLS, PARTITIONS, DOORS, AND FITTINGS TO BE RETAINED AND MADE GOOD.
	EXISTING WALLS, PARTITIONS, DOORS, CEILINGS, JOINERY AND SANITARY WARE, FIXTURES AND FITTINGS TO BE DEMOLISHED OR REMOVED SURROUNDING SURFACE TO BE MADE GOOD.

- GENERAL NOTES**
- ALL EXISTING NON-ORIGINAL, AND NON-STRUCTURAL ITEMS IN RETAINED HERITAGE LISTED BUILDINGS TO BE REMOVED, INCLUDING PARTITIONS, CEILINGS, RAISED FLOORS AND FLOOR FINISHES, FLOOR FINISHES, FIXTURES AND FITTINGS EQUIPMENT AND SERVICES.
 - REFER TO THE CONSERVATION MANAGEMENT PLAN FOR DETAILS OF HERITAGE CONSERVATION WORKS.
 - REFER TO HERITAGE CONSULTANTS DRAWINGS FOR DETAILS OF HERITAGE RESTORATION WORKS.
 - PENETRATIONS AND INTERVENTIONS FOR BUILDING SERVICES TBC.
 - THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE FLOOR PLANS, ELEVATIONS AND ALL DESIGN DRAWINGS.
 - ALL REMOVED MATERIALS TO BE ASSESSED FOR HERITAGE VALUE AND RECYCLABILITY AND DIRECTED TO APPROPRIATE RECOVERY STREAMS WHERE POSSIBLE TO MAXIMISE RESOURCE VALUE AND MINIMISE LANDFILL.
 - ANY INDICATION OF EXTENT OF EXISTING BLUESTONE COBBLESTONES UNDER RAISED FLOORS AND FINISHES IS ESTIMATED ONLY. TRUE EXTENT TO BE CONFIRMED DURING DEMOLITION.



Project:
495 COLLINS STREET

Drawing Title:
DEMOLITION PLAN - COLLINS ST GROUND LEVEL

Drawing Number:
TPA-15-103

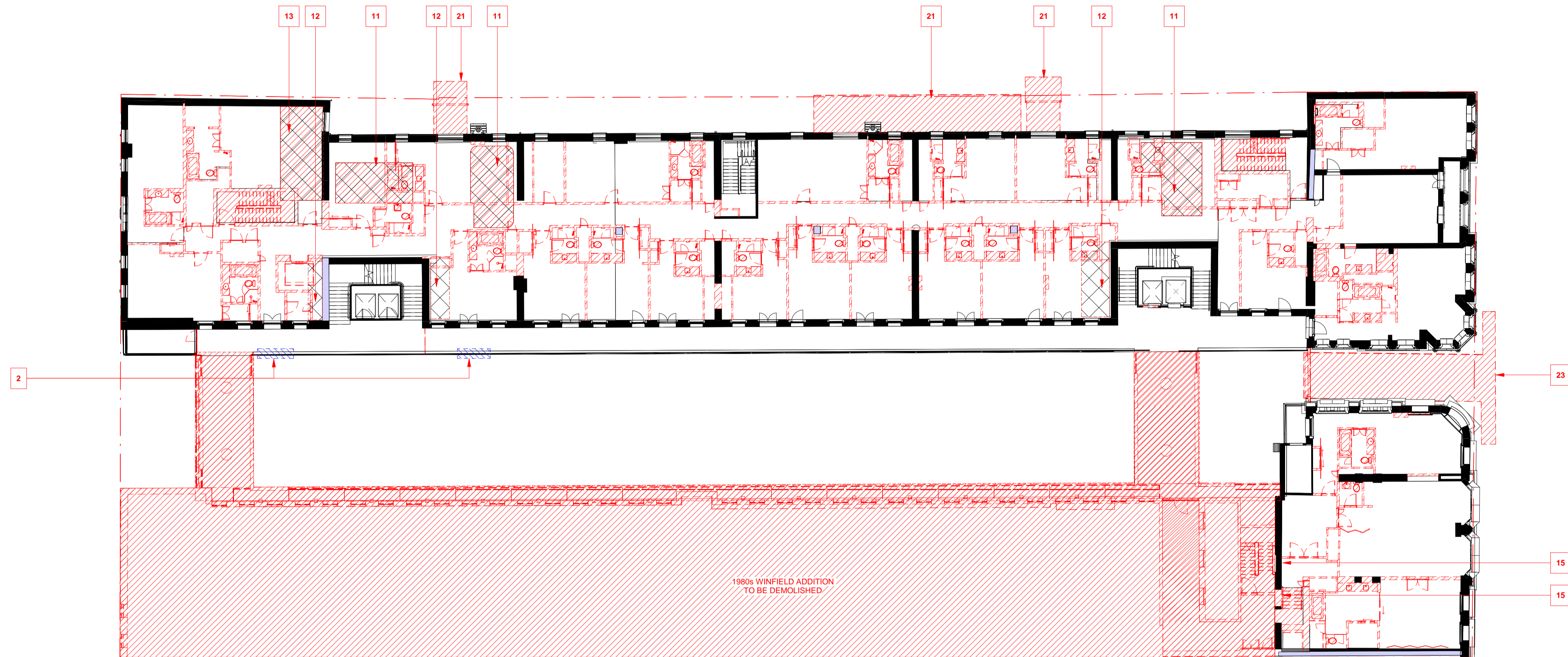
Revision:

Date:
APRIL 2023

Scale:
1:200 @ A1

Cox Architecture
Level 2, 167 Flinders Lane,
Melbourne, VIC 3000, Australia
T + 61 3 9650 3288
F + 61 3 9650 2747
www.coxarchitecture.com.au





- KEYNOTES**
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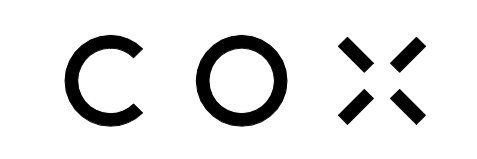
1 DEMOLITION - LEVEL 1 PLAN
SCALE 1 : 200

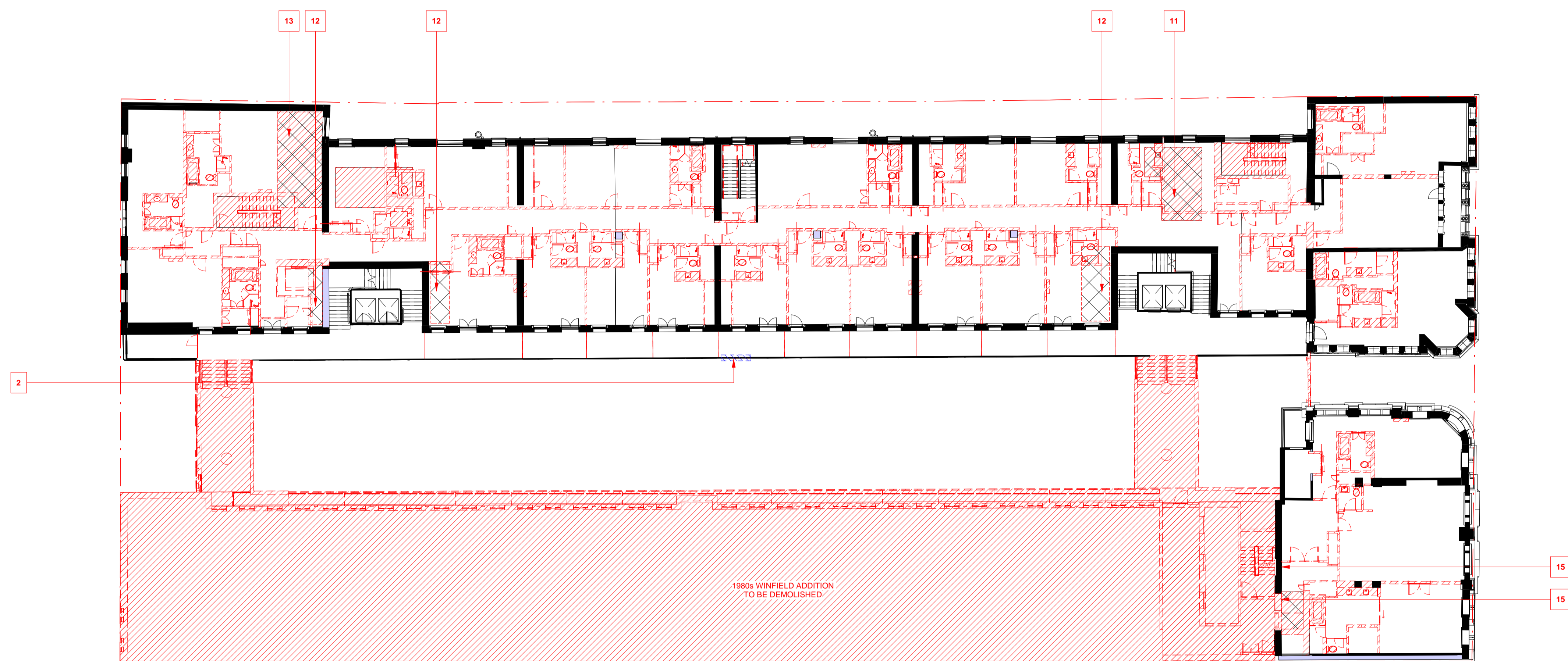
LEGEND

	TO BE RETAINED		ASSUMED HERITAGE STRUCTURE TBC (CURRENTLY CONCEALED) TO BE RETAINED		EXISTING WALLS, PARTITIONS, DOORS, AND FITTINGS TO BE RETAINED AND MADE GOOD.
	TO BE DEMOLISHED	FFL 4.500	FINISHED FLOOR LEVEL (METRES) ABOVE DATUM.		EXISTING WALLS, PARTITIONS, DOORS, CEILINGS, JOINERY AND SANITARY WARE, FIXTURES AND FITTINGS TO BE DEMOLISHED OR REMOVED SURROUNDING SURFACE TO BE MADE GOOD.
	EXTENT OF FLOOR TO BE REMOVED	+ RL 4.500	SPOT LEVEL - REDUCED LEVEL (METERS) ABOVE DATUM.		
	TO BE REMOVED AND REINSTALLED/REFURBISHED				

GENERAL NOTES

- ALL EXISTING NON-ORIGINAL, AND NON-STRUCTURAL ITEMS IN RETAINED HERITAGE LISTED BUILDINGS TO BE REMOVED, INCLUDING PARTITIONS, CEILINGS, RAISED FLOORS AND FLOOR FINISHES, FLOOR FINISHES, FIXTURES AND FITTINGS EQUIPMENT AND SERVICES.
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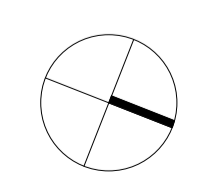


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1 DEMOLITION - LEVEL 2 PLAN
SCALE 1 : 200

LEGEND	
	TO BE RETAINED
	TO BE DEMOLISHED
	EXTENT OF FLOOR TO BE REMOVED
	TO BE REMOVED AND REINSTALLED/REFURBISHED
	ASSUMED HERITAGE STRUCTURE TBC (CURRENTLY CONCEALED) TO BE RETAINED
FFL 4.500	FINISHED FLOOR LEVEL (METRES) ABOVE DATUM.
+ RL 4.500	SPOT LEVEL - REDUCED LEVEL (METERS) ABOVE DATUM.
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Project:
495 COLLINS STREET

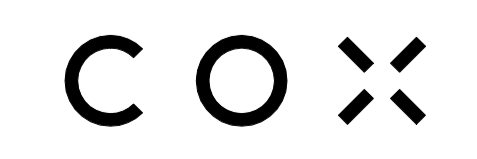
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Drawing Number:
TPA-15-121

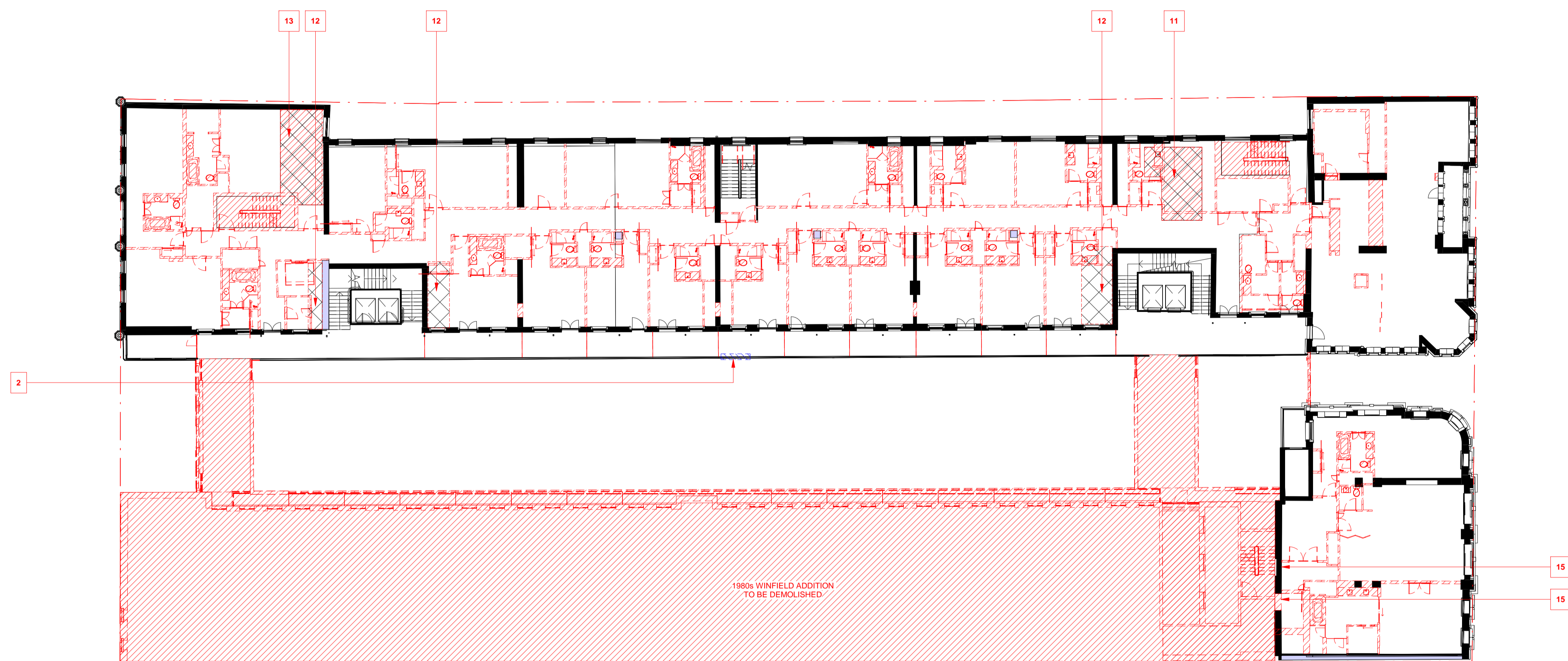
Revision:
APRIL 2023

Date:
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Cox Architecture
Level 2, 167 Flinders Lane,
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T + 61 3 9650 3288
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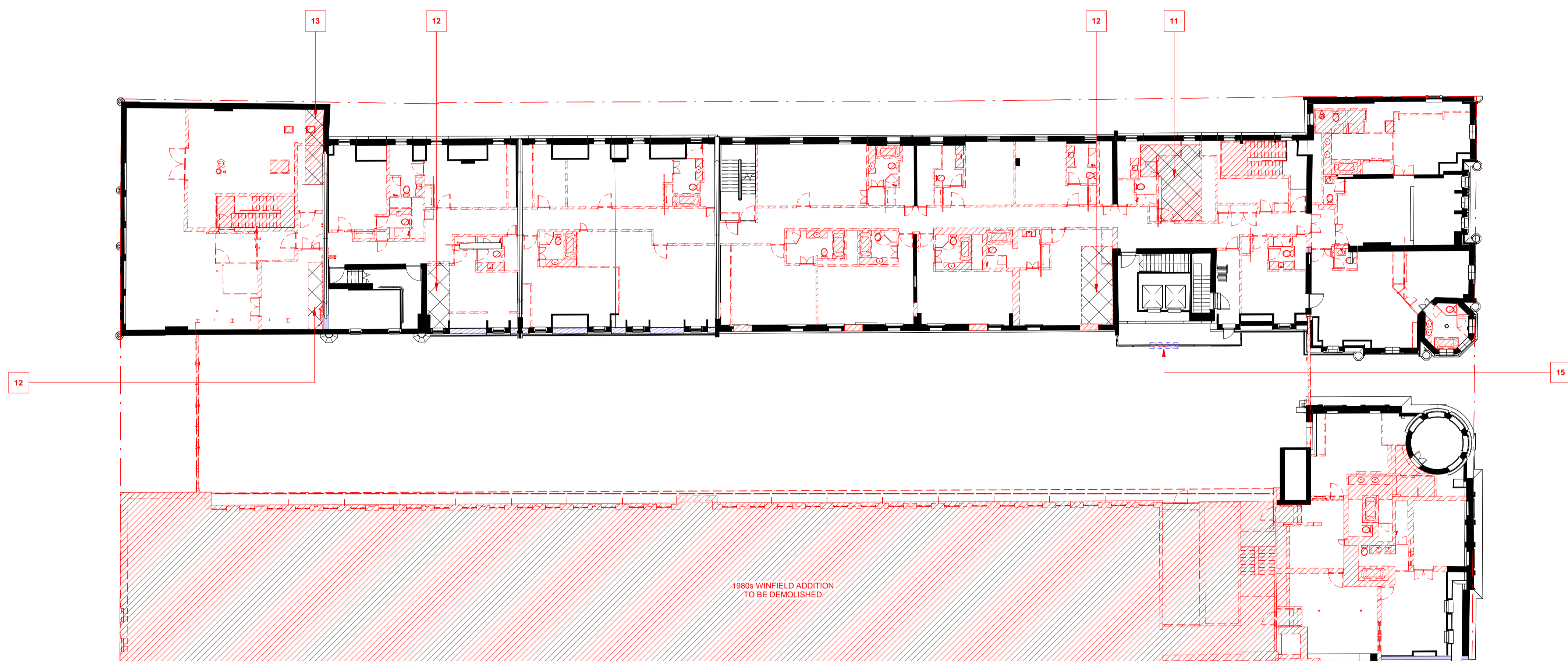


1 DEMOLITION - LEVEL 3 PLAN
SCALE 1 : 200

LEGEND	
	TO BE RETAINED
	TO BE DEMOLISHED
	EXTENT OF FLOOR TO BE REMOVED
	TO BE REMOVED AND REINSTALLED/REFURBISHED
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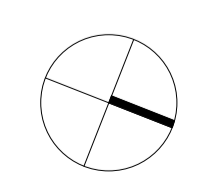
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 - NON-HERITAGE ROOFS, WALLS AND EQUIPMENT TO BE REMOVED FROM LEVEL 4 OF THE WINFIELD BUILDING.
 - NON-HERITAGE ROOFS, WALLS AND EQUIPMENT TO BE REMOVED FROM LEVEL 4 OF THE RIALTO SOUTHERN ROOF TERRACE.
 - SMOKE EXHAUST EQUIPMENT AND ASSOCIATED STRUCTURE TO BE REMOVED FROM THE ROOF OF THE RIALTO.
 - ALL INTERNAL NON-HERITAGE, AND NON-STRUCTURAL WALLS, CEILINGS, FLOOR FINISHES, JOINERY FIXTURES, FITTINGS AND EQUIPMENT TO BE REMOVED.
 - ROOF CANOPIES TO BE REMOVED.
 - EXISTING FLOOR TO BE REMOVED TO PROVIDE DDA ACCESS FROM COLLINS ST.
 - EXTERNAL CANOPY STRUCTURE TO BE REMOVED.
 - BLUESTONE COBBLESTONES TO BE REMOVED, RESTORED, AND RE-CONSTRUCTED IN PLACE TO ADJUSTED LEVELS TO COMPLY WITH DDA REQUIREMENTS FOR PUBLIC ACCESS. EXTENT OF HERITAGE COBBLESTONES TO IN WINFIELD SQUARE REINSTALLED DURING PREVIOUS DEVELOPMENT ON SUSPENDED SLAB OVER EXISTING BASEMENT TO BE CONFIRMED FOLLOWING REMOVAL OF EXISTING RAISED FLOOR. NEW PAVING TO ADJOIN EXISTING. (REFER ALSO TO POINTS 7, 8 AND 9).
 - EXISTING GATIC ACCESS HATCH TO BE REMOVED AND REPLACED WITH NEW BLUESTONE COBBLESTONE INLAY GATIC.
 - BLUESTONE PAVING TO BE REMOVED. EXPECTED TO REVEAL HERITAGE BLUESTONE COBBLES UNDER.
 - LERB AND FOOTPATH TO BE REALIGNED TO ALLOW FOR REVISED CROSSOVER.
 - EXISTING SEWER PIT TO BE REMOVED AND RELOCATED. REFER TO CIVIL ENGINEER'S DRAWING FOR DETAILS.
 - REMOVE INFILL BRICKWORK TO REINSTATE REMNANT ARCHED OPENINGS.



1 DEMOLITION - LEVEL 4 PLAN
SCALE 1 : 200

LEGEND	
	TO BE RETAINED
	TO BE DEMOLISHED
	EXTENT OF FLOOR TO BE REMOVED
	TO BE REMOVED AND REINSTALLED/REFURBISHED
	ASSUMED HERITAGE STRUCTURE TBC (CURRENTLY CONCEALED) TO BE RETAINED
FFL 4.500	FINISHED FLOOR LEVEL (METRES) ABOVE DATUM.
+ RL 4.500	SPOT LEVEL - REDUCED LEVEL (METERS) ABOVE DATUM.
	EXISTING WALLS, PARTITIONS, DOORS, AND FITTINGS TO BE RETAINED AND MADE GOOD.
	EXISTING WALLS, PARTITIONS, DOORS, CEILINGS, JOINERY AND SANITARY WARE, FIXTURES AND FITTINGS TO BE DEMOLISHED OR REMOVED SURROUNDING SURFACE TO BE MADE GOOD.

- GENERAL NOTES**
- ALL EXISTING NON-ORIGINAL, AND NON-STRUCTURAL ITEMS IN RETAINED HERITAGE LISTED BUILDINGS TO BE REMOVED, INCLUDING PARTITIONS, CEILINGS, RAISED FLOORS AND FLOOR FINISHES, FLOOR FINISHES, FIXTURES AND FITTINGS EQUIPMENT AND SERVICES.
 - REFER TO THE CONSERVATION MANAGEMENT PLAN FOR DETAILS OF HERITAGE CONSERVATION WORKS.
 - REFER TO HERITAGE CONSULTANTS DRAWINGS FOR DETAILS OF HERITAGE RESTORATION WORKS.
 - PENETRATIONS AND INTERVENTIONS FOR BUILDING SERVICES TBC.
 - THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE FLOOR PLANS, ELEVATIONS AND ALL DESIGN DRAWINGS.
 - ALL REMOVED MATERIALS TO BE ASSESSED FOR HERITAGE VALUE AND RECYCLABILITY AND DIRECTED TO APPROPRIATE RECOVERY STREAMS WHERE POSSIBLE TO MAXIMISE RESOURCE VALUE AND MINIMISE LANDFILL.
 - ANY INDICATION OF EXTENT OF EXISTING BLUESTONE COBBLESTONES UNDER RAISED FLOORS AND FINISHES IS ESTIMATED ONLY. TRUE EXTENT TO BE CONFIRMED DURING DEMOLITION.



Project:
495 COLLINS STREET

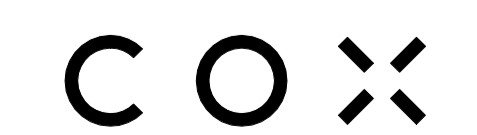
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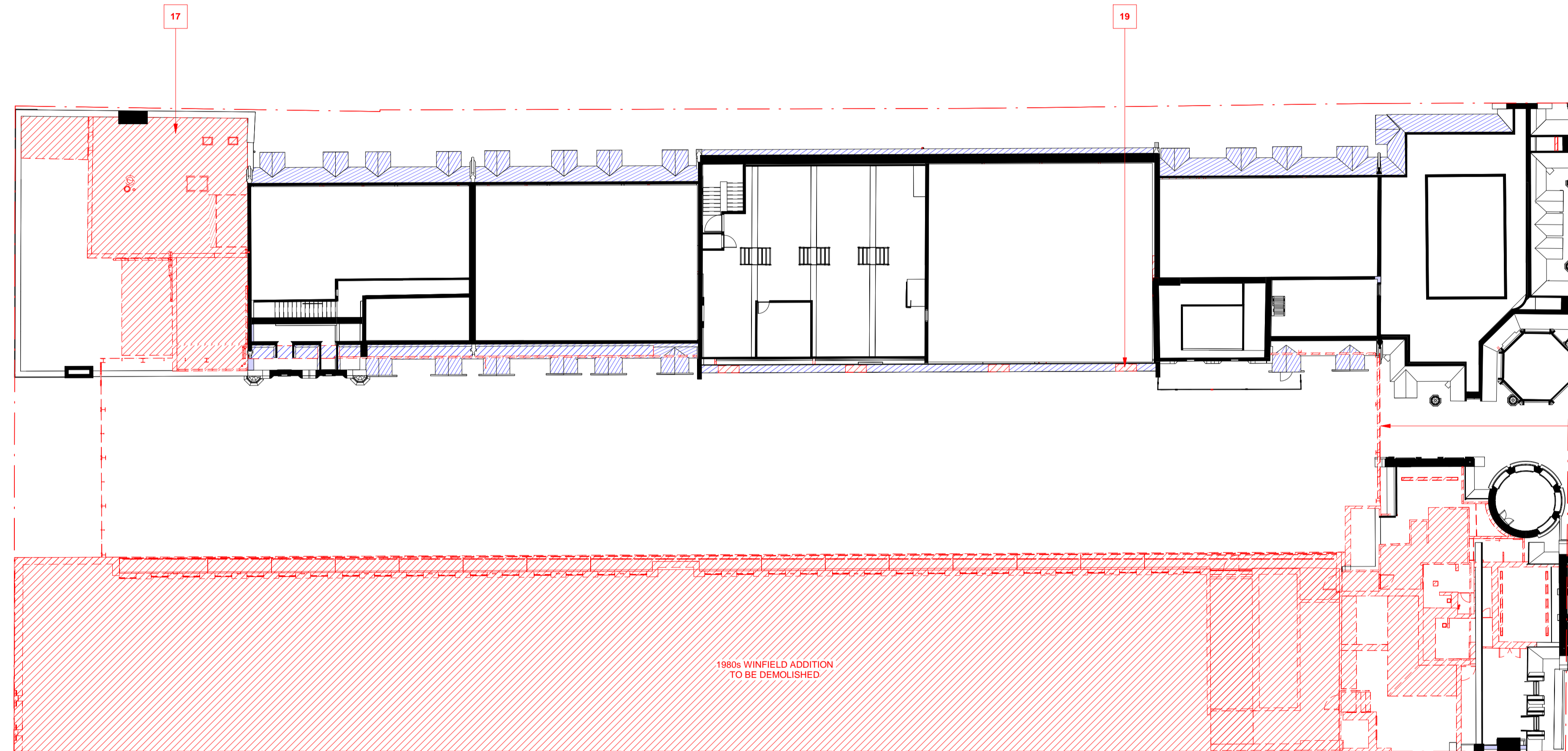
Drawing Number:
TPA-15-141

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APRIL 2023

Date:
1:200 @ A1

Cox Architecture
Level 2, 167 Flinders Lane,
Melbourne, VIC 3000, Australia
T + 61 3 9650 3288
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- KEYNOTES**
- HATCHED AREA INDICATES EXISTING FLOOR TO BE REMOVED AND EXCAVATION CARRIED OUT FOR NEW LIFT PIT.
 - HATCH INDICATES SECTION OF EXISTING BALUSTRADE TO BE REMOVED FOR NEW BRIDGE. REMOVED BALUSTRADE TO BE ASSESSED FOR RESTORATION AND REINSTATEMENT IN LOCATIONS WHERE SECTIONS ARE MISSING FOLLOWING DEMOLITION OF NON-HERITAGE STRUCTURE.
 - EXISTING METAL SHEET ROOFING TO BE REMOVED AND REPLACED WITH Z600 CORRUGATED GALVANISED METAL STEEL ROOFING. ALL EXISTING MECHANICAL AND HYDRAULIC ROOF SERVICES, PENETRATIONS AND ACCESS EQUIPMENT TO BE REMOVED OR REPLACED WITH LESS INTRUSIVE EQUIPMENT.
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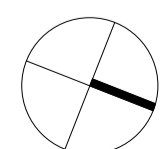
1 DEMOLITION - LEVEL 5 PLAN
SCALE 1 : 200

LEGEND

	TO BE RETAINED		ASSUMED HERITAGE STRUCTURE TBC (CURRENTLY CONCEALED) TO BE RETAINED		EXISTING WALLS, PARTITIONS, DOORS, AND FITTINGS TO BE RETAINED AND MADE GOOD.
	TO BE DEMOLISHED	FFL 4.500	FINISHED FLOOR LEVEL (METRES) ABOVE DATUM.		EXISTING WALLS, PARTITIONS, DOORS, CEILINGS, JOINERY AND SANITARY WARE, FIXTURES AND FITTINGS TO BE DEMOLISHED OR REMOVED SURROUNDING SURFACE TO BE MADE GOOD.
	EXTENT OF FLOOR TO BE REMOVED	+ RL 4.500	SPOT LEVEL - REDUCED LEVEL (METERS) ABOVE DATUM.		
	TO BE REMOVED AND REINSTALLED/REFURBISHED				

GENERAL NOTES

- ALL EXISTING NON-ORIGINAL AND NON-STRUCTURAL ITEMS IN RETAINED HERITAGE LISTED BUILDINGS TO BE REMOVED, INCLUDING PARTITIONS, CEILINGS, RAISED FLOORS AND FLOOR FINISHES, FLOOR FINISHES, FIXTURES AND FITTINGS EQUIPMENT AND SERVICES.
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Project:
495 COLLINS STREET

Drawing Title:
DEMOLITION PLAN - LEVEL 5

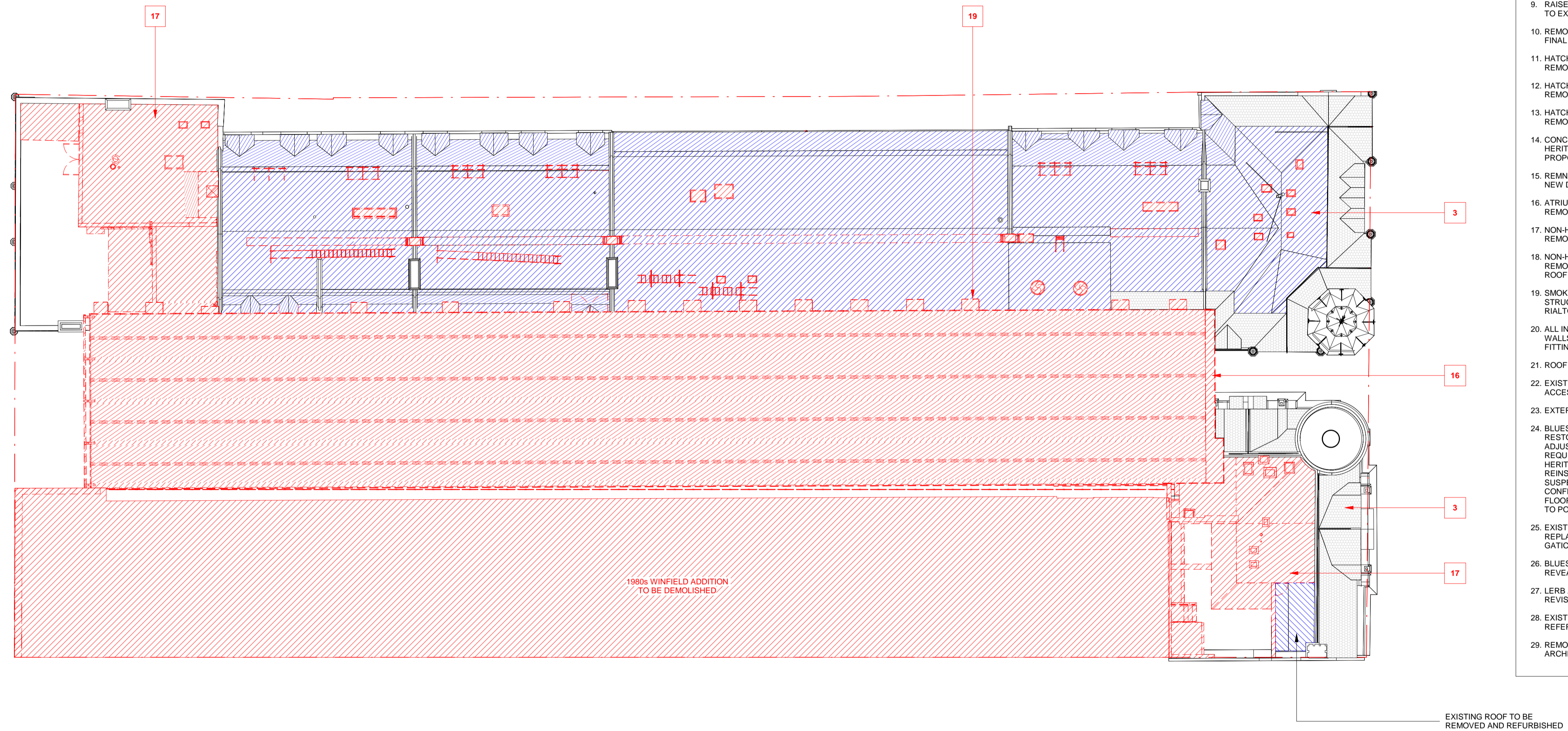
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Cox Architecture
Level 2, 167 Flinders Lane,
Melbourne, VIC 3000, Australia
T + 61 3 9650 3288
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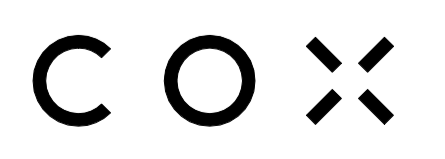
1 DEMOLITION - ROOF PLAN
SCALE 1 : 200

LEGEND

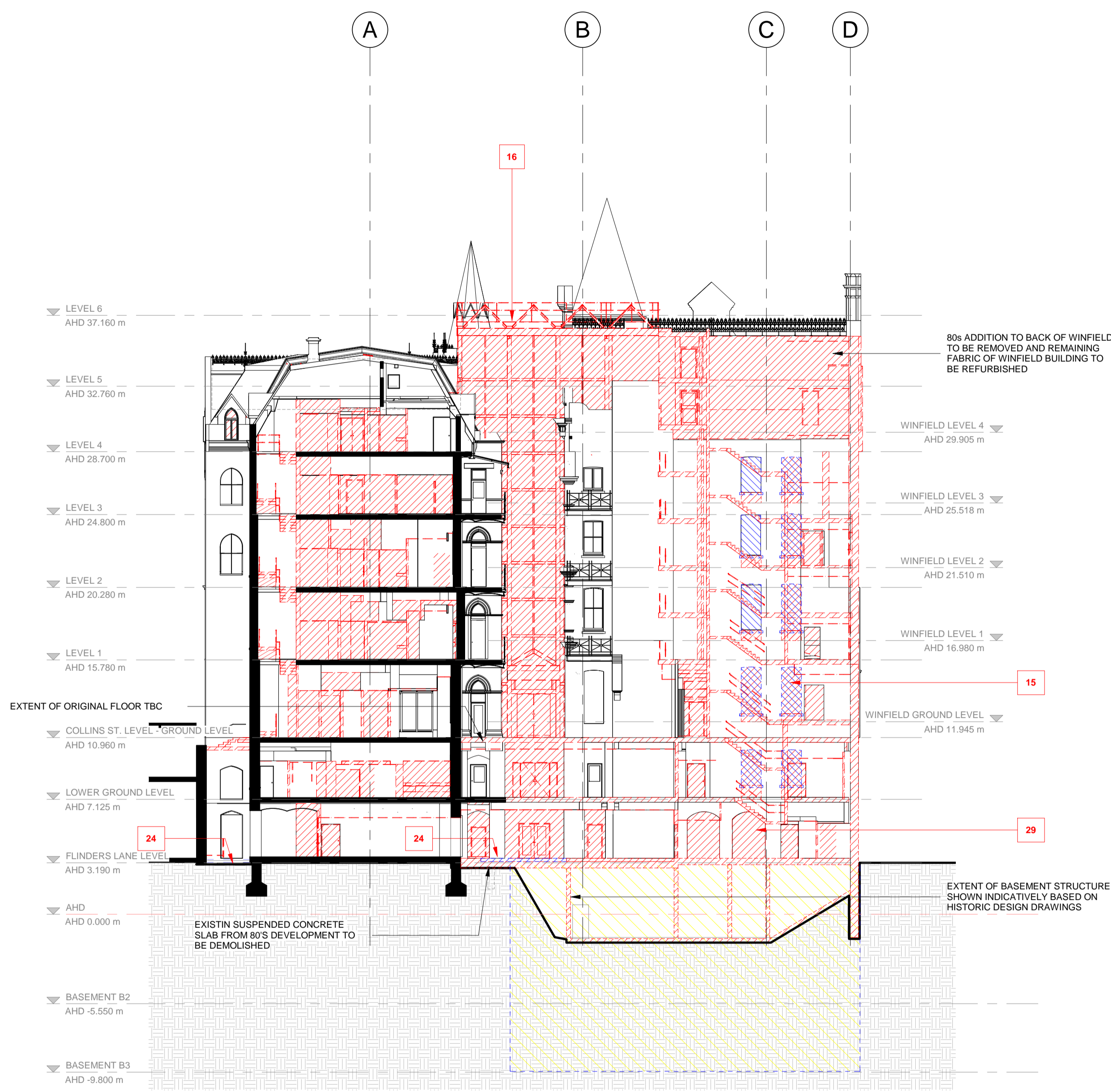
	TO BE RETAINED		ASSUMED HERITAGE STRUCTURE TBC (CURRENTLY CONCEALED) TO BE RETAINED		EXISTING WALLS, PARTITIONS, DOORS, AND FITTINGS TO BE RETAINED AND MADE GOOD.
	TO BE DEMOLISHED	FFL 4.500	FINISHED FLOOR LEVEL (METRES) ABOVE DATUM.		EXISTING WALLS, PARTITIONS, DOORS, CEILINGS, JOINERY AND SANITARY WARE, FIXTURES AND FITTINGS TO BE DEMOLISHED OR REMOVED SURROUNDING SURFACE TO BE MADE GOOD.
	EXTENT OF FLOOR TO BE REMOVED	+ RL 4.500	SPOT LEVEL - REDUCED LEVEL (METERS) ABOVE DATUM.		
	TO BE REMOVED AND REINSTALLED/REFURBISHED				

GENERAL NOTES

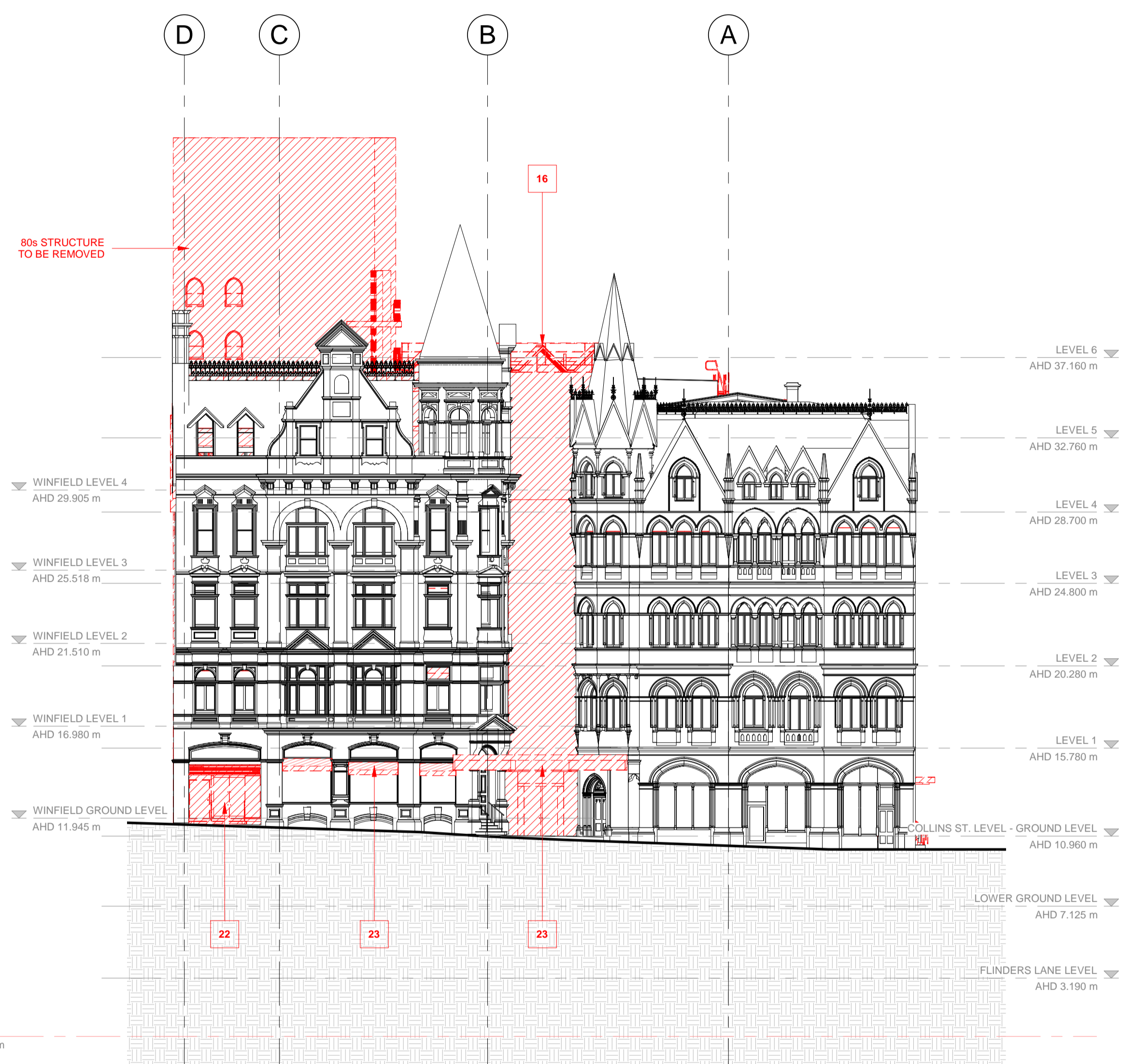
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1 DEMOLITION - INTERNAL NORTH SECTION
SCALE 1 : 200

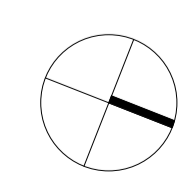


2 DEMOLITION - EXTERNAL NORTH ELEVATION
SCALE 1 : 200

LEGEND

	TO BE RETAINED		ASSUMED HERITAGE STRUCTURE TBC (CURRENTLY CONCEALED) TO BE RETAINED		EXISTING WALLS, PARTITIONS, DOORS, AND FITTINGS TO BE RETAINED AND MADE GOOD.
	TO BE DEMOLISHED	FFL 4.500	FINISHED FLOOR LEVEL (METRES) ABOVE DATUM.		EXISTING WALLS, PARTITIONS, DOORS, CEILINGS, JOINERY AND SANITARY WARE, FIXTURES AND FITTINGS TO BE DEMOLISHED OR REMOVED SURROUNDING SURFACE TO BE MADE GOOD.
	EXTENT OF FLOOR TO BE REMOVED	+ RL 4.500	SPOT LEVEL - REDUCED LEVEL (METERS) ABOVE DATUM.		
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- ALL EXISTING NON-ORIGINAL AND NON-STRUCTURAL ITEMS IN RETAINED HERITAGE LISTED BUILDINGS TO BE REMOVED, INCLUDING PARTITIONS, CEILINGS, RAISED FLOORS AND FLOOR FINISHES, FLOOR FINISHES, FIXTURES AND FITTINGS EQUIPMENT AND SERVICES.
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Project:
495 COLLINS STREET

Drawing Title:
DEMOLITION ELEVATION - NORTH

Drawing Number:
TPA-15-311

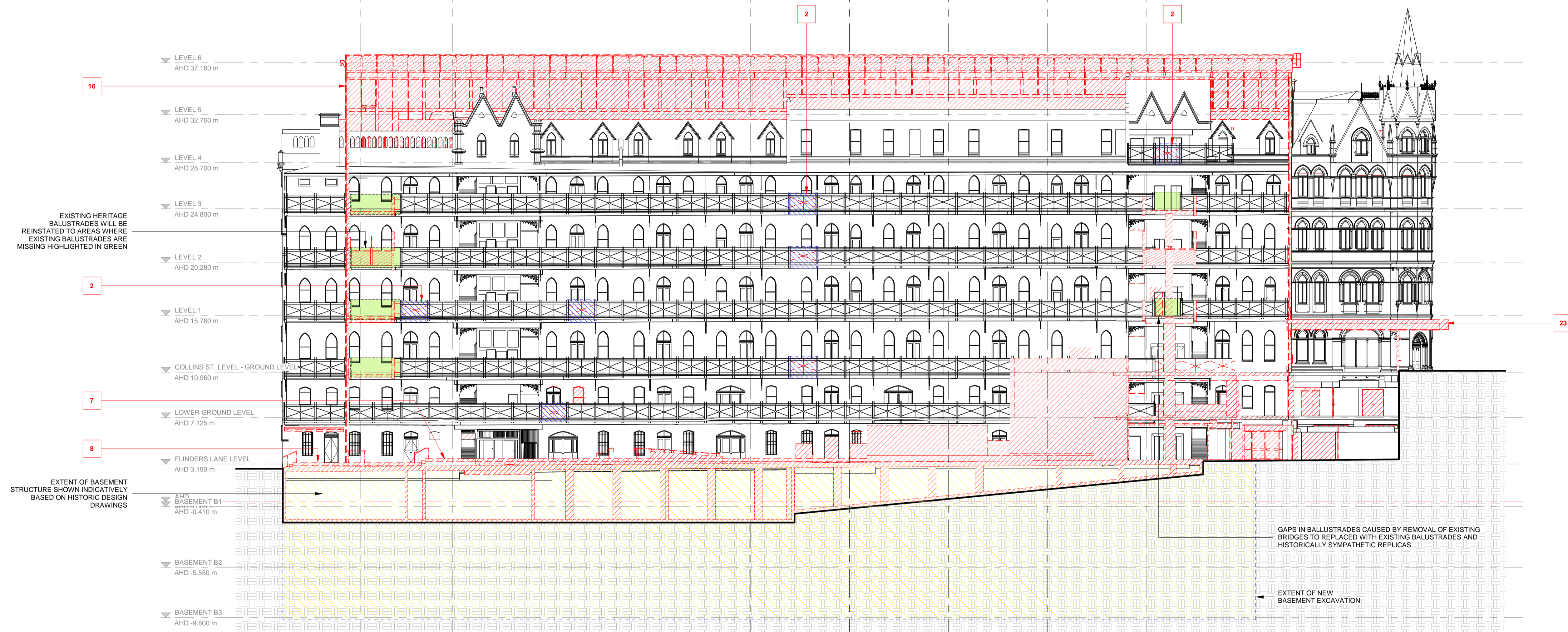
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Cox Architecture
Level 2, 167 Flinders Lane,
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T + 61 3 9650 3288
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10 9 8 7 6 5 4 3 2 1



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 - NON-HERITAGE ROOFS, WALLS AND EQUIPMENT TO BE REMOVED FROM LEVEL 4 OF THE RIALTO SOUTHERN ROOF TERRACE.
 - SMOKE EXHAUST EQUIPMENT AND ASSOCIATED STRUCTURE TO BE REMOVED FROM THE ROOF OF THE RIALTO.
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 - LERB AND FOOTPATH TO BE REALIGNED TO ALLOW FOR REVISED CROSSOVER.
 - EXISTING SEWER PIT TO BE REMOVED AND RELOCATED. REFER TO CIVIL ENGINEER'S DRAWING FOR DETAILS.
 - REMOVE INFILL BRICKWORK TO REINSTATE REMNANT ARCHED OPENINGS.

1 DEMOLITION - INTERNAL WEST ELEVATION
SCALE 1 : 200

EXISTING HERITAGE BALUSTRADES WILL BE REINSTATED TO AREAS WHERE EXISTING BALUSTRADES ARE MISSING HIGHLIGHTED IN GREEN

EXTENT OF BASEMENT STRUCTURE SHOWN INDICATIVELY BASED ON HISTORIC DESIGN DRAWINGS

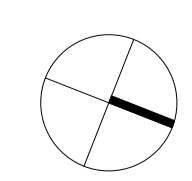
GAPS IN BALUSTRADES CAUSED BY REMOVAL OF EXISTING BRIDGES TO BE REPLACED WITH EXISTING BALUSTRADES AND HISTORICALLY SYMPATHETIC REPLICAS

EXTENT OF NEW BASEMENT EXCAVATION

LEGEND

	TO BE RETAINED		ASSUMED HERITAGE STRUCTURE TBC (CURRENTLY CONCEALED) TO BE RETAINED		EXISTING WALLS, PARTITIONS, DOORS, AND FITTINGS TO BE RETAINED AND MADE GOOD.
	TO BE DEMOLISHED	FFL 4.500	FINISHED FLOOR LEVEL (METRES) ABOVE DATUM.		EXISTING WALLS, PARTITIONS, DOORS, CEILINGS, JOINERY AND SANITARY WARE, FIXTURES AND FITTINGS TO BE DEMOLISHED OR REMOVED SURROUNDING SURFACE TO BE MADE GOOD.
	EXTENT OF FLOOR TO BE REMOVED	+ RL 4.500	SPOT LEVEL - REDUCED LEVEL (METERS) ABOVE DATUM.		
	TO BE REMOVED AND REINSTALLED/REFURBISHED				

- GENERAL NOTES**
- ALL EXISTING NON-ORIGINAL, AND NON-STRUCTURAL ITEMS IN RETAINED HERITAGE LISTED BUILDINGS TO BE REMOVED, INCLUDING PARTITIONS, CEILINGS, RAISED FLOORS AND FLOOR FINISHES, FLOOR FINISHES, FIXTURES AND FITTINGS EQUIPMENT AND SERVICES.
 - REFER TO THE CONSERVATION MANAGEMENT PLAN FOR DETAILS OF HERITAGE CONSERVATION WORKS.
 - REFER TO HERITAGE CONSULTANTS DRAWINGS FOR DETAILS OF HERITAGE RESTORATION WORKS.
 - PENETRATIONS AND INTERVENTIONS FOR BUILDING SERVICES TBC.
 - THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE FLOOR PLANS, ELEVATIONS AND ALL DESIGN DRAWINGS.
 - ALL REMOVED MATERIALS TO BE ASSESSED FOR HERITAGE VALUE AND RECYCLABILITY AND DIRECTED TO APPROPRIATE RECOVERY STREAMS WHERE POSSIBLE TO MAXIMISE RESOURCE VALUE AND MINIMISE LANDFILL BUILDING SERVICES TBC.
 - ANY INDICATION OF EXTENT OF EXISTING BLUESTONE COBBLESTONES UNDER RAISED FLOORS AND FINISHES IS ESTIMATED ONLY. TRUE EXTENT TO BE CONFIRMED DURING DEMOLITION.



Project:
495 COLLINS STREET

Drawing Title:
DEMOLITION ELEVATION - INTERNAL WEST

Drawing Number:
TPA-15-321

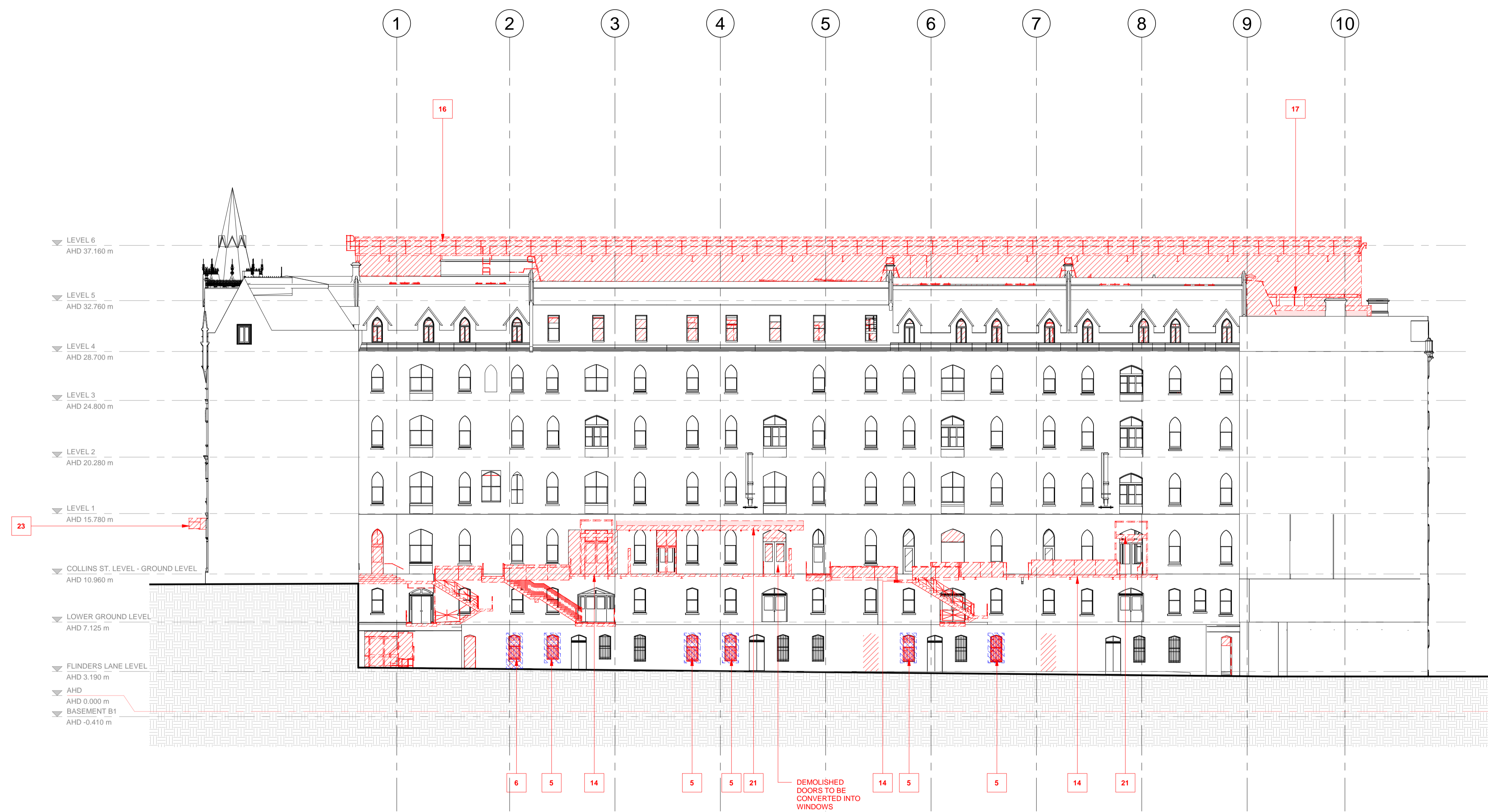
Revision:
APRIL 2023

Date:
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Cox Architecture
Level 2, 167 Flinders Lane,
Melbourne, VIC 3000, Australia
T + 61 3 9650 3288
F + 61 3 9650 2747
www.coxarchitecture.com.au



- KEYNOTES**
- HATCHED AREA INDICATES EXISTING FLOOR TO BE REMOVED AND EXCAVATION CARRIED OUT FOR NEW LIFT PIT.
 - HATCH INDICATES SECTION OF EXISTING BALUSTRADE TO BE REMOVED FOR NEW BRIDGE. REMOVED BALUSTRADE TO BE ASSESSED FOR RESTORATION AND REINSTATEMENT IN LOCATIONS WHERE SECTIONS ARE MISSING FOLLOWING DEMOLITION OF NON-HERITAGE STRUCTURE.
 - EXISTING METAL SHEET ROOFING TO BE REMOVED AND REPLACED WITH Z600 CORRUGATED GALVANISED METAL STEEL ROOFING. ALL EXISTING MECHANICAL AND HYDRAULIC ROOF SERVICES, PENETRATIONS AND ACCESS EQUIPMENT TO BE REMOVED OR REPLACED WITH LESS INTRUSIVE EQUIPMENT.
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 - EXISTING WINDOWS TO BE REMOVED. SILL TO BE REMOVED TO CREATE NEW DOORWAY.
 - RAISED TIMBER FRAMED FLOOR TO BE REMOVED TO EXPOSE BLUESTONE UNDER.
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 - CONCRETE DECKS AND STAIRS REMOVED. MAKE GOOD HERITAGE WALLS WHERE NO NEW BRIDGES ARE PROPOSED.
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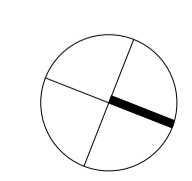


1 DEMOLITION - EXTERNAL WEST ELEVATION
SCALE 1 : 200

LEGEND

	TO BE RETAINED		ASSUMED HERITAGE STRUCTURE TBC (CURRENTLY CONCEALED) TO BE RETAINED		EXISTING WALLS, PARTITIONS, DOORS, AND FITTINGS TO BE RETAINED AND MADE GOOD.
	TO BE DEMOLISHED	FFL 4.500	FINISHED FLOOR LEVEL (METRES) ABOVE DATUM.		EXISTING WALLS, PARTITIONS, DOORS, CEILINGS, JOINERY AND SANITARY WARE, FIXTURES AND FITTINGS TO BE DEMOLISHED OR REMOVED SURROUNDING SURFACE TO BE MADE GOOD.
	EXTENT OF FLOOR TO BE REMOVED	+ RL 4.500	SPOT LEVEL - REDUCED LEVEL (METERS) ABOVE DATUM.		
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Project:
495 COLLINS STREET

Drawing Title:
DEMOLITION ELEVATION - EXTERNAL WEST

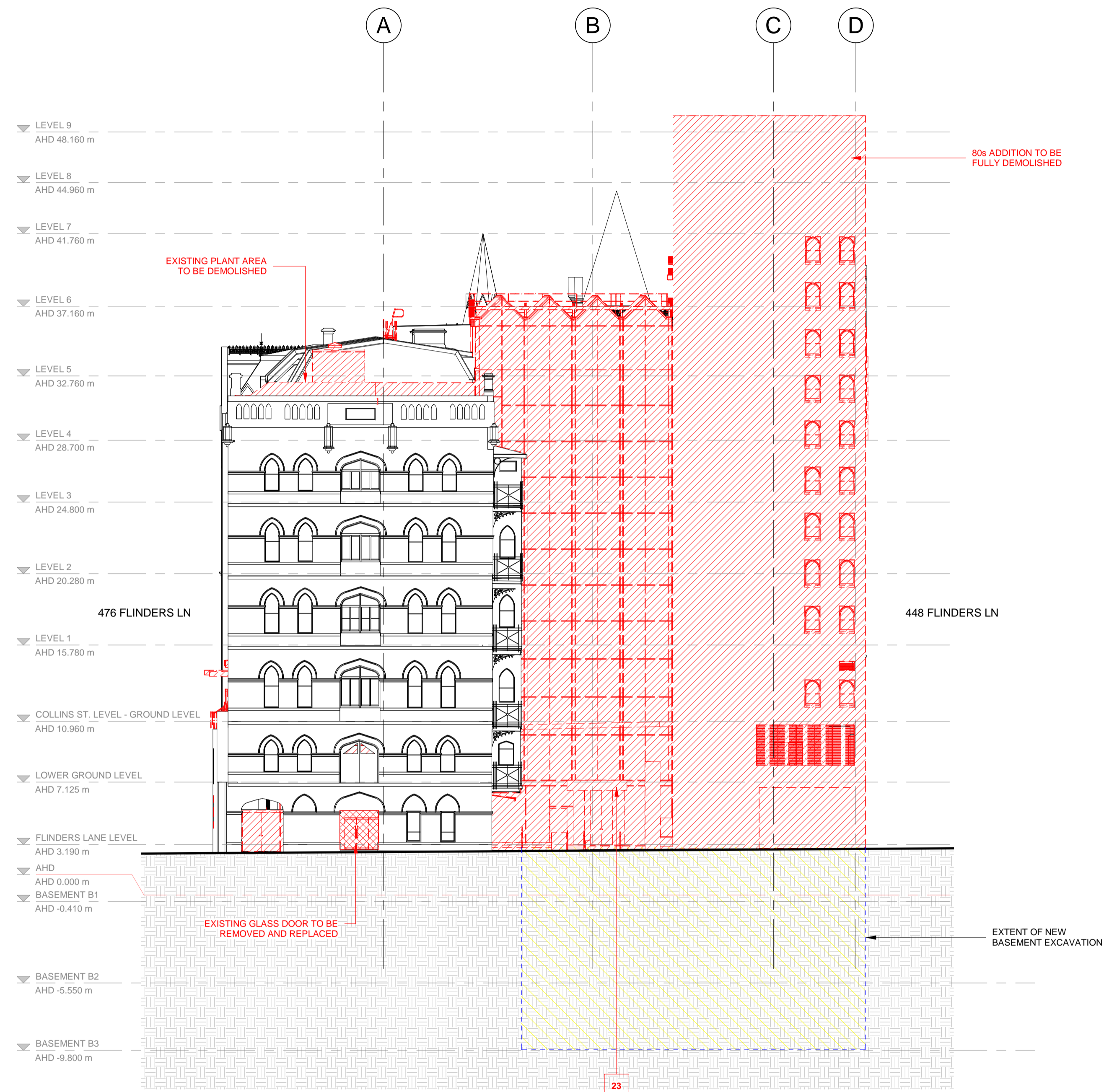
Drawing Number:
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Cox Architecture
Level 2, 167 Flinders Lane,
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T + 61 3 9650 3288
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2 DEMOLITION - EXTERNAL SOUTH ELEVATION
SCALE 1 : 200

LEGEND

	TO BE RETAINED		ASSUMED HERITAGE STRUCTURE TBC (CURRENTLY CONCEALED) TO BE RETAINED		EXISTING WALLS, PARTITIONS, DOORS, AND FITTINGS TO BE RETAINED AND MADE GOOD.
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