

conservation
studio

395 Collins Street
Internal Alterations

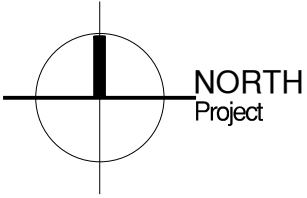
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REVISION	DATE	DESCRIPTION
A	20.01.2025	DRAFT FOR CLIENT
HV1	18.02.2025	PERMIT APPLICATION
HV2	22.04.2025	PERMIT APPLICATION - Rev 1
-	-	-
-	-	-

AERIAL VIEW



LOCATION OF
PROPOSED
WORKS



GENERAL NOTES:

1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS AND SCHEDULES INCLUDING OTHERS CONSULTANTS BUT NOT LIMITED TO STRUCTURAL ENGINEERS DOCUMENTATION, SERVICES ENGINEERS DOCUMENTATION, FIRE ENGINEERING REPORT AND ACOUSTIC REPORT.
2. ALL WORKS SHALL COMPLY WITH RELEVANT AUTHORITY REQUIREMENTS, NATIONAL CONSTRUCTION CODE (NCC) AND AUSTRALIAN STANDARDS (AS).
3. CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSION OF THIS DRAWING AND SITE CONDITIONS PRIOR COMMENCEMENT OF WORK. ANY DISCREPANCY IS TO BE REPORTED FOR CLARIFICATION PRIOR COMMENCEMENT OF THE WORKS.
4. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSION.
5. ALL LEVELS SHOWN ON THE DRAWING ARE TO THE AUSTRALIAN HEIGHT DATUM.
6. THIS SET OF DRAWINGS' ISSUE INCLUDES ALL CLOUDED REVISIONS TAGGED AS THIS REVISION ONLY, AND IS REVISED FOR ALL SETS PREVIOUSLY ISSUED.
7. ALL SHOP DRAWING SHALL BE SUBMITTED TO THE CONSERVATION ARCHITECT. THE MANUFACTURER SHALL NOT COMMENCE ANY WORKS PRIOR TO THE RETURN OF APPROVED SHOP DRAWING SIGNED BY THE RELEVANT CONSULTANT.
8. ALL MATERIALS AND FITTINGS SHALL BE COMPLETED AND FIXED IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINE.
9. ALL STAINLESS STEEL PRODUCT MUST BE GRADE 316.
10. COPYRIGHT OF THIS DRAWING IS VESTED IN CONSERVATION STUDIO AUSTRALIA PTY LTD.

SITE ESTABLISHMENT NOTES:

1. NO ROAD ACCESS IS PROVIDED TO THE SITE WORKS AREA. CONTRACTOR IS TO ARRANGE OWN CAR-PARKING REQUIREMENTS WITH CITY OF MELBOURNE. SKIP BINS MAY BE COORDINATED FOR CAR-PARKING SPACE, OR IN CLEARWAY ZONE - THE RESPONSIBILITY OF THE CONTRACTOR. ON THIS BASIS, ALL WASTE MATERIAL WILL NEED TO BE TRANSPORTED BY HAND FROM SITE WORKS AREA TO THE LOCATION OF THE SKIP BINS - CONTRACTOR IS TO ALLOW FOR ANY TRAFFIC AND PEDESTRIAN MANAGEMENT REQUIREMENTS.

DRAWING REGISTER:

GENERAL
24055.00.00 - GENERAL NOTES
24055.00.01 - SITE PLAN

ENTRANCE RAMP
24055.01.01 - EXISTING/DEMOLITION PLAN-SECTIONS
24055.01.02 - PROPOSED PLAN-SECTION

VAULTS' AIRLOCKS
24055.02.01 - EXISTING/DEMOLITION PLAN-SECTIONS
24055.02.02 - PROPOSED PLAN-SECTIONS

FOR INFORMATION ONLY

CLIENT: Shakespeare Property Group Pty Ltd

565 BOURKE ST Melbourne, Victoria 3000

ARCHITECT:

conservation
studio

The Block Arcade - Level 4 - Suite 421
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contact@conservationstudio.com.au
ARBV 51907 ABN 85 635 338 233

PROJECT: Collins Street - Internal Alterations
ADDRESS: 395 Collins Street, Melbourne 3000, VIC

PROJECT NO.: 24055
DRAWN: MG CHECKED: DB

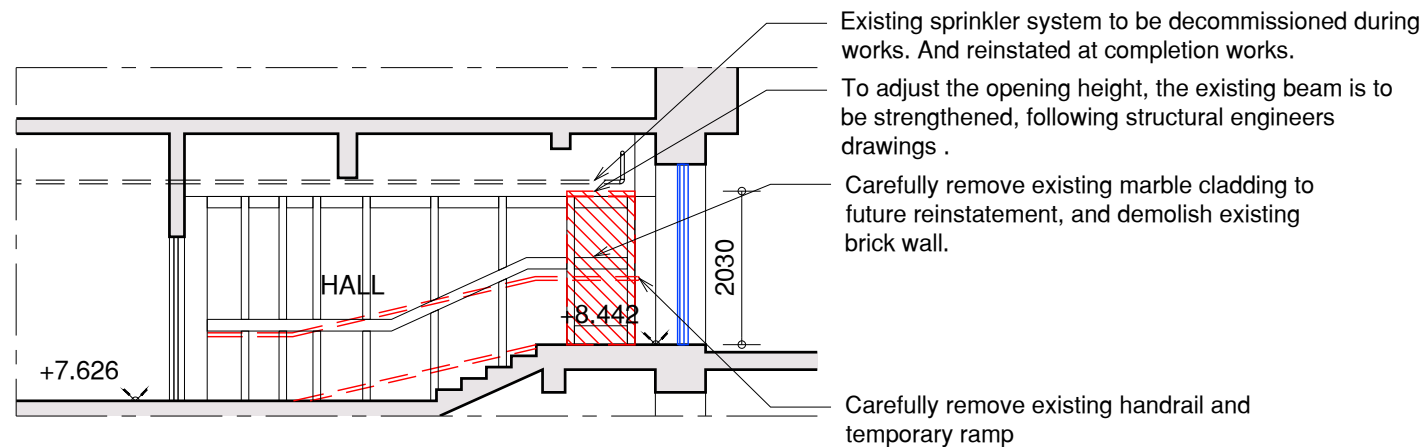
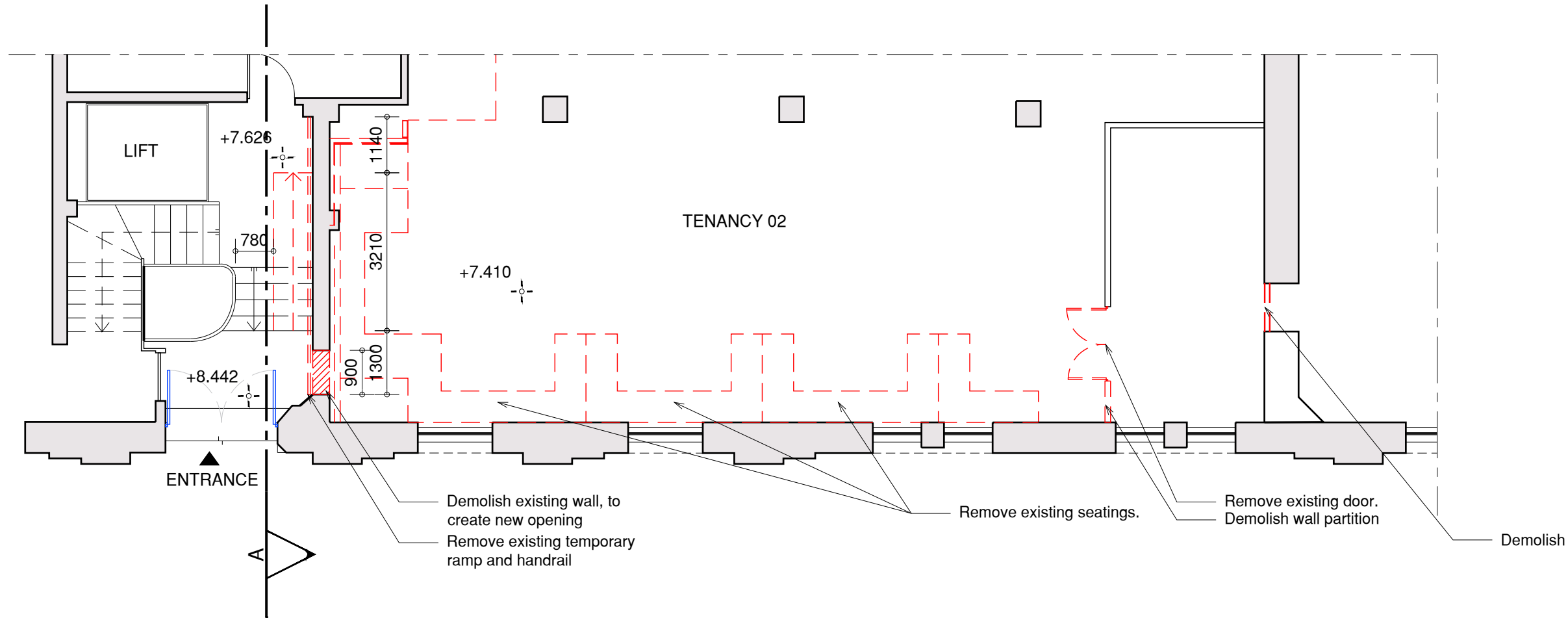
DRAWING TITLE: COVER PAGE
GENERAL NOTES
DRAWING REGISTER

REVISION: HV2
SCALE: -@A1

DRAWING NO.: 24055.00.00



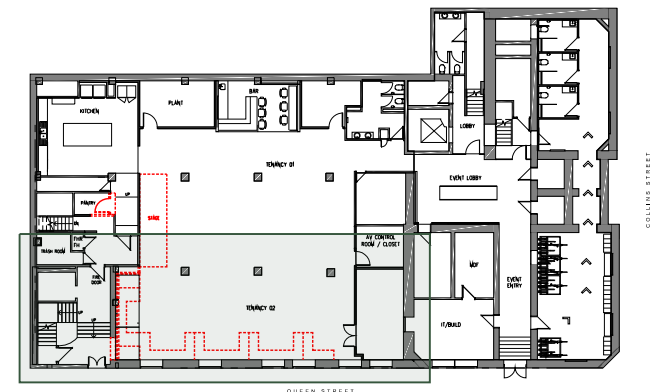
01 EXISTING GROUND FLOOR PLAN
- A3@1:100



LEGEND

- DISMANTLED AND REINSTATE
DEMOLITION WORK
DEMOLITION WORK

SITE PLAN



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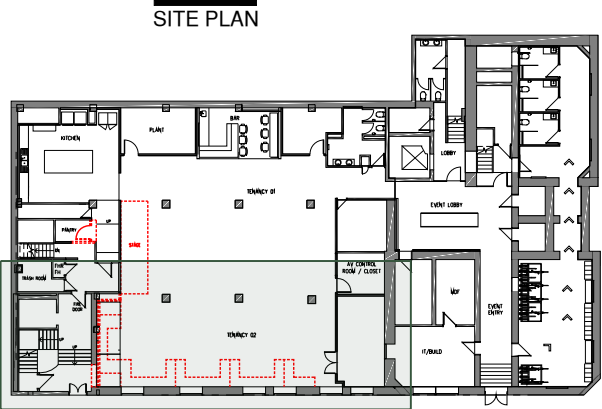
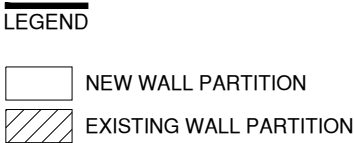
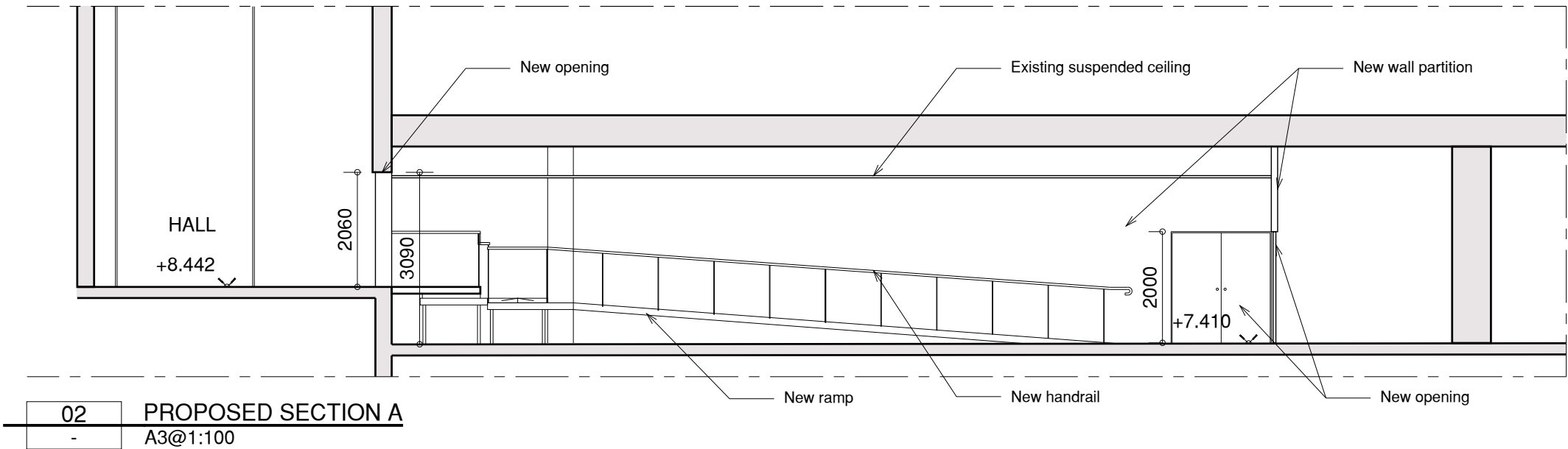
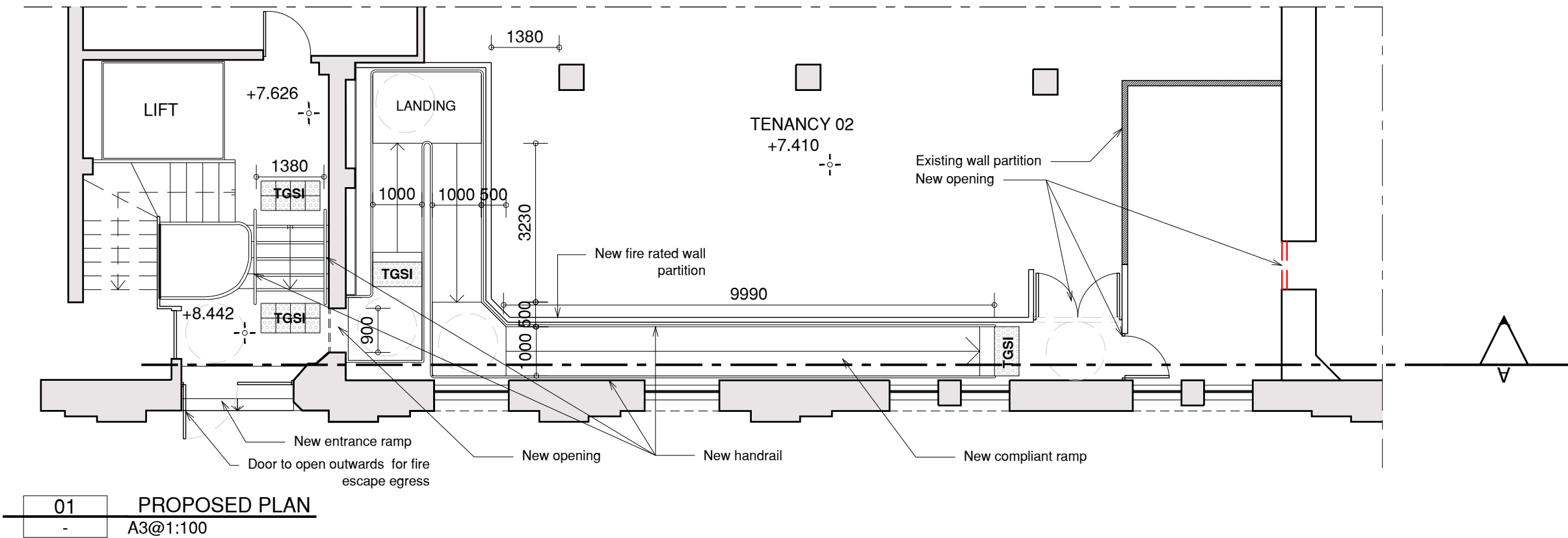
CLIENT: Shakespeare Property Group Pty Ltd
565 BOURKE ST Melbourne, Victoria 3000

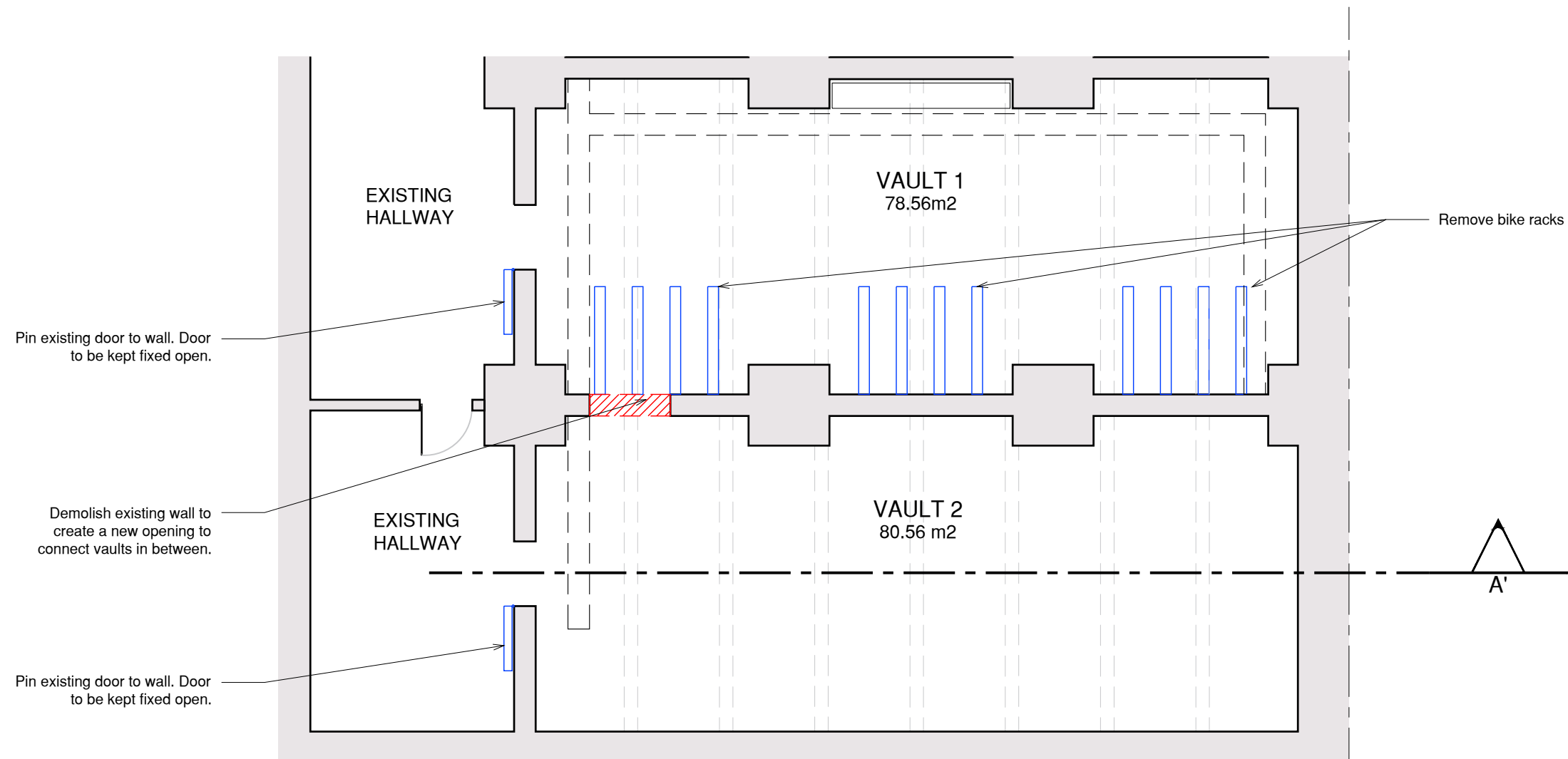
ARCHITECT: conservation studio
The Block Arcade - Level 4 - Suite 421
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ARBV 51907 ABN 85 635 338 233

PROJECT: 395 COLLINS ST
ADDRESS: 395 COLLINS STREET
PROJECT NO.: 24 055
DRAWN: MG **CHECKED:** DB

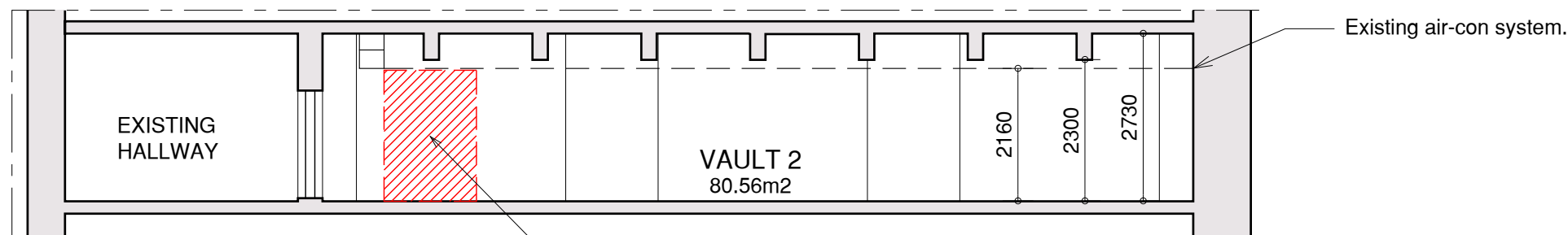
DRAWING TITLE: ENTRANCE RAMP EXISTING/DEMOLITION PLAN-SECTION
REVISION: HV2 **DRAWING NO.:** 24055.01.01
SCALE: 1:100@A3

OPTION 1 - RAMP





01 EXISTING PLAN
- A3@1:100

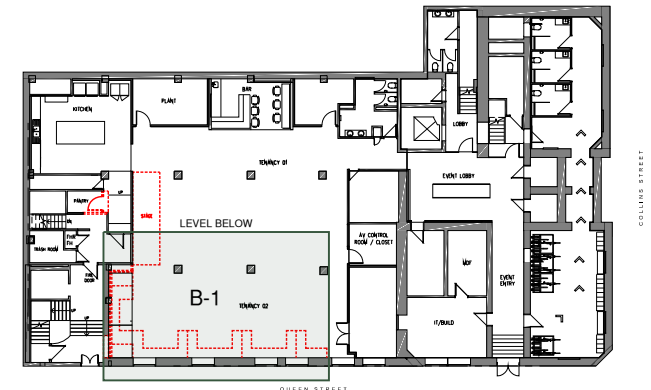


02 SECTION A
- A3@1:100

LEGEND

- DISMANTLED AND REINSTATE
- DEMOLITION WORK
- DEMOLITION WORK

SITE PLAN



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PROJECT: 395 COLLINS ST
ADDRESS: 395 COLLINS STREET

PROJECT NO.: 24 055
DRAWN: MG **CHECKED:** DB

DRAWING TITLE: VAULTS AIRLOCKS
EXISTING/DEMOLITION
PLAN-SECTION

REVISION: HV2 **DRAWING NO.:** 24055.02.01
SCALE: 1:100@A3

The architectural floor plan illustrates the layout of the vaulted hall, divided into two main sections: VAULT 1 (78.56m²) and VAULT 2 (80.56m²). The plan shows a central aisle flanked by vaulted spaces. Key features include:

- VAULT 1 (78.56m²):** The upper section of the hall, containing a pink-shaded rectangular area labeled "new system" and a blue-shaded rectangular area labeled "to be kept in position".
- VAULT 2 (80.56m²):** The lower section of the hall, containing a blue-shaded rectangular area labeled "door to be closed".
- Structural Elements:** The plan shows a series of columns supporting the vaulted ceiling, with a central aisle and side aisles.
- Annotations:** Various lines and text indicate construction and restoration work, including "new system", "to be kept in position", and "door to be closed".
- Orientation:** A north arrow is located in the upper right corner, pointing towards the top of the page.

new air-lock with new electronic system

Existing air-con system.

1800

2100

VAULT 2
80.56m²

NEW AIR-LOCKS AREA

02	PROPOSED SECTION
-	A3@1:100

 NEW AIR-LOCK

Floor plan of the Level Below of the B-1 building. The plan shows a large central area labeled 'LEVEL BELOW' and 'B-1'. To the left, there is a 'RECEIVING AREA' and a 'STORAGE' area. To the right, there is a 'LOBBY' and a 'STAIRS' area. The plan also includes a 'KITCHEN', 'BATH', and 'RESTROOM'. A red dashed line outlines a specific area on the left side of the plan.

REVISION: HV2
SCALE: 1:100@A3

DRAWING NO.:
24055.02.02