

PROPOSED NON-TMF PORTION (BALANCE OF SITE)

MARIBYRNONG MIGRANT HOSTEL
(PROPOSED TRAM MAINTENANCE AND
STABLING FACILITY, MAIDSTONE)

PROPOSED SCOPE OF WORKS TIERS

PREPARED FOR
Department for Transport and Planning (DTP)

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FINAL ISSUE: BUILT HERITAGE CONSENT

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ACKNOWLEDGEMENT OF TRADITIONAL OWNERS OF COUNTRY

Purcell acknowledge the Traditional Owners of Country throughout Australia and pay our respects to Elders past, present and emerging. We acknowledge the Wurundjeri Woi-wurrung people who are the traditional owners and custodians of the land discussed in this document.

TIERED SCOPE OF WORKS

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INTRODUCTION

INTRODUCTION

The Department of Transport and Planning (the Owner) has acquired a site at 61-71 Hampstead Road, Maidstone (the Site), the former Maribyrnong Migrant Hostel (the Place) of which the western portion is proposed to be used for a new tram maintenance and stabling facility for Melbourne's 100 Next Generation Trams. Other uses may also be proposed for the Balance of Site in future.

Purcell have been commissioned to undertake an external visual assessment and condition observations to the extant built heritage items located within the proposed TMF portion of the Site and outline anticipated, proposed scope of work tiers for items in the proposed Balance of Site (this Report).

Evolving pre-lodgement Heritage Victoria discussions for a heritage permit application for works to the proposed TMF portion, this Report identifies a possible incremental approach to works, categorised as 'mothball', 'cold-shell' and 'warm-shell' for built heritage items in the proposed Balance of Site. This Report has considered previous condition and conservation reports (refer References) to enable further study and pre-planning activities for the proposed Balance of Site.

LIMITATIONS

This preliminary built heritage advice provides a high-level opinion of conservation works to remediate visually perceptible deterioration to extant built elements on the assumption they will be maintained as-is. This preliminary built heritage advice has been prepared for the use of the client and project consultant team.

This preliminary built heritage advice is based on an initial, non-invasive site visit by the authors on 19 October 2022 to consider the architectural condition, has been prepared from limited, ground level access and opening-up to summarise our initial visual observations. The weather was clear, with good daylighting, and blue skies. Unless otherwise cited, all photographs were taken at this site visit.

All references to heritage, or heritage impacts, are to post-contact, above ground, built heritage only, as registered on the VHR pursuant to the Heritage Act 2017 (Vic) (the Heritage Act), or as part of the Maribyrnong Planning Scheme (the Planning Scheme), pursuant to the Planning and Environment Act 1987 (Vic) (the Planning Act), current at the date of the preparation of this document. This report does not consider other potential impacts of the Proposal, including, without limitation, town-planning, architectural design, landscape, vegetation, sub-surface, archaeological or indigenous heritage.

It is understood a hazardous materials and management study has been undertaken by the Client, who is implementing a hazardous materials management and/or removal programme.

Conservation works advice contained herewith are based on the current statutory heritage and planning controls and non-statutory heritage guidelines applicable to the Site. This preliminary built heritage advice is general, high level and based on limited site access and information, which summarises our initial observations. It identifies an approach to conservation works and their implementation – these descriptions are not a specification or works schedule for contractors to tender or construct the work. It is anticipated this advice will form the basis for future documentation to be prepared to identify detailed scope of works, suitable for tender, permits and construction.

FURTHER INVESTIGATIONS

This preliminary built heritage advice has been prepared without input from other consultant specialists including building management, upgrade, accessibility, civil, structural or services engineering, essential safety measures, fire, life and bushfire preparedness, hazardous materials, universal access, occupational health and safety or landscaping. In anticipation of either a future conservation works occurring to assets across Site, inputs from other building consultants is recommended as set-out below to suit the current or proposed NCC use class of the item.

NO.	ELEMENT	RECOMMENDED INVESTIGATION
1	Roof/High Level Access	Access to all rooves/high level elements to allow for a full condition survey, including service penetrations and roof safety access. A structural engineer's survey to also be carried out.
2	Structural Framing Elements	A full condition and structural survey by Structural Engineer. Review primary structural systems for earthquake preparedness.
3	Building Services & Fire	Commission an audit of all mechanical, electrical, hydraulic and fire systems and services. All asset's fire strategies to be reviewed and updated in line with current standards by a fire consultant.
4	Site Stormwater and Roof Drainage	Review capacity of existing installation and upgrades required to suit 1:100yr rain intensity design event for Melbourne. The drainage system to the base of each asset to be investigated and reviewed to ensure sufficient soak away for storm water.
5	Building Compliance & Universal Access	Commission an audit of building code and universal access compliance and advise priority works.

Following these investigations, it is recommended the actions be reviewed with a Conservation Architect to develop an approach which considers how the proposed works can be developed and/or implemented in a manner consistent with the recognised built heritage significance of the Place.

TERMINOLOGY

The conservation terminology used in this report is of a specific nature and is defined within the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance, 2013 (the Burra Charter).¹

ABBREVIATIONS

DDA	Disability Discrimination Act 1992 (Cth)	PS	Premises Standards (Access to Buildings) 2010 (Cth)
HO	Heritage Overlay	HV	Heritage Victoria
NCC	National Construction Code	PROV	Public Records Office Victoria
VHD	Victorian Heritage Database	SLV	State Library of Victoria
VHI	Victorian Heritage Inventory	VHR	Victorian Heritage Register

REFERENCES

- Heritage Victoria 'Principles for considering changes to places in the Victorian Heritage Register', made and published under s19(1)(f) of the Heritage Act 2017 in January 2023.
- Heritage Victoria 'General permit exemptions', established under s.92(1) of the Heritage Act 2017 in December 2022.
- Heritage Victoria, 'Heritage Victoria Policy Reasonable or economic use Relevant matters for the consideration of section 101(2)(b) of the Heritage Act 2017', made and published under s19(1) of the Heritage Act 2017 in June 2021.
- Heritage Victoria, 'Heritage Victoria Minimum standards for maintenance and repair of heritage places', made and published under s19(2) of the Heritage Act 2017 in August 2020.
- Department of Environment, Land, Water and Planning (DELWP), 'Maribymong Planning Scheme', updated: 4 November 2022 (Amendment VC226).

¹ Australia ICOMOS, The Burra Charter, (2013) and associated Practice Notes; available at URL: <https://australia.icomos.org/wp-content/uploads/The-Burra-Charter-2013-Adopted-31.10.2013.pdf>

- Australia ICOMOS, The Burra Charter: 'The Australia ICOMOS Charter for Places of Cultural Significance', 2013, (the Burra Charter).
- Lovell Chen, Midway & Phillip Migrant Hostels (Former) 61-71 Hampstead Road, Maidstone, Victoria Quarterly Report No 12, March 2021.
- Lovell Chen, Midway & Phillip Migrant Hostels (Former) 61-71 Hampstead Road, Maidstone, Victoria Heritage Audit Management Plan, October 2017.
- Lovell Chen, Midway & Phillip Migrant Hostels (Former) 61-71 Hampstead Road, Maidstone, Victoria Conservation Management Plan, August 2015.

UNDERSTANDING THE SITE

LOCATION

The Site, as shown in Figure 1, is located approximately 10km north-west of Melbourne CBD, south-west of the intersection of Williamson Road and Hampstead Road, Maidstone, within the Maribymong Local Government Area (LGA).



Figure 1 – the Site, with approximate title boundaries shown in blue dash. (Source: VicPlan, modified by Purcell)

THE SITE

The Site was previously used as student accommodation until 2015.

Prior to this, the former Maribymong Migrant Hostel, consisting of the remaining buildings associated with the New Pyrotechnics Section of the former Explosives Factory Maribymong (1942-1945), the Midway Hostel (1969), the Phillips Centre and further accommodation (1971), was used for post-war migrant migration until the late 1980s.

STATUTORY HERITAGE LISTINGS AND SIGNIFICANCE

Victorian Heritage Register

The site is listed on the Victorian Heritage Register (VHR 2190)² and is of historical and architectural significance to the State of Victoria. The Statement of Significance is available on the Victorian Heritage Database.

The Place is of historic significance due to its historic associations with post World War II immigration which hugely contributed to the multi-cultural growth of the Australian population in the post war years. It is also of historic significance has also been established due to being the only intact surviving purpose-built post World War II migrant hostel in Victoria. Architecturally, it is significant as a surviving example of purpose-built housing built specifically as migrant accommodation.

² As accessed through the Victorian Heritage Database: <https://vhd.heritagecouncil.vic.gov.au/places/35583>



Figure 2 – Site plan with the applicable assets highlighted in red (Diagram 2190a) (Source: Victorian Heritage Database)

Maribyrnong Planning Scheme

Separate to the Victorian Heritage Register and statutory built heritage approvals required through Heritage Victoria in the above, consideration should also be given to requirements of the Planning Scheme and any incorporated document pertaining to the Site as to whether separate City of Maribyrnong Approvals required.

STATUTORY BUILT HERITAGE APPROVALS

Where change or work is contemplated to places or sites included in the VHR, applications to Heritage Victoria through a s93 Heritage Permit or s92 Permit Exemption pursuant to the Heritage Act is necessary where the activity is not included as part of a s92(1) General Permit Exemption or, the Registration Documentation suite of s38 standing exemptions. As part of this, advice from a heritage consultant/ conservation architect and consideration for the guidelines included in the References section above is encouraged pre-lodgement with HV and in the preparation of associated documents required as part of any application including, but not limited to, drawn documentation, schedules of works and heritage impact assessments.

NON-STATUTORY GUIDANCE

The Conservation Management Plan (Lovell Chen, August 2015) includes identification, definitions and high-level conservation policy which provides an overview of the general nature of attributed significance of the Site.

Conservation and Site Planning Policies Arising from Significance

The following table details the level of significance that the individual areas, elements, attributes, and fabric make to the overall significance of the Place.

Level of Significance	Definition	High-Level CMP Policy
Core Elements	Core buildings, elements and landscape areas are those associated with the accommodation of	<i>Buildings, elements and landscape areas of core significance should be retained and</i>

Level of Significance	Definition	High-Level CMP Policy
	<p>migrants at the Maribymong Migrant Hostel (1949-69), and with the former Midway Migrant Hostel (1969-1988).</p> <p>These include: buildings adapted from the New Pyrotechnics Section of the former Explosives Factory Maribymong for use as accommodation (B3 and B4); the Nissen hut (B2); and elements and aspects of the former Midway section of the site which are expressive of the planning and presentation of purpose-built hostels of the late 1960s (B19 including the courtyard spaces, B24, B28 and L3).</p> <p>Elements of core significance also include:</p> <ul style="list-style-type: none"> • the Quonset hut (B21), being one of only two demountable huts to survive at the site – over 60 were introduced from the late 1940s • murals painted by Vietnamese and Dutch migrants (attached to B3 and B15, east chamber) 	<p><i>conserved according to the principles of the Burra Charter....</i></p>
<p>Contributory Elements</p>	<p>Buildings, elements and landscape areas of contributory significance include:</p> <ul style="list-style-type: none"> • those relating to the operation of the former Explosives Factory including the main entry and internal roads dating to the 1940s (L6), remnant landscaping at the north of the site (L5), overhead steam supply pipes (L7) and administrative, residential, storage and amenity buildings dating to c. 1941 (B8, B12, B13, B15 west chamber, B16, B17, B22 and B23). • the former Phillip Hostel (B1), reflecting its anomalous planning in the context of 1960s hostels, and poor condition. • the landscape treatment of the former Phillip Hostel, reflecting changes since the 1970s and neglected condition (L1). • ancillary buildings to the former Midway Hostel, including the substation and laundries (B18, B25, B26 and B32). 	<p><i>It would be desirable for contributory elements of the former Midway/Maribymong Migrant Hostel to be conserved. However, there exists greater flexibility with regard to potential alteration and change, particularly internally...</i></p>
<p>Elements of Lesser Significance</p>	<p>Buildings, elements and landscape areas of lesser significance make a limited contribution to the cultural heritage significance of the place. They include later elements unrelated to the use of the place as migrant accommodation. They also include residential buildings introduced at the site from the 1940s-1970s that are believed to have provided accommodation for staff (B7, B9, B10, B11, B27 and B29-B31), and 1940s era buildings that have been modified and/or relocated over time and contribute little to an understanding of the operation of the</p>	<p><i>Acceptable options for areas, elements, attributes, and fabric of lesser significance include retention and replacement by new construction or works in a way which has a minimum adverse effect on elements, areas and attributes of core significance...</i></p>

Level of Significance	Definition	High-Level CMP Policy
	<p>place (B14).</p> <p>Elements of lesser significance also include those with a direct association with migrant accommodation that have been subject to extensive change (including vandalism and fire) to the extent that evidence of their original use has been compromised (B5 and B6).</p> <p>Landscape areas, other than L3 and L5, are of lesser significance.</p>	

Maintenance Considerations

Consistent with Heritage Victoria's Minimum Standards (refer References) and Policy 10 of the CMP, it is recommended a cyclical maintenance program be prepared and implemented. In recognition of the current condition and immediate aspirations, an evolution of the current practice may be necessary to respond to the Minimum Standards, which would incorporate an annual inspection and maintenance programme to address:

- Annual: Roof cladding, gutters, downpipes, drains and surface drainage, bird proofing, roof space, security and fire precautions, plumbing, electrical and data cables and appliances, windows and doors and general safety. Ceilings, floors, stairs, joinery, fixtures and fittings, tiling and building services.*
- 4–5 years: External walls, external joinery other than for windows and doors and lighting.³*

Consistent with Policy 18 of the CMP, the priority is to ensure the external envelope of the building is maintained and conserved, which cyclical inspection and maintenance can support until decisions upon the future use of the Site are made.

³ Lovell Chen, Midway & Phillip Migrant Hostels (Former) 61-71 Hampstead Road, Maidstone, Victoria Conservation Management Plan, August 2015, p135.

PROPOSED SCOPE OF WORK TIERS

INTRODUCTION

The long-term conservation, management, site planning of the Site requires the stabilisation and maintenance ('mothball') of the extant built heritage elements in the proposed Balance of Site ahead of considerations for their future use. Until these considerations can occur and decisions made, consistent with HV's minimum standards for maintenance (refer References), it is necessary to maintain both a wind and water-tight building envelope and, preserve the significant components and their essence.

It is anticipated these 'mothball' endeavours can be incorporated into future use considerations which could include 'cold-shell' or 'warm-shell' works being developed with ongoing inspection and maintenance activities.

PORTIONS OF THE SITE AFFECTED BY THIS REPORT

This Report considers the extant built heritage items located in the proposed Balance of Site (unshaded) of the Site shown in the below mark-up of the Registration documentation diagrams:



Figure 3 – Site plan included in the Registration Documentation marked-up to show the Balance of Site (uncoloured) and TMF portion (green shading) (Diagram 2190a) (Source: Victorian Heritage Database, mark-up by Purcell, based on supplied documentation).

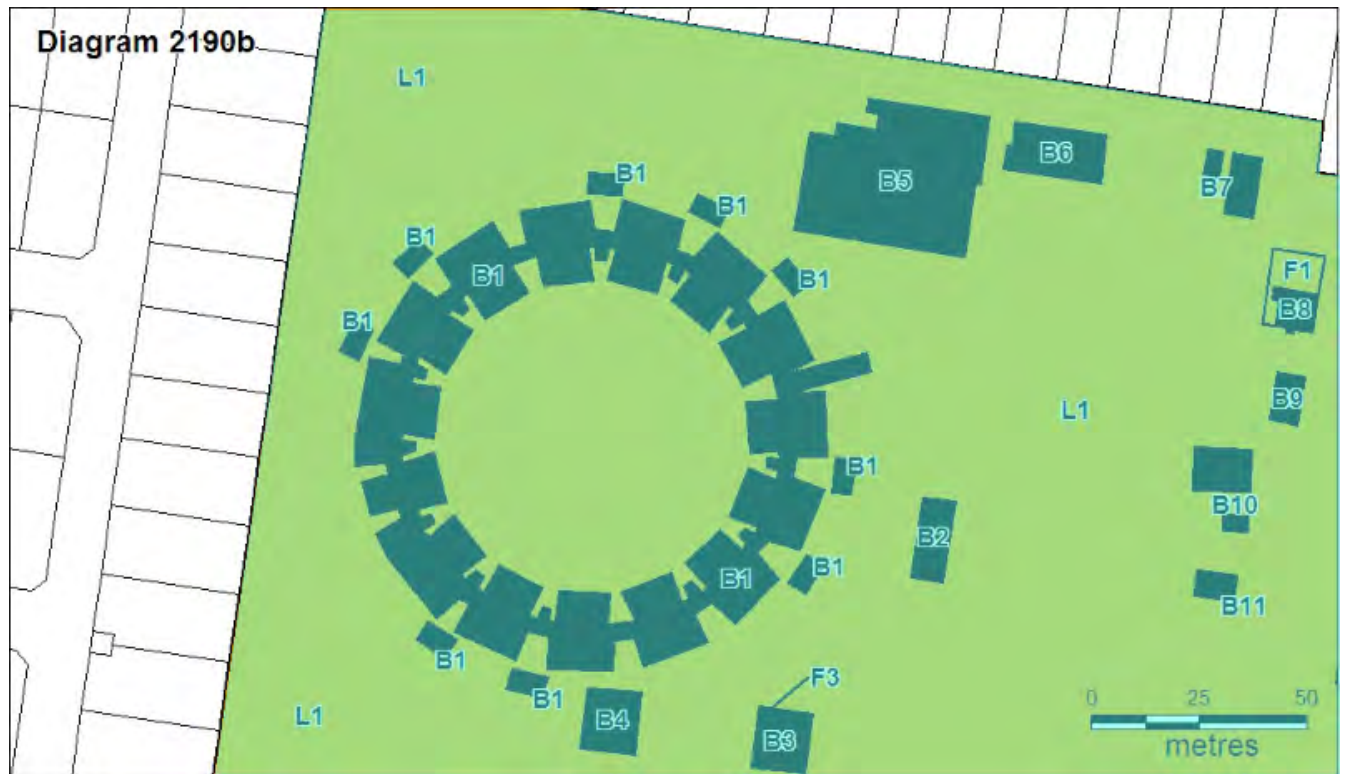


Figure 4 – West part of the Site plan included in the Registration Documentation marked-up to show the Balance of Site (uncoloured) and TMF portion (green shading) (Diagram 2190b) (Source: Victorian Heritage Database, mark-up by Purcell, based on supplied documentation).



Figure 5 – East part of the Site plan included in the Registration Documentation marked-up to the Balance of Site (uncoloured) and TMF portion (green shading) (Diagram 2190c) (Source: Victorian Heritage Database, mark-up by Purcell, based on supplied documentation).

IDENTIFICATION OF WORK TIERS

Purcell have undertaken a desktop review of construction and property industry guides to review and distil commonalities in the absence of industry standard ‘mothball’, ‘cold-shell’, ‘warm-shell’ definitions or expectations which could apply to future works on the Site. This tiered approach graduates with each option and adopts the below principles:

- A mothball approach would allow for the item to be maintained in its current form with minimal works undertaken to ensure it is weatherproof and secure with access allowed for required repair maintenance and condition inspections.
- A cold-shell approach removes the mothballing component and provides external envelope upgrades and improvements beyond essential stabilisation, maintenance and protection works. This approach would provide conservation works to the external envelope in its current or historic configuration, with placeholder service fittings, essential safety and statutory upgrades to existing structure and fabric and could enable ‘non-habitable’ occupancy, such as storage, in its current form. It is anticipated internal spaces would need further work, such as internal base-build fit out and furnishing, to enable a ‘habitable’ occupancy or use.
- A warm-shell approach encompasses all inclusions of a cold-shell approach supplemented with an internal base-build fit out. This is anticipated to include fixed fixtures and fittings (internal partitions, ceilings, doors, cabinetworks etc.), replacement of placeholder service fittings with selections (mechanical, hydraulic, fire and electrical), and finishes (to walls, floors, and fittings), in its current form. This could enable ‘habitable’ occupancy with future soft fit out (loose furniture and personal fitments) works by an occupant/ tenant.

A summary of these tiers and associated considerations is provided below:

Element or Consideration	Works Tier		
	Mothball	Cold-Shell	Warm-Shell
Weatherproofing & Essential Stabilisation/ Maintenance	✓	✓	✓
Refurbishment & Upgrade to Building Envelope		✓	✓
Base-Building Fitout			✓
Tenant or Occupant Fitout	-	-	-
Built Heritage Approvals (Heritage Victoria)	s38 Standing Exemption <i>and/or</i> s92(1) General Permit Exemption.	s92(1) General Permit Exemption (like for like repair) <i>and/or</i> s92 Permit Exemption (conservation, service replacement (to current location) or like-for-like repair) <i>and/or</i> s93 Permit Application (improvement, external, internal, new capped off or place-holder services or non-like-for-like repair).	s92 Permit Exemption (internal fit out if no impact upon base-build or significant fabric) <i>and/or</i> s93 Permit Application (improvement, external, internal, new occupant services or non-like-for-like repair).

Element or Consideration	Works Tier		
	Mothball	Cold-Shell	Warm-Shell
NCC Use Class (note change of use may affect cold-shell or warm-shell scope of works)	Not classified.	Not classified - TBC to suit non-habitable use type.	Classified - TBC to suit habitable use type and occupancy certificate.
Access	No public access – restricted maintenance or inspection only.	Non habitable, restricted access – storage or other non-classified or non-habitable use.	Habitable access by owner or tenant subject to commercial arrangement. storage or other non-classified or non-habitable use. Habitable - Public/tenant access
Security Monitoring & Detection	✓ (per site-wide approach)	✓ (building specific approach)	✓ (by occupant approach)
Current Condition Reporting	Prior to commencement of moth-ball works.	Update as part of conservation works scope definition.	Update as required.
Cyclical Maintenance & Inspections	At x6 month intervals to suit the HAMP or other agreed HV reporting based on Heritage Victoria Minimum standards for maintenance and repair of heritage places, Appendix A Inspection Schedule as a guide.	Per 'mothball' or until commercial agreement in place for use/ lease.	Per 'cold-shell' or until occupancy permit issued.
Ongoing Maintenance and Management	Per Cyclical Maintenance & Inspections.	Per Condition Report or Heritage Victoria Minimum standards for maintenance and repair of heritage places.	Per commercial agreement or Heritage Victoria Minimum standards for maintenance and repair of heritage places.

To assist understanding of what is anticipated in the above table, a more detailed description and anticipated scope of works required to undertake each approach is provided overleaf with a worked example based on x1 B19 Accommodation Unit, the most prevalent heritage item to the Balance of Site.

MOTHBALL

This approach will enable the owner to preserve an existing building in its current form and condition by providing a wind and watertight building envelope without an identified function or use. It is further summarised in the table below.

Anticipated min. scope to be per Heritage Victoria Minimum standards for Maintenance and Repair of Heritage Places (guideline) or otherwise agreed, including:

- Weather protection
- Fire protection
- Security
- Essential Maintenance and repair
- Insurance
- Additional protection for unoccupied places
- Reporting and responding

The anticipated scope of works are as follows below.

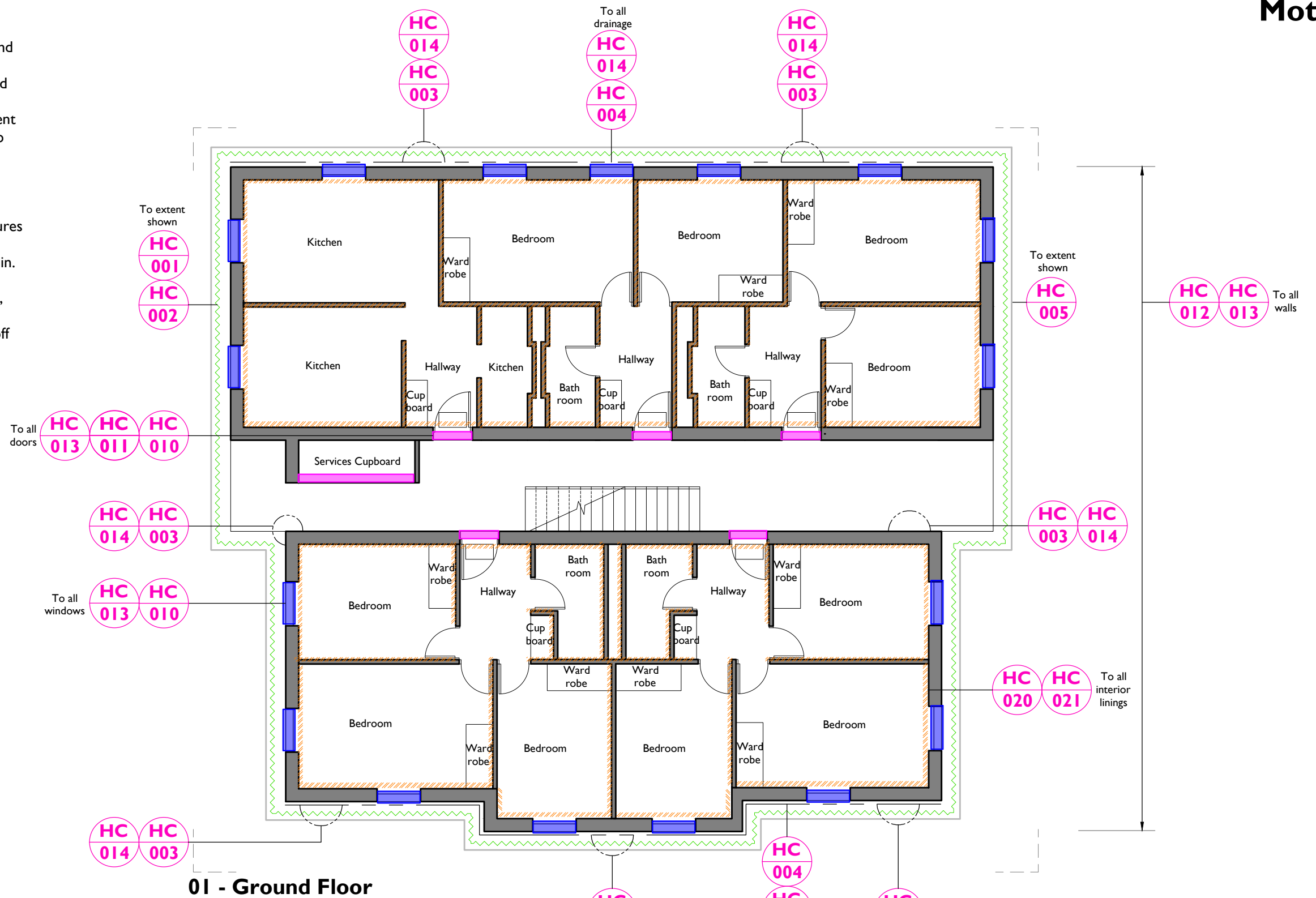
BUILDING ELEMENT	SCOPE OF WORKS
<p>Building Management and Maintenance <i>Preliminary works to be undertaken both before and during works to the building.</i></p>	<p>Administrative</p> <ul style="list-style-type: none"> • Maintain risk register of contamination, non-compliance for personnel required to enter space. • Complete Condition Report of built item prior to mothballing; identify anticipated weak-spots for mothballing and improvement/risk mitigation works; prepare and document scope of 'make secure' scope of works per building, eg schedule of make-secure works to accompany HV applications. • Maintain heritage datasheet, inspection register and periodic condition review; provide periodic update to existing inspection register and/or append to 2022 condition report. • If item proposed to be relocated, provide details/ method statement of removal process and relocation method, including details for reinstatement. • Undertake annual pest control inspection. • Provide confirmation of hazmat management, including removal as applicable. • Remove stores of flammable materials or rubbish. • Maintain insurance coverage
<p>Site and Landscape <i>Including, but not limited to, groundworks and surveillance.</i></p>	<p>Security</p> <ul style="list-style-type: none"> • Ensure building monitored by alarm, CCTV and security patrol. • Consider erection of gated chain-link fence or construction hoarding to margin around all facades of building. <p>Vegetation</p> <ul style="list-style-type: none"> • Ensure vegetation, grass or ground cover trimmed at monthly intervals or otherwise to ensure clear visibility of all built items, remove entrapment or blind spots. <p>Drainage</p>

BUILDING ELEMENT	SCOPE OF WORKS
	<ul style="list-style-type: none"> Undertake temporary works (as required) to divert stormwater away from building and ensure free drainage. Ensure all drainage (roof and ground) connected to sub-surface drainage systems and fully active, inspect and clear blockages. <p>Fire Safety</p> <ul style="list-style-type: none"> Remove vegetation, rubbish and other material that could create a fire hazard. Maintain emergency detection, fire, smoke and perimeter (eg site/flood) lighting. Ensure site fire-fighting strategy active, sufficient tank, pump or street resources and, access to building free of obstruction.
<p>External Envelope <i>Including, but not limited to, facades, roof and services supply.</i></p>	<p>Windows and Doors</p> <ul style="list-style-type: none"> Secure or board-up windows and doors and previous (redundant) penetrations. Install double-keys to nominated doorways for controlled access and egress. <p>Weatherproofing</p> <ul style="list-style-type: none"> Ensure external envelope of building is wind and watertight, install local patches to roof or wall (to detail). Maintain and repair roofs, walls, doors and windows and other components intended to exclude weather elements, including their security against the effects of high winds. Maintain and repair damp proof courses, flashings, ventilation systems and other measures intended to prevent the ingress of water or dampness or to reduce its effects. Provide min. air-flow changes or ventilation. <p>Rainwater Goods</p> <ul style="list-style-type: none"> Ensure all rainwater goods (gutters and downpipes) fully engaged and regularly maintained, repaired as required. Inspect, maintain and clear-out, remove debris as required. Provide connections to site stormwater. <p>Finishes</p> <ul style="list-style-type: none"> Remove or over-paint graffiti (as required) - method tbc.
<p>Internal Envelope <i>Including, but not limited to, walls, services, and fitout.</i></p>	<p>Security</p> <ul style="list-style-type: none"> Supply and install remote monitored intruder, smoke and thermal detection. <p>Fixtures and Fittings</p> <ul style="list-style-type: none"> Strip out or maintain and repair any capped off building services - ensure these remain 'dead' and disconnected. Remove all non-significant loose FF&E items. <p>Fitout</p> <ul style="list-style-type: none"> Remove damaged/deteriorated and non-significant internal linings & fitout where these obstruct line-of-sight or viewing of structural elements.

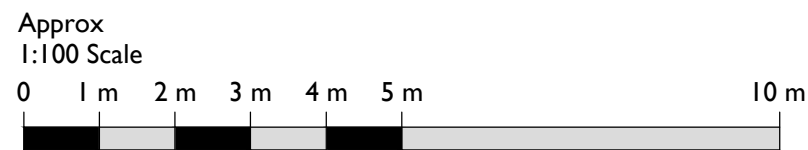
Overleaf is a ground, first and roof plan diagram showing these anticipated works.

General Notes

- Ensure building monitored by alarm, CCTV and security patrol.
- Maintain emergency detection, fire, smoke and perimeter (eg site/flood) lighting.
- Ensure site fire-fighting strategy active, sufficient tank, pump or street resources and, access to building free of obstruction.
- Remove or over-paint graffiti (as required) - method tbc.
- Maintain and repair damp proof courses, flashings, ventilation systems and other measures intended to prevent the ingress of water or dampness or to reduce its effects. Provide min. air-flow changes or ventilation.
- Supply and install remote monitored intruder, smoke and thermal detection.
- Strip out or Maintain and repair any capped off building services - ensure these remain 'dead' and disconnected.



01 - Ground Floor



I B19 Existing Ground Floor - Tired Approach
1001 Approx 1:100@A3

The site is listed on the Victorian Heritage Register (VHR 2190). Any works are subject to a permit and limitations. These drawings and information have been prepared for diagrammatic/illustrative purposes only.

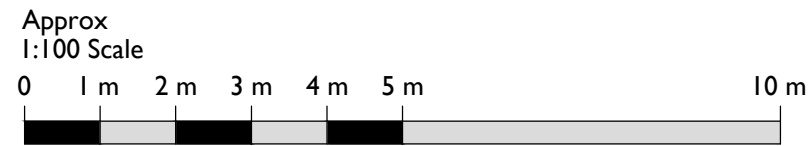
<p>Notes: Drawings are based on a supplied diagram and may not accurately represent what is physically present. Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work. All dimensions are in millimetres unless noted otherwise. Purcell shall be notified in writing of any discrepancies.</p>	<p>Key</p> <ul style="list-style-type: none"> - Vegetation works - Hard landscaping works - Drainage - Lining repairs - Door works - Window works 	<p>Notes Refer to drawing 7000 for all HC descriptions</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DRAWN</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>02</td> <td>21/03/2023</td> <td>NJ</td> <td>For Inclusion in Report</td> </tr> <tr> <td>01</td> <td>01/12/2022</td> <td>NJ</td> <td>Initial Client Comment</td> </tr> </tbody> </table>	REV	DATE	DRAWN	DESCRIPTION	02	21/03/2023	NJ	For Inclusion in Report	01	01/12/2022	NJ	Initial Client Comment	<p>CLIENT Department of Transport and Planning (DTP) JOB NUMBER: 241833 PROJECT: Maidstone</p> <p>TITLE B19 Ground Floor Existing - Tiered Approach</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>SCALE</th> <th>REVISION/REASON FOR ISSUE</th> <th>DRAWN</th> <th>CHECKED</th> </tr> </thead> <tbody> <tr> <td>02</td> <td></td> <td>1:100@A3</td> <td>For Inclusion in Report</td> <td>NJ</td> <td>AR</td> </tr> </tbody> </table> <p>DRAWING NUMBER 1001</p>	REV	DATE	SCALE	REVISION/REASON FOR ISSUE	DRAWN	CHECKED	02		1:100@A3	For Inclusion in Report	NJ	AR
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General Notes

- Ensure building monitored by alarm, CCTV and security patrol.
- Maintain emergency detection, fire, smoke and perimeter (eg site/flood) lighting.
- Ensure site fire-fighting strategy active, sufficient tank, pump or street resources and, access to building free of obstruction.
- Remove or over-paint graffiti (as required) - method tbc.
- Maintain and repair damp proof courses, flashings, ventilation systems and other measures intended to prevent the ingress of water or dampness or to reduce its effects. Provide min. air-flow changes or ventilation.
- Supply and install remote monitored intruder, smoke and thermal detection.
- Strip out or Maintain and repair any capped off building services - ensure these remain 'dead' and disconnected.



01 - First Floor



I B19 Existing First Floor - Tiered Approach
1002 Approx 1:100@A3

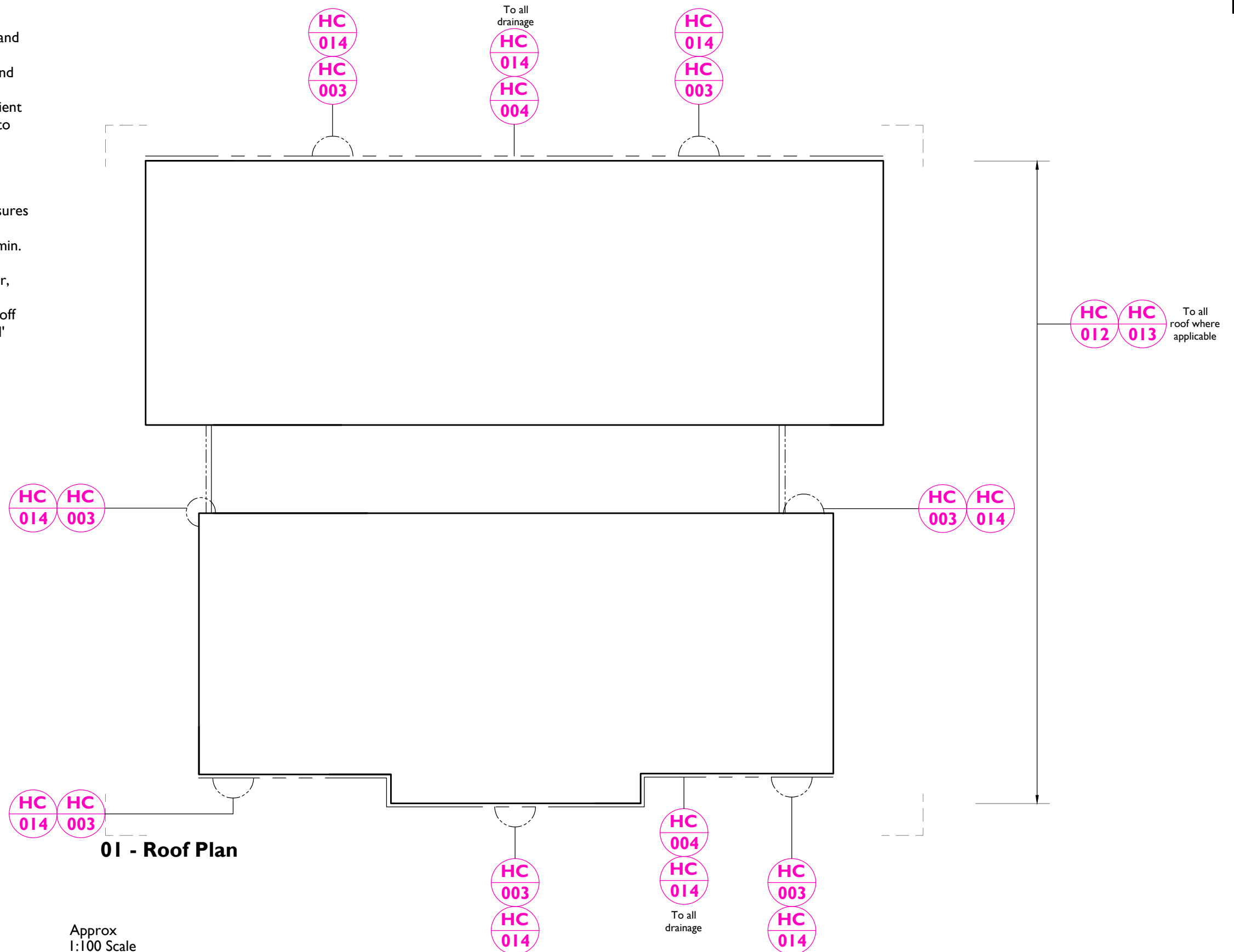
The site is listed on the Victorian Heritage Register (VHR 2190). Any works are subject to a permit and limitations. These drawings and information have been prepared for diagrammatic/illustrative purposes only.

<p>Notes:</p> <p>Drawings are based on a supplied diagram and may not accurately represent what is physically present.</p> <p>Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.</p> <p>All dimensions are in millimetres unless noted otherwise.</p> <p>Purcell shall be notified in writing of any discrepancies.</p>	<p>Key</p> <p>~~~~~ - Vegetation works</p> <p>----- - Hard landscaping works</p> <p>----- - Drainage</p> <p>//// - Lining repairs</p> <p>■ - Door works</p> <p>■ - Window works</p>	<p>Notes</p> <p>Refer to drawing 7000 for all HC descriptions</p>	<p>02 21/03/2023 NJ For Inclusion Report</p> <p>01 01/12/2022 NJ Initial Client Comment</p> <p>REV DATE DRAWN DESCRIPTION</p>	<p>CLIENT</p> <p>Department of Transport and Planning (DTP)</p> <p>JOB NUMBER PROJECT</p> <p>241833 Maidstone</p>	<p>SIZE SCALE</p> <p>A3L 1:100@A3</p> <p>REV SUITABILITY/REASON FOR ISSUE</p> <p>02 For Inclusion in Report</p> <p>DRAWING NUMBER</p> <p>1002</p>
			<p>© Purcell 2021. Purcell is the trading name of Purcell Asia Pacific Limited ABN: 23 609 207 301</p> <p>ARBY Registered Architectural Company 51926 info@purcellau.com</p>	<p>Level 3, 124 Exhibition Street Melbourne VIC 3000</p>	



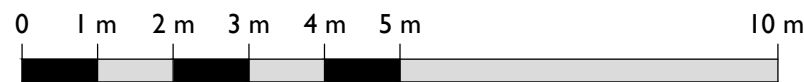
General Notes

- Ensure building monitored by alarm, CCTV and security patrol.
- Maintain emergency detection, fire, smoke and perimeter (eg site/flood) lighting.
- Ensure site fire-fighting strategy active, sufficient tank, pump or street resources and, access to building free of obstruction.
- Remove or over-paint graffiti (as required) - method tbc.
- Maintain and repair damp proof courses, flashings, ventilation systems and other measures intended to prevent the ingress of water or dampness or to reduce its effects. Provide min. air-flow changes or ventilation.
- Supply and install remote monitored intruder, smoke and thermal detection.
- Strip out or Maintain and repair any capped off building services - ensure these remain 'dead' and disconnected.



01 - Roof Plan

Approx
1:100 Scale



I B19 Existing Roof Plan - Tiered Approach
1003 Approx 1:100@A3

The site is listed on the Victorian Heritage Register (VHR 2190). Any works are subject to a permit and limitations. These drawings and information have been prepared for diagrammatic/illustrative purposes only.

Notes:
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All dimensions are in millimetres unless noted otherwise.
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Key
----- Drainage

- Notes**
- Refer to drawing 7000 for all HC descriptions
 - Extent of roof repairs to be confirmed upon access

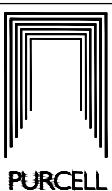
REV	DATE	DRAWN	DESCRIPTION
02	21/03/2023	NJ	For Inclusion in Report
01	01/12/2022	NJ	Initial Client Comment

CLIENT
Department of Transport and Planning (DTP)
JOB NUMBER: 241833
PROJECT: Maidstone

TITLE
B19 Ground Floor Existing Tiered Approach

SIZE A3L
SCALE 1:100@A3
REVISED 21/03/2023
DRAWN NJ
CHECKED AR

REV 02
SUITABILITY/REASON FOR ISSUE For Inclusion in Report
DRAWING NUMBER 1003



SCHEDULE OF CONSERVATION WORKS

HC NOTE ID	HC SUMMARY	HC SCOPE OF WORKS
MOTHBALL		
SITE AND LANDSCAPE (GROUNDWORKS/SURVEILLANCE)		
HC-001	Vegetation management	Ensure vegetation, grass or ground cover trimmed at monthly intervals or otherwise to ensure clear visibility of all built items, remove entrapment or blind spots.
HC-002	Debris clearance	Remove vegetation, rubbish and other material that could create a fire hazard
HC-003	Stormwater works	Undertake temporary works (as required) to divert stormwater away from building and ensure free-drainage.
HC-004	Drainage works	Ensure all drainage (roof and ground) connected to sub-surface drainage systems and fully active, inspect and clear blockages.
HC-005	Hard landscaping	Consider erection of gated chain-link fence or construction hoarding to margin around all facades of building.
EXTERNAL ENVELOPE (FACADES, ROOF, SERVICES SUPPLY)		
HC-010	Security	Secure or board-up windows and doors and previous (redundant) penetrations.
HC-011	Security	Install double-keys to nominated doorways for controlled access and egress
HC-012	Weather proofing	Ensure external envelope of building is wind and water tight, install local patches to roof or wall (to detail).
HC-013	Weather proofing	Maintain and repair roofs, walls, doors and windows and other components intended to exclude weather elements, including their security against the effects of high winds.
HC-014	Rainwater goods repairs	Ensure all rainwater goods (gutters and downpipes) fully engaged and regularly maintained, repaired as required. Inspect, maintain and clear-out, remove debris as required. Provide connections to site stormwater.
INTERNAL DECORATION (WALLS, SERVICES, FITOUT)		
HC-020	Lining repairs	Remove damaged/deteriorated and non-significant internal linings & fitout where these obstruct line-of-sight or viewing of structural elements.
HC-021	FF&E	Remove all non-significant loose FF&E items.
COLDSHELL		
SITE AND LANDSCAPE (GROUNDWORKS/SURVEILLANCE)		
HC-100	Drainage and stormwater	Provide compliant roof drainage system (sympathetic to historic detail) and connect to site stormwater or legal point of discharge. Provide compliant roof access system.
HC-101	Hard landscaping	Provide new access path, stair and/or access ramp to suit primary and secondary entries, complete with barriers and accessories per ASI428 suite.
HC-102	Signage	Provide new statutory signage per ASI428 suite.
EXTERNAL ENVELOPE (FACADES, ROOF, SERVICES SUPPLY)		
HC-110	Door/window treatment	Remove temporary covers, repair/replace opening treatments to reinstate historic detail, install new hardware.

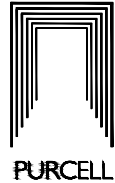
HC-111	Door/window treatment	Maintain, upgrade, repair door and window frames, repair/replace door treatments and hardware, repair/replace glazed sashes following removal of covers. Verify no. of required exits, upgrade doors to suit fire and egress requirements. Provide new thresholds at entries for universal access. Provide permanent covers/linings to previous penetrations. Renew paint finishes and achieve required luminescence contrast at doorways.
HC-112	Egress treatment	Provide egress hardware & signage to suit BCA use class.
HC-113	Roof repairs	Repair, replace roof sheets or tiles and provide patches as required to provide water-tight roof coverings. Repair, repair and/or upgrade secondary framing systems to suit structural or other upgrades.
HC-014	Rainwater goods	Maintain, upgrade or replace as required gutters, downpipes, sumps, heads and stormwater connections in matching, heritage appropriate or technically compatible metal.
HC-015	Masonry repairs	Maintain, upgrade, repair wall linings/ construction, repair cracking to brickwork, re-point or repair masonry units, attend to salt/damp staining.
HC-016	Roof finishes	If roof cover was previously painted, paint finish may require removal (hazmat) or over-painting - this needs to consider the visual impact of other repairs to roof cover.
HC-117	External treatments	Upgrade existing access path, stair and/or access ramp and associated barriers, rails, signage, accessories and indicators to suit primary and secondary entries, per ASI428 suite.
HC-118	Fire treatment	Upgrade linings (non-combustible) and fire-resisting construction to suit proximity from other buildings or protection measures. Provide hydrants and fire hose reels
HC-119	Painted finishes	Re-paint all previously painted surfaces to historic colour investigations.
INTERNAL DECORATION (WALLS, SERVICES, FITOUT)		
HC-120	Ventilation	Provide operable windows, mechanical ventilation or air-conditioning to achieve required air-change cycles
HC-121	Linings treatment	Make-good drummy plaster and damage to internal linings where no risk of failure. Where previously removed (eg for relocation or where damaged), do not reinstate internal linings.
HC-122	Floor treatment	Remove existing (including ACM as required), clean and maintain current screed/substrate to flooring in preparation for works by others.
WARMSHELL		
INTERNAL DECORATION (WALLS, SERVICES, FITOUT)		
HC-200	Linings treatment	Repair/replace damaged internal linings. Provide all internal linings, partitions, ceilings and associated secondary framing to suit future use and spatial configuration.
HC-201	Floor treatment	Remove existing (including ACM as required) and provide floor finishes or polished floorboards
HC-202	Painted finishes	Re-paint all previously painted surfaces to historic colour investigations. Paint all linings, finishes where nominated.

Notes: 21/03/2023 15:53:52
 Drawings are based on survey data and may not accurately represent what is physically present.
 Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.
 All dimensions are in millimeters unless noted otherwise.
 Purcell shall be notified in writing of any discrepancies.

REV	DATE	DRAWN	DESCRIPTION
02	21/03/2023	NJ	For Inclusion in Report
01	01/12/2022	NJ	Initial Client Comment

CLIENT
Department of Transport and Planning (DTP)
 PROJECT

Maidstone
 JOB NUMBER
241833



TITLE
Schedule of Conservation Works

SIZE	SCALE	LAST REVISED	DRAWN	CHECKED
A3L	N/A	21/03/2023	NJ	AR

REV
02 For Inclusion in Report

DRAWING NAME
7000

COLD-SHELL

This approach will provide a building or space with an unfinished shell to suit a proposed, future public NCC use-class and building classification, with an occupancy permit to follow. It is anticipated essential safety and compliance items (eg emergency lighting, universal access and egress, ventilation, fire detection - these could be temporary or 'place-holder') would be installed to enable occupancy or non-habitable by others pending further work.

No base-building, drop-ceilings, plumbing, HVAC, internal lighting, internal walls or ceilings, or linings to floors (refer warm-shell) would occur. Such spaces could have capped-off building services (eg power, data, water, gas) to site, core or common facilities to enable reticulation by occupants (to be discussed) and would not be provided with HVAC.

Until occupancy occurs, it is recommended life-safety, security monitoring and thermal/smoke detection be installed either to each building/across the site.

The anticipated scope of works are as follows below.

BUILDING ELEMENT	SCOPE OF WORKS
<p>Building Management and Maintenance <i>Preliminary works to be undertaken both before and during works to the building.</i></p>	<p>Administrative</p> <ul style="list-style-type: none"> • Maintain risk register of contamination, non-compliance for personnel required to enter space. • Undertake regular inspection and attend to recommendations until works implemented. • Prepare built heritage management and construction management plan to support implementation of the works. Upon completion, update conservation management plan to reflect approved site changes. • If item proposed to be relocated, provide details/ method statement of removal process and relocation method, including details for reinstatement.
<p>Site and Landscape <i>Including, but not limited to, groundworks and surveillance.</i></p>	<p>Security</p> <ul style="list-style-type: none"> • Ensure building monitored by alarm, CCTV and security patrol. • Provide new statutory signage per AS1428 suite. <p>Vegetation</p> <ul style="list-style-type: none"> • Ensure vegetation, grass or ground cover trimmed at monthly intervals or otherwise to ensure clear visibility of all built items, remove entrapment or blind spots. <p>Drainage</p> <ul style="list-style-type: none"> • Provide compliant roof drainage system (sympathetic to historic detail) and connect to site stormwater or legal point of discharge. Provide compliant roof access system. <p>Access</p> <ul style="list-style-type: none"> • Provide new access path, stair and/or access ramp to suit primary and secondary entries, complete with barriers and accessories per AS1428 suite. <p>Fire Safety</p> <ul style="list-style-type: none"> • Maintain emergency detection, fire, smoke and perimeter (eg site/flood) lighting. • Ensure site fire-fighting strategy active, sufficient tank, pump or street resources and, access to building free of obstruction. • Remove vegetation, rubbish and other material that could create a fire hazard.

BUILDING ELEMENT	SCOPE OF WORKS
<p>External Envelope <i>Including, but not limited to, facades, roof and services supply.</i></p>	<p>Door and Windows</p> <ul style="list-style-type: none"> • Remove temporary covers, repair/replace opening treatments to reinstate historic detail, install new hardware. • Maintain, upgrade, repair door and window frames, repair/replace door treatments and hardware, repair/replace glazed sashes following removal of covers. • Verify no. of required exits, upgrade doors to suit fire and egress requirements. • Provide new thresholds at entries for universal access. • Provide permanent covers/linings to previous penetrations. • Renew paint finishes and achieve required luminescence contrast at doorways. • Provide egress hardware & signage to suit BCA use class. <p>Roof</p> <ul style="list-style-type: none"> • Repair, replace roof sheets or tiles and provide patches as required to provide water-tight roof coverings. • Repair, repair and/or upgrade secondary framing systems to suit structural or other upgrades. • Repair/replace flashings and cappings as required. • If roof cover was previously painted, paint finish may require removal (hazmat) or over-painting - this needs to consider the visual impact of other repairs to roof cover. <p>Rainwater Goods</p> <ul style="list-style-type: none"> • Maintain, upgrade or replace as required gutters, downpipes, sumps, heads and stormwater connections in matching, heritage appropriate or technically compatible metal. <p>Shell</p> <ul style="list-style-type: none"> • Maintain, upgrade, repair wall linings/ construction, repair cracking to brickwork, re-point or repair masonry units, attend to salt/damp staining. • Provide weather-tight building wrapping. • Maintain, upgrade, repair spandrel, dado, feature panels and building signage/identifiers. • Provide shell upgrades to suit energy efficiency measures - to advice from building surveyor upon extent. • Provide wall, ceiling, floor, and roof sheet insulation as applicable. • Upgrade and/or provide sub-floor ventilation, damp-proofing, building membrane wrapping and water-proofing (to design). • Design and implement compatible structural upgrades to sub-floor, floor, wall and roof frames to suit required earthquake, design load and structural design criteria and BCA use class - to review with building surveyor. • Design and implement new foundation and footing system which interprets historic detail. <p>Access</p> <ul style="list-style-type: none"> • Upgrade existing access path, stair and/or access ramp and associated barriers, rails, signage, accessories and indicators to suit primary and secondary entries, per AS1428 suite.

BUILDING ELEMENT	SCOPE OF WORKS
	<p>Fire Safety</p> <ul style="list-style-type: none"> • Upgrade linings (non-combustible) and fire-resisting construction to suit proximity from other buildings or protection measures. • Provide hydrants and fire hose reels • Re-paint all previously painted surfaces to historic colour investigations.
<p>Internal Envelope <i>Including, but not limited to, walls, services, and fitout.</i></p>	<p>Security</p> <ul style="list-style-type: none"> • Supply and install emergency lighting, egress signage, smoke & thermal detection, fire extinguishers, fire, smoke and perimeter (eg site/flood) lighting. <p>Fixtures and Fittings</p> <ul style="list-style-type: none"> • Provide essential safety and capped, wired services (eg electrical, plumbing, HVAC) to suit tenant type and BCA use class. • Provide temporary fittings for replacement by tenant. • Provide artificial and power layouts. • Provide operable windows, mechanical ventilation or air-conditioning to achieve required air-change cycles. <p>Fitout</p> <ul style="list-style-type: none"> • Make-good drummy plaster and damage to internal linings where no risk of failure. • Remove existing (including ACM as required), clean and maintain current screed/substrate to flooring in preparation for works by others. • Where previously removed (eg for relocation or where damaged), do not reinstate internal linings. • Confirm occupancy numbers - identify required health and amenity provisions, including fully accessible and ambulant requirements (eg kitchen, sanitary facilities, bathrooms, laundries) and determine how these are integrated to suit tenant type and BCA use class - note: it may be BCA/Occupancy requires full fitout of select facilities prior to hand-over (building surveyor to advise).

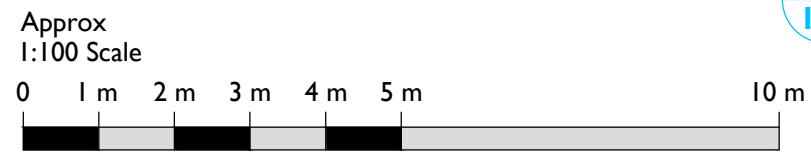
Overleaf is a ground, first and roof plan diagram showing these anticipated works.

General Notes

- Ensure building monitored by alarm, CCTV and security patrol.
- Maintain emergency detection, fire, smoke and perimeter (eg site/flood) lighting.
- Ensure site fire-fighting strategy active, sufficient tank, pump or street resources and, access to building free of obstruction.
- Provide new statutory signage per ASI 428 suite.
- Upgrade and/or provide sub-floor ventilation, damp-proofing, building membrane wrapping and water-proofing (to design) Supply and install remote monitored intruder, smoke and thermal detection.
- Provide weather-tight building wrapping.
- Maintain, upgrade, repair spandrel, dado, feature panels and building signage/identifiers.
- Repair/replace flashings and cappings as required.
- Design and implement compatible structural upgrades to sub-floor, floor, wall and roof frames to suit required earthquake, design load and structural design criteria and BCA use class - to review with building surveyor.
- Design and implement new foundation and footing system which interprets historic detail.
- Provide shell upgrades to suit energy efficiency measures - to advice from building surveyor upon extent.
- Provide wall, ceiling, floor and roof sheet insulation as applicable.
- Supply and install emergency lighting, egress signage, smoke & thermal detection, fire extinguishers, fire, smoke and perimeter (eg site/flood) lighting.
- Provide essential safety and capped, wired services (eg electrical, plumbing, HVAC) to suit tenant type and BCA use class. Provide temporary fittings for replacement by tenant. Provide artificial and power layouts.
- Confirm occupancy numbers - identify required health and amenity provisions, including fully accessible and ambulant requirements (eg kitchen, sanitary facilities, bathrooms, laundries) and determine how these are integrated to suit tenant type and BCA use class - note: it may be BCA/Occupancy requires full fitout of select facilities prior to hand-over (building surveyor to advise).



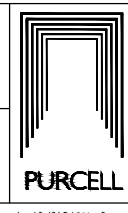
01 - Ground Floor



1 B19 Existing Ground Floor - Tiered Approach
1004 Approx 1:100@A3

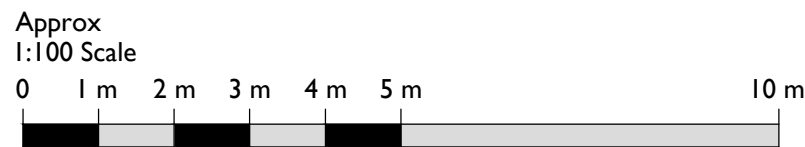
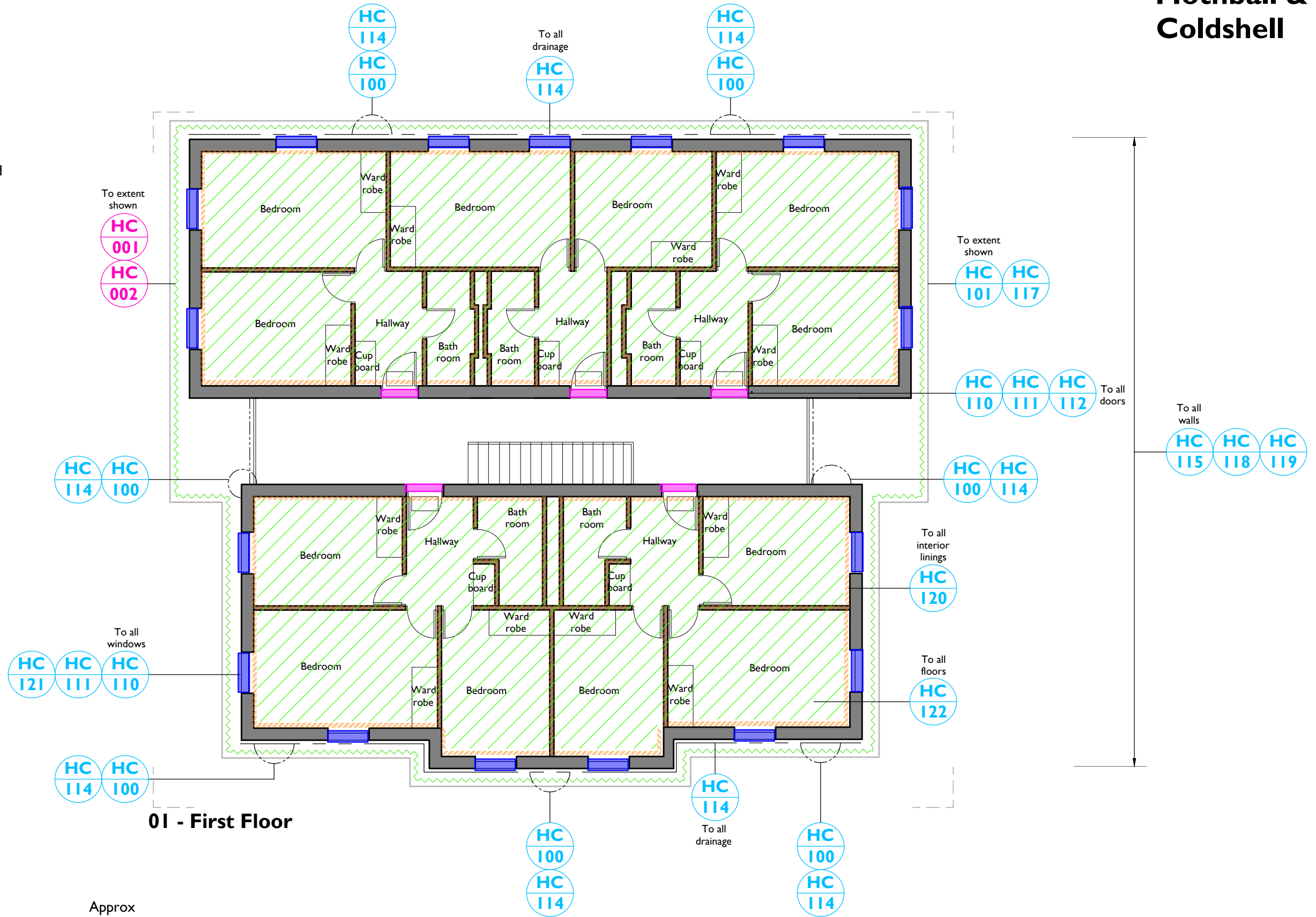
The site is listed on the Victorian Heritage Register (VHR 2190). Any works are subject to a permit and limitations. These drawings and information have been prepared for diagrammatic/illustrative purposes only.

Notes: Drawings are based on a supplied diagram and may not accurately represent what is physically present. Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work. All dimensions are in millimetres unless noted otherwise. Purcell shall be notified in writing of any discrepancies.	Key - Vegetation works - Hard landscaping works - Drainage - Floor works - Lining repairs - Door works - Window works	Notes Refer to drawing 7000 for all HC descriptions - Mothball works - Coldshell works	CLIENT Department of Transport and Planning (DTP) JOB NUMBER: 241833 PROJECT: Maidstone	SIZE: A3L SCALE: 1:100@A3 REVISED: 21/03/2023 DRAWN: NJ CHECKED: AR
			TITLE B19 Ground Floor Existing Tiered Approach	REV: 02 DRAWING NUMBER: 1004 SUITABILITY/REASON FOR ISSUE: For Inclusion in Report



General Notes

- Ensure building monitored by alarm, CCTV and security patrol.
- Maintain emergency detection, fire, smoke and perimeter (eg site/flood) lighting.
- Ensure site fire-fighting strategy active, sufficient tank, pump or street resources and, access to building free of obstruction.
- Provide new statutory signage per ASI428 suite.
- Upgrade and/or provide sub-floor ventilation, damp-proofing, building membrane wrapping and water-proofing (to design) Supply and install remote monitored intruder, smoke and thermal detection.
- Provide weather-tight building wrapping.
- Maintain, upgrade, repair spandrel, dado, feature panels and building signage/identifiers.
- Repair/replace flashings and cappings as required.
- Design and implement compatible structural upgrades to sub-floor, floor, wall and roof frames to suit required earthquake, design load and structural design criteria and BCA use class - to review with building surveyor.
- Design and implement new foundation and footing system which interprets historic detail.
- Provide shell upgrades to suit energy efficiency measures - to advice from building surveyor upon extent.
- Provide wall, ceiling, floor and roof sheet insulation as applicable.
- Supply and install emergency lighting, egress signage, smoke & thermal detection, fire extinguishers, fire, smoke and perimeter (eg site/flood) lighting.
- Provide essential safety and capped, wired services (eg electrical, plumbing, HVAC) to suit tenant type and BCA use class. Provide temporary fittings for replacement by tenant. Provide artificial and power layouts.
- Confirm occupancy numbers - identify required health and amenity provisions, including fully accessible and ambulant requirements (eg kitchen, sanitary facilities, bathrooms, laundries) and determine how these are integrated to suit tenant type and BCA use class - note: it may be BCA/Occupancy requires full fitout of select facilities prior to hand-over (building surveyor to advise).



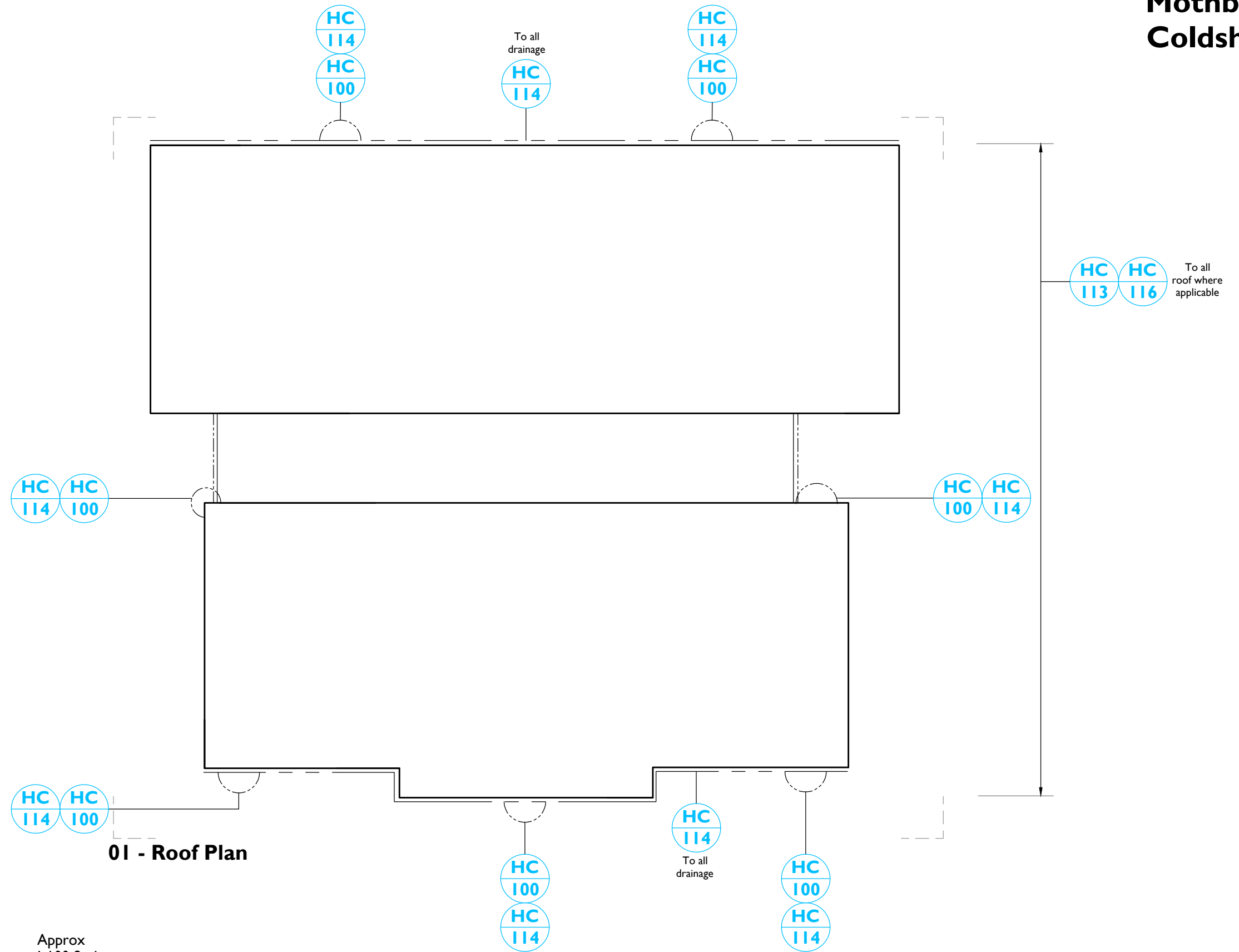
I B19 Existing First Floor -Tiered Approach 1005 Approx 1:100@A3

The site is listed on the Victorian Heritage Register (VHR 2190). Any works are subject to a permit and limitations. These drawings and information have been prepared for diagrammatic/illustrative purposes only.

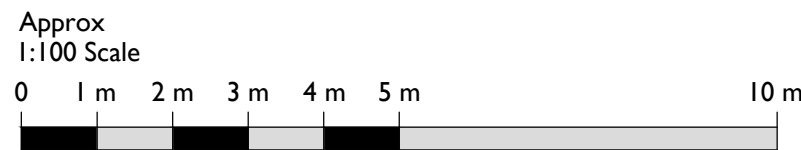
Notes: Drawings are based on a supplied diagram and may not accurately represent what is physically present. Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work. All dimensions are in millimetres unless noted otherwise. Purcell shall be notified in writing of any discrepancies.	Key - Floor works - Vegetation works - Lining repairs - Door works - Window works - Hard landscaping works - Drainage	Notes Refer to drawing 7000 for all HC descriptions - Mothball works - Coldshell works	CLIENT Department of Transport and Planning (DTP) JOB NUMBER PROJECT 241833 Maidstone	SIZE SCALE A3L 1:100@A3 REV SUITABILITY/REASON FOR ISSUE 02 For Inclusion in Report DRAWING NUMBER 1005	
			REV DATE DRAWN DESCRIPTION 02 21/03/2023 NJ For Inclusion in Report 01 01/12/2022 NJ Initial Client Comment	© Purcell 2021. Purcell is the trading name of Purcell Asia Pacific Limited ABN: 23 609 207 301 ARBV Registered Architectural Company 51926 info@purcellau.com	

General Notes

- Ensure building monitored by alarm, CCTV and security patrol.
- Maintain emergency detection, fire, smoke and perimeter (eg site/flood) lighting.
- Ensure site fire-fighting strategy active, sufficient tank, pump or street resources and, access to building free of obstruction.
- Provide new statutory signage per ASI 428 suite.
- Upgrade and/or provide sub-floor ventilation, damp-proofing, building membrane wrapping and water-proofing (to design) Supply and install remote monitored intruder, smoke and thermal detection.
- Provide weather-tight building wrapping.
- Maintain, upgrade, repair spandrel, dado, feature panels and building signage/identifiers.
- Repair/replace flashings and cappings as required.
- Design and implement compatible structural upgrades to sub-floor, floor, wall and roof frames to suit required earthquake, design load and structural design criteria and BCA use class - to review with building surveyor.
- Design and implement new foundation and footing system which interprets historic detail.
- Provide shell upgrades to suit energy efficiency measures - to advice from building surveyor upon extent.
- Provide wall, ceiling, floor and roof sheet insulation as applicable.
- Supply and install emergency lighting, egress signage, smoke & thermal detection, fire extinguishers, fire, smoke and perimeter (eg site/flood) lighting.
- Provide essential safety and capped, wired services (eg electrical, plumbing, HVAC) to suit tenant type and BCA use class. Provide temporary fittings for replacement by tenant. Provide artificial and power layouts.
- Confirm occupancy numbers - identify required health and amenity provisions, including fully accessible and ambulant requirements (eg kitchen, sanitary facilities, bathrooms, laundries) and determine how these are integrated to suit tenant type and BCA use class - note: it may be BCA/Occupancy requires full fitout of select facilities prior to hand-over (building surveyor to advise).



01 - Roof Plan



I B19 Existing Roof Plan - Tiered Approach
1006 Approx 1:100@A3

The site is listed on the Victorian Heritage Register (VHR 2190). Any works are subject to a permit and limitations. These drawings and information have been prepared for diagrammatic/illustrative purposes only.

Notes:
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Purcell shall be notified in writing of any discrepancies.

Key
----- Drainage

- Notes**
- Refer to drawing 7000 for all HC descriptions
 - Extent of roof repairs to be confirmed upon access

REV	DATE	DRAWN	DESCRIPTION
02	21/03/2023	NJ	For Inclusion in Report
01	01/12/2022	NJ	Initial Client Comment

CLIENT
Department of Transport and Planning (DTP)
JOB NUMBER: 241833
PROJECT: Maidstone

TITLE
B19 First Floor Existing Tiered Approach

SIZE: A3L
SCALE: 1:100@A3
REVISED: 21/03/2023
DRAWN: NJ
CHECKED: AR

REV: 02
SUITABILITY/REASON FOR ISSUE: For Inclusion in Draft Report
DRAWING NUMBER: 1006



SCHEDULE OF CONSERVATION WORKS

HC NOTE ID	HC SUMMARY	HC SCOPE OF WORKS
MOTHBALL		
SITE AND LANDSCAPE (GROUNDWORKS/SURVEILLANCE)		
HC-001	Vegetation management	Ensure vegetation, grass or ground cover trimmed at monthly intervals or otherwise to ensure clear visibility of all built items, remove entrapment or blind spots.
HC-002	Debris clearance	Remove vegetation, rubbish and other material that could create a fire hazard
HC-003	Stormwater works	Undertake temporary works (as required) to divert stormwater away from building and ensure free-drainage.
HC-004	Drainage works	Ensure all drainage (roof and ground) connected to sub-surface drainage systems and fully active, inspect and clear blockages.
HC-005	Hard landscaping	Consider erection of gated chain-link fence or construction hoarding to margin around all facades of building.
EXTERNAL ENVELOPE (FACADES, ROOF, SERVICES SUPPLY)		
HC-010	Security	Secure or board-up windows and doors and previous (redundant) penetrations.
HC-011	Security	Install double-keys to nominated doorways for controlled access and egress
HC-012	Weather proofing	Ensure external envelope of building is wind and water tight, install local patches to roof or wall (to detail).
HC-013	Weather proofing	Maintain and repair roofs, walls, doors and windows and other components intended to exclude weather elements, including their security against the effects of high winds.
HC-014	Rainwater goods repairs	Ensure all rainwater goods (gutters and downpipes) fully engaged and regularly maintained, repaired as required. Inspect, maintain and clear-out, remove debris as required. Provide connections to site stormwater.
INTERNAL DECORATION (WALLS, SERVICES, FITOUT)		
HC-020	Lining repairs	Remove damaged/deteriorated and non-significant internal linings & fitout where these obstruct line-of-sight or viewing of structural elements.
HC-021	FF&E	Remove all non-significant loose FF&E items.
COLDSHELL		
SITE AND LANDSCAPE (GROUNDWORKS/SURVEILLANCE)		
HC-100	Drainage and stormwater	Provide compliant roof drainage system (sympathetic to historic detail) and connect to site stormwater or legal point of discharge. Provide compliant roof access system.
HC-101	Hard landscaping	Provide new access path, stair and/or access ramp to suit primary and secondary entries, complete with barriers and accessories per ASI428 suite.
HC-102	Signage	Provide new statutory signage per ASI428 suite.
EXTERNAL ENVELOPE (FACADES, ROOF, SERVICES SUPPLY)		
HC-110	Door/window treatment	Remove temporary covers, repair/replace opening treatments to reinstate historic detail, install new hardware.

HC-111	Door/window treatment	Maintain, upgrade, repair door and window frames, repair/replace door treatments and hardware, repair/replace glazed sashes following removal of covers. Verify no. of required exits, upgrade doors to suit fire and egress requirements. Provide new thresholds at entries for universal access. Provide permanent covers/linings to previous penetrations. Renew paint finishes and achieve required luminescence contrast at doorways.
HC-112	Egress treatment	Provide egress hardware & signage to suit BCA use class.
HC-113	Roof repairs	Repair, replace roof sheets or tiles and provide patches as required to provide water-tight roof coverings. Repair, repair and/or upgrade secondary framing systems to suit structural or other upgrades.
HC-014	Rainwater goods	Maintain, upgrade or replace as required gutters, downpipes, sumps, heads and stormwater connections in matching, heritage appropriate or technically compatible metal.
HC-015	Masonry repairs	Maintain, upgrade, repair wall linings/ construction, repair cracking to brickwork, re-point or repair masonry units, attend to salt/damp staining.
HC-016	Roof finishes	If roof cover was previously painted, paint finish may require removal (hazmat) or over-painting - this needs to consider the visual impact of other repairs to roof cover.
HC-117	External treatments	Upgrade existing access path, stair and/or access ramp and associated barriers, rails, signage, accessories and indicators to suit primary and secondary entries, per ASI428 suite.
HC-118	Fire treatment	Upgrade linings (non-combustible) and fire-resisting construction to suit proximity from other buildings or protection measures. Provide hydrants and fire hose reels
HC-119	Painted finishes	Re-paint all previously painted surfaces to historic colour investigations.
INTERNAL DECORATION (WALLS, SERVICES, FITOUT)		
HC-120	Ventilation	Provide operable windows, mechanical ventilation or air-conditioning to achieve required air-change cycles
HC-121	Linings treatment	Make-good drummy plaster and damage to internal linings where no risk of failure. Where previously removed (eg for relocation or where damaged), do not reinstate internal linings.
HC-122	Floor treatment	Remove existing (including ACM as required), clean and maintain current screed/substrate to flooring in preparation for works by others.
WARMSHELL		
INTERNAL DECORATION (WALLS, SERVICES, FITOUT)		
HC-200	Linings treatment	Repair/replace damaged internal linings. Provide all internal linings, partitions, ceilings and associated secondary framing to suit future use and spatial configuration.
HC-201	Floor treatment	Remove existing (including ACM as required) and provide floor finishes or polished floorboards
HC-202	Painted finishes	Re-paint all previously painted surfaces to historic colour investigations. Paint all linings, finishes where nominated.

Notes: 21/03/2023 15:53:52

Drawings are based on survey data and may not accurately represent what is physically present.

Do not scale from this drawing. All dimensions are to be verified on site before proceeding with the work.


All dimensions are in millimeters unless noted otherwise.

Purcell shall be notified in writing of any discrepancies.

02	21/03/2023	NJ	For Inclusion in Report
01	01/12/2022	NJ	Initial Client Comment
REV	DATE	DRAWN	DESCRIPTION

CLIENT
Department of Transport and Planning (DTP)
PROJECT

Maidstone
JOB NUMBER
241833



TITLE
Schedule of Conservation Works

SIZE	SCALE	LAST REVISED	DRAWN	CHECKED
A3L	N/A	21/03/2023	NJ	AR

REV
02 For Inclusion in Report

DRAWING NAME
7000

WARM-SHELL

It is anticipated this approach includes all cold-shell works and can provide a building or space ready for commercial lease, with building classification and ready to receive tenant improvements (eg fit out, internal partitions, cabinetwork, tenancy services, signage), with base-building, drop-ceilings, plumbing, internal lighting, HVAC, essential safety, universal access, common or core services (eg shared sanitary amenities, electrical and ICT cupboards, mechanical plant) provided by owner/landlord.

Until occupancy occurs, it is recommended life-safety, security monitoring and thermal/smoke detection be installed either to each building/across the site.

The anticipated scope of works are as follows below.

BUILDING ELEMENT	SCOPE OF WORKS
<p>Building Management and Maintenance <i>Preliminary works to be undertaken both before and during works to the building.</i></p>	<p>Administrative</p> <ul style="list-style-type: none"> • Maintain risk register of contamination, non-compliance for personnel required to enter space. • Undertake regular inspection and attend to recommendations until works implemented. • Prepare built heritage management and construction management plan to support implementation of the works. Upon completion, update conservation management plan to reflect approved site changes. • If item proposed to be relocated, provide details/ method statement of removal process and relocation method, including details for reinstatement.
<p>Site and Landscape <i>Including, but not limited to, groundworks and surveillance.</i></p>	<p>Security</p> <ul style="list-style-type: none"> • Ensure building monitored by alarm, CCTV and security patrol. • Provide new statutory signage per AS1428 suite. <p>Vegetation</p> <ul style="list-style-type: none"> • Ensure vegetation, grass or ground cover trimmed at monthly intervals or otherwise to ensure clear visibility of all built items, remove entrapment or blind spots. <p>Drainage</p> <ul style="list-style-type: none"> • Provide compliant roof drainage system (sympathetic to historic detail) and connect to site stormwater or legal point of discharge. Provide compliant roof access system. <p>Access</p> <ul style="list-style-type: none"> • Provide new access path, stair and/or access ramp to suit primary and secondary entries, complete with barriers and accessories per AS1428 suite. <p>Fire Safety</p> <ul style="list-style-type: none"> • Maintain emergency detection, fire, smoke and perimeter (eg site/flood) lighting. • Ensure site fire-fighting strategy active, sufficient tank, pump or street resources and, access to building free of obstruction. • Remove vegetation, rubbish and other material that could create a fire hazard.
<p>External Envelope <i>Including, but not limited to, facades, roof and services supply.</i></p>	<p>Door and Windows</p> <ul style="list-style-type: none"> • Remove temporary covers, repair/replace opening treatments to reinstate historic detail, install new hardware.

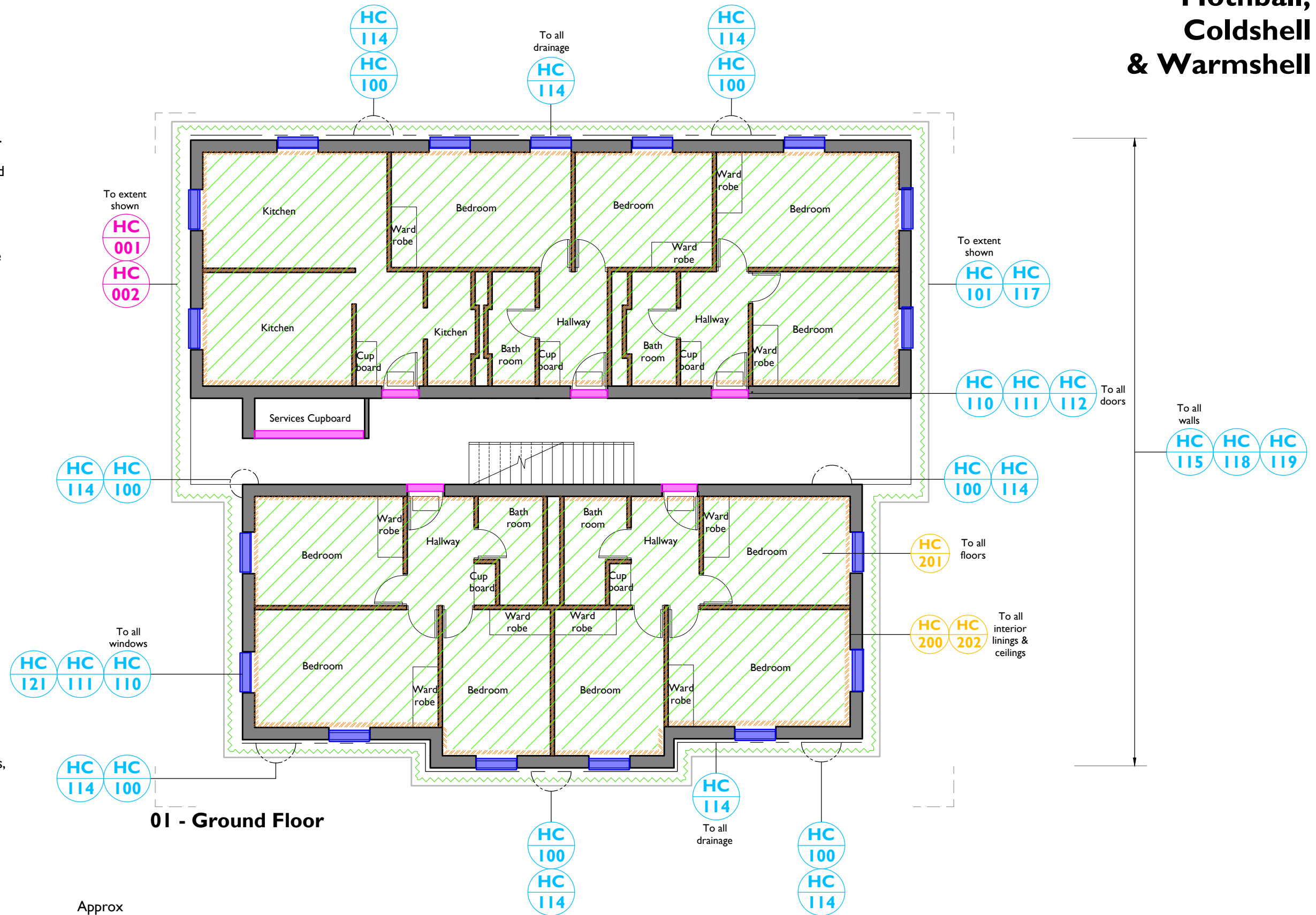
BUILDING ELEMENT	SCOPE OF WORKS
	<ul style="list-style-type: none"> • Maintain, upgrade, repair door and window frames, repair/replace door treatments and hardware, repair/replace glazed sashes following removal of covers. • Verify no. of required exits, upgrade doors to suit fire and egress requirements. • Provide new thresholds at entries for universal access. • Provide permanent covers/linings to previous penetrations. • Renew paint finishes and achieve required luminescence contrast at doorways. • Provide egress hardware & signage to suit BCA use class. <p>Roof</p> <ul style="list-style-type: none"> • Repair, replace roof sheets or tiles and provide patches as required to provide water-tight roof coverings. • Repair, repair and/or upgrade secondary framing systems to suit structural or other upgrades. • Repair/replace flashings and cappings as required. • If roof cover was previously painted, paint finish may require removal (hazmat) or over-painting - this needs to consider the visual impact of other repairs to roof cover. <p>Rainwater Goods</p> <ul style="list-style-type: none"> • Maintain, upgrade or replace as required gutters, downpipes, sumps, heads and stormwater connections in matching, heritage appropriate or technically compatible metal. <p>Shell</p> <ul style="list-style-type: none"> • Maintain, upgrade, repair wall linings/ construction, repair cracking to brickwork, re-point or repair masonry units, attend to salt/damp staining. • Provide weather-tight building wrapping. • Maintain, upgrade, repair spandrel, dado, feature panels and building signage/identifiers. • Provide shell upgrades to suit energy efficiency measures - to advice from building surveyor upon extent. • Provide wall, ceiling, floor, and roof sheet insulation as applicable. • Upgrade and/or provide sub-floor ventilation, damp-proofing, building membrane wrapping and water-proofing (to design). • Design and implement compatible structural upgrades to sub-floor, floor, wall and roof frames to suit required earthquake, design load and structural design criteria and BCA use class - to review with building surveyor. • Design and implement new foundation and footing system which interprets historic detail. <p>Access</p> <ul style="list-style-type: none"> • Upgrade existing access path, stair and/or access ramp and associated barriers, rails, signage, accessories and indicators to suit primary and secondary entries, per ASI428 suite. <p>Fire Safety</p> <ul style="list-style-type: none"> • Upgrade linings (non-combustible) and fire-resisting construction to suit proximity from other buildings or protection measures.

BUILDING ELEMENT	SCOPE OF WORKS
	<ul style="list-style-type: none"> • Provide hydrants and fire hose reels • Re-paint all previously painted surfaces to historic colour investigations.
<p>Internal Envelope <i>Including, but not limited to, walls, services, and fitout.</i></p>	<p>Security</p> <ul style="list-style-type: none"> • Supply and install emergency lighting, egress signage, smoke & thermal detection, fire extinguishers, fire, smoke and perimeter (eg site/flood) lighting. <p>Fixtures and Fittings</p> <ul style="list-style-type: none"> • Provide fixed lighting, electrical, HVAC, fire detection services, including all ducting, cable trays/conduits, outlets, registers, fittings to use tenant type and BCA use class. • Provide operable windows, mechanical ventilation or air-conditioning to achieve required air-change cycles. <p>Fitout</p> <ul style="list-style-type: none"> • Repair/replace damaged internal linings. • Provide all internal linings, partitions, ceilings and associated secondary framing to suit future use and spatial configuration. • Remove existing (including ACM as required) and provide floor finishes or polished floorboards. • Confirm occupancy numbers - identify required health and amenity provisions, including fully accessible and ambulant requirements (eg kitchen, sanitary facilities, bathrooms, laundries) and determine how these are integrated to suit tenant type and BCA use class. Provide full fitout of all kitchens, sanitary facilities, bathrooms, laundries. • Re-paint all previously painted surfaces to historic colour investigations. • Paint all linings, finishes where nominated.

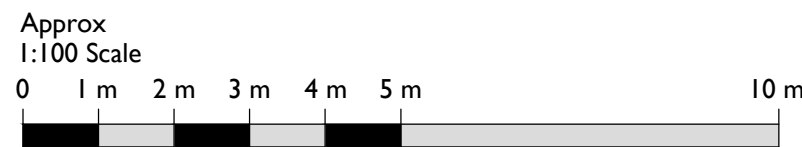
Overleaf is a ground, first and roof plan diagram showing these anticipated works.

General Notes

- Ensure building monitored by alarm, CCTV and security patrol.
- Maintain emergency detection, fire, smoke and perimeter (eg site/flood) lighting.
- Ensure site fire-fighting strategy active, sufficient tank, pump or street resources and, access to building free of obstruction.
- Provide new statutory signage per ASI428 suite.
- Upgrade and/or provide sub-floor ventilation, damp-proofing, building membrane wrapping and water-proofing (to design) Supply and install remote monitored intruder, smoke and thermal detection.
- Provide weather-tight building wrapping.
- Maintain, upgrade, repair spandrel, dado, feature panels and building signage/identifiers.
- Repair/replace flashings and cappings as required.
- Design and implement compatible structural upgrades to sub-floor, floor, wall and roof frames to suit required earthquake, design load and structural design criteria and BCA use class - to review with building surveyor.
- Design and implement new foundation and footing system which interprets historic detail.
- Provide shell upgrades to suit energy efficiency measures - to advice from building surveyor upon extent.
- Provide wall, ceiling, floor and roof sheet insulation as applicable.
- Supply and install emergency lighting, egress signage, smoke & thermal detection, fire extinguishers, fire, smoke and perimeter (eg site/flood) lighting.
- Provide fixed lighting, electrical, HVAC, fire detection services, including all ducting, cable trays/conduits, outlets, registers, fittings to use tenant type and BCA use class.
- Confirm occupancy numbers - identify required health and amenity provisions, including fully accessible and ambulant requirements (eg kitchen, sanitary facilities, bathrooms, laundries) and determine how these are integrated to suit tenant type and BCA use class. Provide full fitout of all kitchen, sanitary facilities, bathrooms, laundries



01 - Ground Floor



I B19 Existing Ground Floor - Tiered Approach
1007 Approx 1:100@A3

The site is listed on the Victorian Heritage Register (VHR 2190). Any works are subject to a permit and limitations. These drawings and information have been prepared for diagrammatic/illustrative purposes only.

Notes:
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Key	
	Floor works
	Vegetation works
	Hard landscaping works
	Drainage
	Lining repairs
	Door works
	Window works

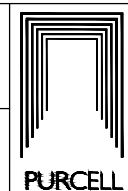
Notes	
	Mothball works
	Coldshell works
	Warmshell works

Refer to drawing 7000 for all HC descriptions

REV	DATE	DRAWN	DESCRIPTION
02	21/03/2023	NJ	For Inclusion in Report
01	01/12/2022	NJ	Initial Client Comment

CLIENT Department of Transport and Planning (DTP)	
JOB NUMBER 241833	PROJECT Maidstone
TITLE B19 Ground Floor Existing Tiered Approach	

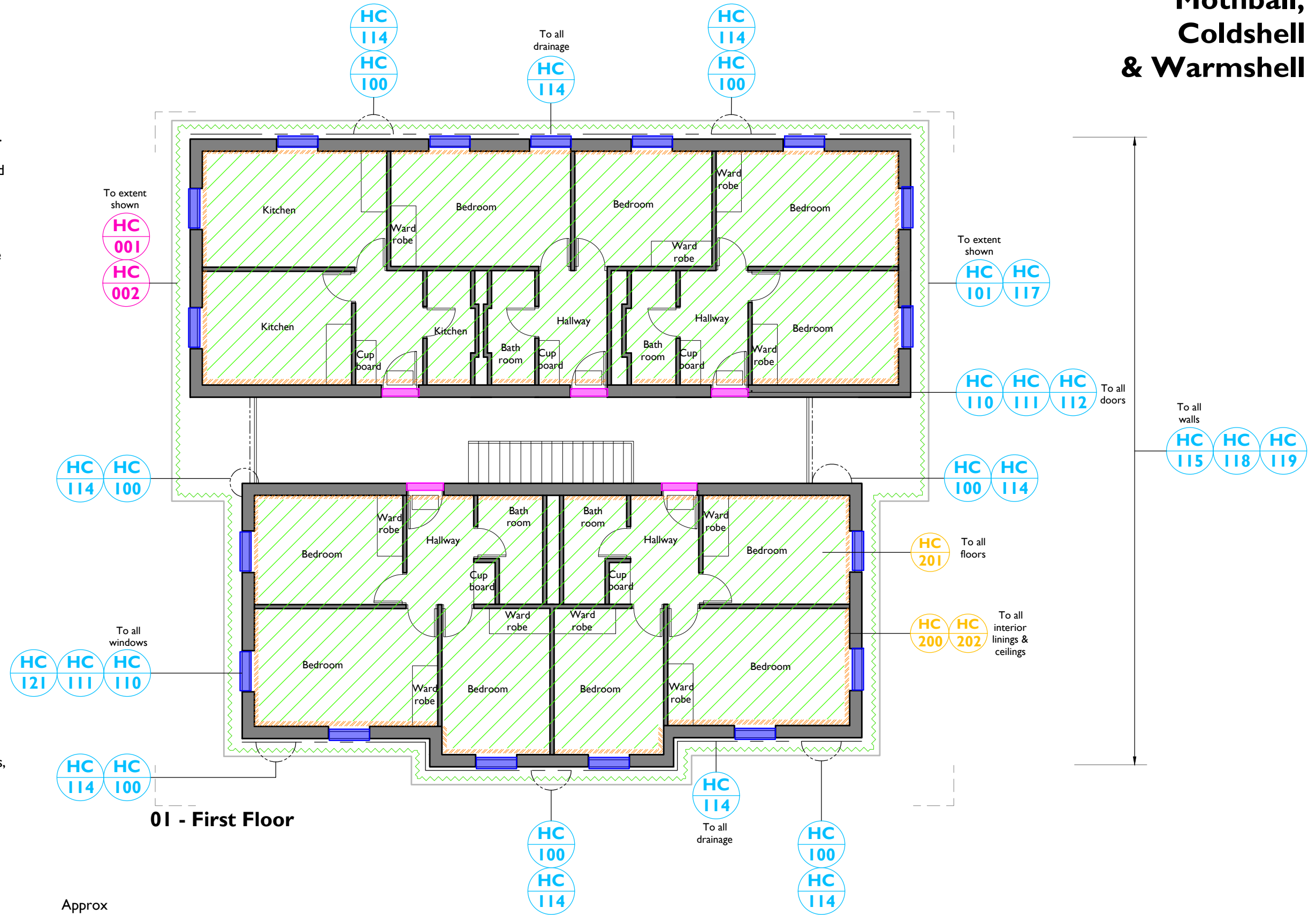
SIZE A3L	SCALE 1:100@A3	REVISED 21/03/2023	DRAWN NJ	CHECKED AR
REV SUITABILITY/REASON FOR ISSUE 02 For Inclusion in Report				
DRAWING NUMBER 1007				



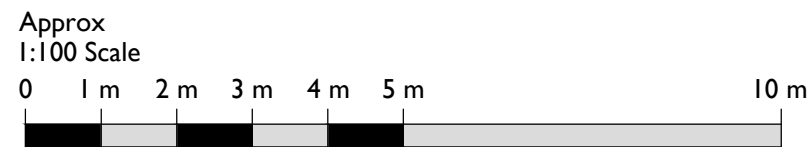
Mothball, Coldshell & Warmshell

General Notes

- Ensure building monitored by alarm, CCTV and security patrol.
- Maintain emergency detection, fire, smoke and perimeter (eg site/flood) lighting.
- Ensure site fire-fighting strategy active, sufficient tank, pump or street resources and, access to building free of obstruction.
- Provide new statutory signage per ASI428 suite.
- Upgrade and/or provide sub-floor ventilation, damp-proofing, building membrane wrapping and water-proofing (to design) Supply and install remote monitored intruder, smoke and thermal detection.
- Provide weather-tight building wrapping.
- Maintain, upgrade, repair spandrel, dado, feature panels and building signage/identifiers.
- Repair/replace flashings and cappings as required.
- Design and implement compatible structural upgrades to sub-floor, floor, wall and roof frames to suit required earthquake, design load and structural design criteria and BCA use class - to review with building surveyor.
- Design and implement new foundation and footing system which interprets historic detail.
- Provide shell upgrades to suit energy efficiency measures - to advice from building surveyor upon extent.
- Provide wall, ceiling, floor and roof sheet insulation as applicable.
- Supply and install emergency lighting, egress signage, smoke & thermal detection, fire extinguishers, fire, smoke and perimeter (eg site/flood) lighting.
- Provide fixed lighting, electrical, HVAC, fire detection services, including all ducting, cable trays/conduits, outlets, registers, fittings to use tenant type and BCA use class.
- Confirm occupancy numbers - identify required health and amenity provisions, including fully accessible and ambulant requirements (eg kitchen, sanitary facilities, bathrooms, laundries) and determine how these are integrated to suit tenant type and BCA use class. Provide full fitout of all kitchen, sanitary facilities, bathrooms, laundries



01 - First Floor



I B19 Existing First Floor - Tiered Approach
1008 Approx 1:100@A3

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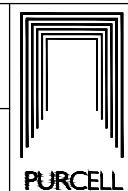
Key	
	Floor works
	Vegetation works
	Hard landscaping works
	Drainage
	Lining repairs
	Door works
	Window works
	Mothball works
	Coldshell works
	Warmshell works

Notes
Refer to drawing 7000 for all HC descriptions

REV	DATE	DRAWN	DESCRIPTION
02	21/03/2023	NJ	For Inclusion in Report
01	01/12/2022	NJ	Initial Client Comment

CLIENT Department of Transport and Planning (DTP)	
JOB NUMBER 241833	PROJECT Maidstone
TITLE B19 First Floor Existing Tiered Approach	

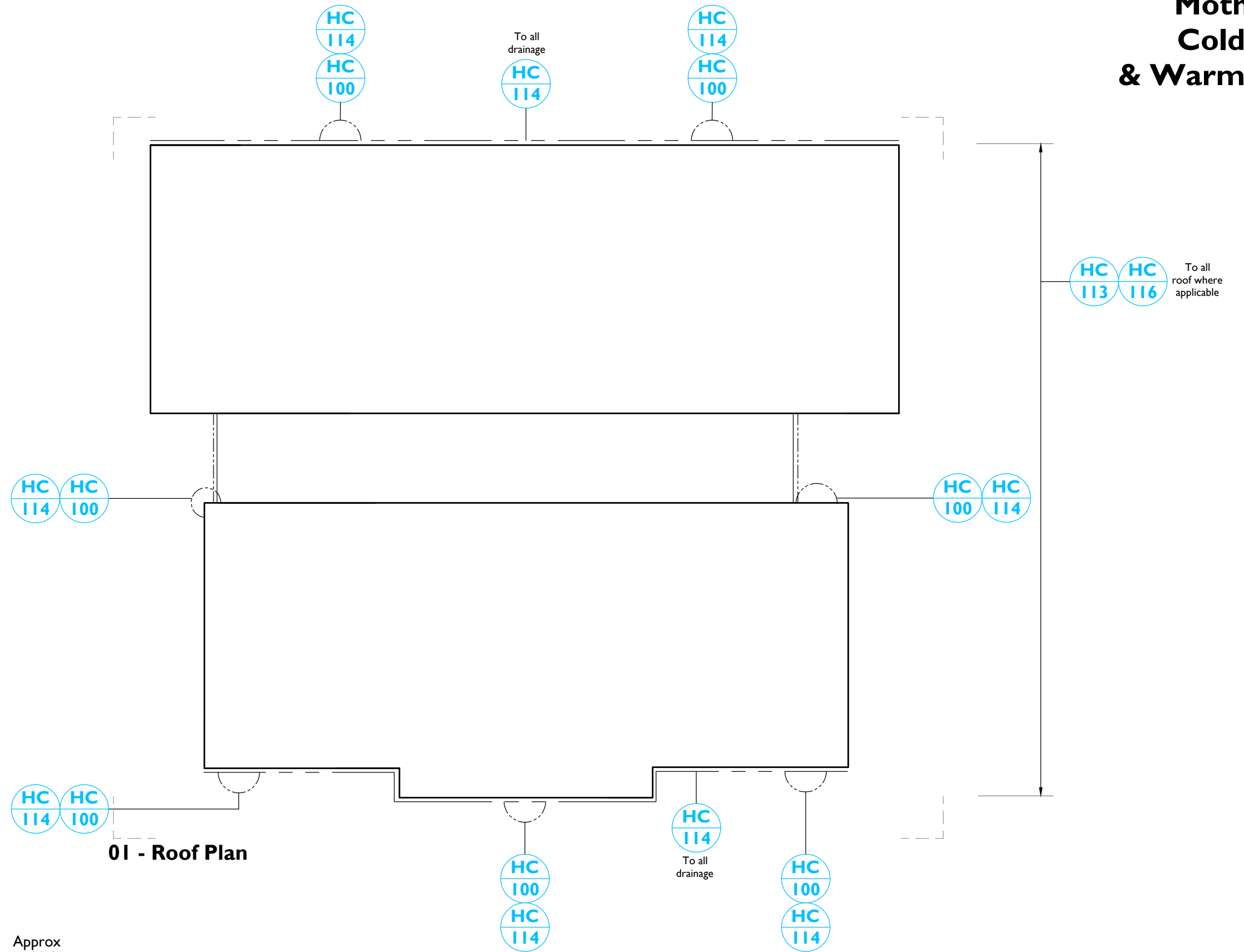
SIZE A3L	SCALE 1:100@A3	REVISED 21/03/2023	DRAWN NJ	CHECKED AR
REV SUITABILITY/REASON FOR ISSUE 02 For Inclusion in Report				
DRAWING NUMBER 1008				



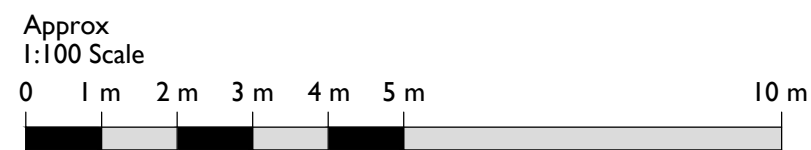
Mothball, Coldshell & Warmshell

General Notes

- Ensure building monitored by alarm, CCTV and security patrol.
- Maintain emergency detection, fire, smoke and perimeter (eg site/flood) lighting.
- Ensure site fire-fighting strategy active, sufficient tank, pump or street resources and, access to building free of obstruction.
- Provide new statutory signage per ASI 428 suite.
- Upgrade and/or provide sub-floor ventilation, damp-proofing, building membrane wrapping and water-proofing (to design) Supply and install remote monitored intruder, smoke and thermal detection.
- Provide weather-tight building wrapping.
- Maintain, upgrade, repair spandrel, dado, feature panels and building signage/identifiers.
- Repair/replace flashings and cappings as required.
- Design and implement compatible structural upgrades to sub-floor, floor, wall and roof frames to suit required earthquake, design load and structural design criteria and BCA use class - to review with building surveyor.
- Design and implement new foundation and footing system which interprets historic detail.
- Provide shell upgrades to suit energy efficiency measures - to advice from building surveyor upon extent.
- Provide wall, ceiling, floor and roof sheet insulation as applicable.
- Supply and install emergency lighting, egress signage, smoke & thermal detection, fire extinguishers, fire, smoke and perimeter (eg site/flood) lighting.
- Provide essential safety and capped, wired services (eg electrical, plumbing, HVAC) to suit tenant type and BCA use class. Provide temporary fittings for replacement by tenant. Provide artificial and power layouts.
- Confirm occupancy numbers - identify required health and amenity provisions, including fully accessible and ambulant requirements (eg kitchen, sanitary facilities, bathrooms, laundries) and determine how these are integrated to suit tenant type and BCA use class - note: it may be BCA/Occupancy requires full fitout of select facilities prior to hand-over (building surveyor to advise).



01 - Roof Plan



I B19 Existing Roof Plan - Tiered Approach
1009 Approx 1:100@A3

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Key
----- Drainage

Notes

- Refer to drawing 7000 for all HC descriptions
- Extent of roof repairs to be confirmed upon access

REV	DATE	DRAWN	DESCRIPTION
02	21/03/2023	NJ	For Inclusion in Report
01	01/12/2022	NJ	Initial Client Comment

CLIENT
Department of Transport and Planning (DTP)
JOB NUMBER: 241833 PROJECT: Maidstone

TITLE
B19 Roof Plan Existing Tiered Approach

SIZE A3L **SCALE** 1:100@A3 **REVISED** 21/03/2023 **DRAWN** NJ **CHECKED** AR

REV 02 **SUITABILITY/REASON FOR ISSUE** For Inclusion in Report
DRAWING NUMBER 1009



SCHEDULE OF CONSERVATION WORKS

HC NOTE ID	HC SUMMARY	HC SCOPE OF WORKS
MOTHBALL		
SITE AND LANDSCAPE (GROUNDWORKS/SURVEILLANCE)		
HC-001	Vegetation management	Ensure vegetation, grass or ground cover trimmed at monthly intervals or otherwise to ensure clear visibility of all built items, remove entrapment or blind spots.
HC-002	Debris clearance	Remove vegetation, rubbish and other material that could create a fire hazard
HC-003	Stormwater works	Undertake temporary works (as required) to divert stormwater away from building and ensure free-drainage.
HC-004	Drainage works	Ensure all drainage (roof and ground) connected to sub-surface drainage systems and fully active, inspect and clear blockages.
HC-005	Hard landscaping	Consider erection of gated chain-link fence or construction hoarding to margin around all facades of building.
EXTERNAL ENVELOPE (FACADES, ROOF, SERVICES SUPPLY)		
HC-010	Security	Secure or board-up windows and doors and previous (redundant) penetrations.
HC-011	Security	Install double-keys to nominated doorways for controlled access and egress
HC-012	Weather proofing	Ensure external envelope of building is wind and water tight, install local patches to roof or wall (to detail).
HC-013	Weather proofing	Maintain and repair roofs, walls, doors and windows and other components intended to exclude weather elements, including their security against the effects of high winds.
HC-014	Rainwater goods repairs	Ensure all rainwater goods (gutters and downpipes) fully engaged and regularly maintained, repaired as required. Inspect, maintain and clear-out, remove debris as required. Provide connections to site stormwater.
INTERNAL DECORATION (WALLS, SERVICES, FITOUT)		
HC-020	Lining repairs	Remove damaged/deteriorated and non-significant internal linings & fitout where these obstruct line-of-sight or viewing of structural elements.
HC-021	FF&E	Remove all non-significant loose FF&E items.
COLDSHELL		
SITE AND LANDSCAPE (GROUNDWORKS/SURVEILLANCE)		
HC-100	Drainage and stormwater	Provide compliant roof drainage system (sympathetic to historic detail) and connect to site stormwater or legal point of discharge. Provide compliant roof access system.
HC-101	Hard landscaping	Provide new access path, stair and/or access ramp to suit primary and secondary entries, complete with barriers and accessories per ASI428 suite.
HC-102	Signage	Provide new statutory signage per ASI428 suite.
EXTERNAL ENVELOPE (FACADES, ROOF, SERVICES SUPPLY)		
HC-110	Door/window treatment	Remove temporary covers, repair/replace opening treatments to reinstate historic detail, install new hardware.

HC-111	Door/window treatment	Maintain, upgrade, repair door and window frames, repair/replace door treatments and hardware, repair/replace glazed sashes following removal of covers. Verify no. of required exits, upgrade doors to suit fire and egress requirements. Provide new thresholds at entries for universal access. Provide permanent covers/linings to previous penetrations. Renew paint finishes and achieve required luminescence contrast at doorways.
HC-112	Egress treatment	Provide egress hardware & signage to suit BCA use class.
HC-113	Roof repairs	Repair, replace roof sheets or tiles and provide patches as required to provide water-tight roof coverings. Repair, repair and/or upgrade secondary framing systems to suit structural or other upgrades.
HC-014	Rainwater goods	Maintain, upgrade or replace as required gutters, downpipes, sumps, heads and stormwater connections in matching, heritage appropriate or technically compatible metal.
HC-015	Masonry repairs	Maintain, upgrade, repair wall linings/ construction, repair cracking to brickwork, re-point or repair masonry units, attend to salt/damp staining.
HC-016	Roof finishes	If roof cover was previously painted, paint finish may require removal (hazmat) or over-painting - this needs to consider the visual impact of other repairs to roof cover.
HC-117	External treatments	Upgrade existing access path, stair and/or access ramp and associated barriers, rails, signage, accessories and indicators to suit primary and secondary entries, per ASI428 suite.
HC-118	Fire treatment	Upgrade linings (non-combustible) and fire-resisting construction to suit proximity from other buildings or protection measures. Provide hydrants and fire hose reels
HC-119	Painted finishes	Re-paint all previously painted surfaces to historic colour investigations.
INTERNAL DECORATION (WALLS, SERVICES, FITOUT)		
HC-120	Ventilation	Provide operable windows, mechanical ventilation or air-conditioning to achieve required air-change cycles
HC-121	Linings treatment	Make-good drummy plaster and damage to internal linings where no risk of failure. Where previously removed (eg for relocation or where damaged), do not reinstate internal linings.
HC-122	Floor treatment	Remove existing (including ACM as required), clean and maintain current screed/substrate to flooring in preparation for works by others.
WARMSHELL		
INTERNAL DECORATION (WALLS, SERVICES, FITOUT)		
HC-200	Linings treatment	Repair/replace damaged internal linings. Provide all internal linings, partitions, ceilings and associated secondary framing to suit future use and spatial configuration.
HC-201	Floor treatment	Remove existing (including ACM as required) and provide floor finishes or polished floorboards
HC-202	Painted finishes	Re-paint all previously painted surfaces to historic colour investigations. Paint all linings, finishes where nominated.

Notes: 21/03/2023 15:53:52

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02	21/03/2023	NJ	For Inclusion in Report
01	01/12/2022	NJ	Initial Client Comment
REV	DATE	DRAWN	DESCRIPTION

CLIENT
Department of Transport and Planning (DTP)
PROJECT

Maidstone
JOB NUMBER
241833



TITLE
Schedule of Conservation Works

SIZE	SCALE	LAST REVISED	DRAWN	CHECKED
A3L	N/A	21/03/2023	NJ	AR

REV	SUITABILITY/REASON FOR ISSUE
02	For Inclusion in Report

DRAWING NAME
7000

CONCLUSION

This preliminary built heritage advice for the Site provides an initial opinion of how a proposed tiered scope of works could be defined in anticipation of future site planning.

Consistent with Heritage Victoria's minimum standards for maintenance, it is anticipated 'mothball' works, including associated reporting and inspections will continue until such time as decisions for the future use of the Balance of Site occur. Leading into these decisions, it is anticipated the considerations set-out in this report will guide, inform stakeholders, and assist the delineation of 'cold-shell' or 'warm-shell' works reporting or design, ahead of any other works or approvals required for occupancy. It is anticipated these tiers could be refined as part of the site planning phase to suit desired future use and occupancy of the heritage item.

We trust this provides sufficient information and guidance to review the recommendations and identify an agreed way-forward to develop documentation, seek statutory approvals (as applicable) and assign responsibilities to implement the 'mothball' works in advance of further considerations around future site planning and use for the heritage buildings on the Balance of Site.

Purcell Victoria:

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