

ROLLING FACILITIES EVALUATION SCHEDULE

BLOCK B					
Item	Location	Element	Issue	Recommended Works	Tender Option
A	External	External Floor Finishes	Unsealed paving	New paving over a suitable permeable bed. Reuse existing pavers. New pavers to match existing. Pavers to be laid on compact crash rock and sand base, set with fall away from the building. Refer to A04 for details.	
B	External	Fascia	Paintwork damaged	Repair damaged fascia and repaint damaged surfaces. Keep replacement fabric to a minimum, and replace like for like.	
C	External	Guttering	Rusted box gutter	Replace the rusted box gutters. Replace with Z600 Galvanised Iron (Heritage Victoria) or better. Install new overflow to existing rainwater head. Keep overflow to a minimum.	
D	External	Guttering	Poorly sealed valley gutter	Reseal the valley gutter with compatible sealant. Sealant not to be obvious if seen from the ground.	
E	External	Roof Cladding	Poorly sealed roof cappings, loose roof fixings	Repoint the ridge capping. Repointing material to match existing. If suitable, use lime putty based mortar with 5-6% pozzolan such as fly ash which allows for some movement without cracking.	
F	External	Wall Finish	Paintwork damaged	Repaint damaged surfaces to window frames. Allow re-putty where necessary.	
G	External	Landscaping	Unsealed retaining wall	Repair using matching stones where required. The retaining wall was originally mortared using local mud. If a mortar is necessary use a lime putty based mortar, e.g. 3 parts washed sand (no clay) with a range of particle sizes to 1 part lime putty with an added pozzolan such as fly ash at the rate of 5% of the volume of putty used. The putty must be made from quick lime not hydrated lime (builder lime).	
H	External	Stormwater and Drainage	Cracking to stormwater drain	Replace cracked and blocked underground stormwater pipe, including grated pits, and new agi drains, to be connected to the existing drainage system. New agi drain to be laid below the new stormwater pipes each side of the building. Allow 500mm wide open trench containing the stormwater and agi and 20mm sized gravel. Trench to be lined with geocloth, including over the gravel to about 50mm from the top with a finer gravel on top. Ensure no backflow into the agi drain. Refer to A04 for details.	
I	External	Column	Damaged foundation	Install new pad footing as per engineers report and drawings. Refer to A04 for details.	
J	External	Column	Cracked column and window	Reinstate column, arch, roof structure and window. Mortar and render to match existing. Refer to A04 for details.	
K	External	Stormwater and Drainage	Cracking to stormwater drain	Replace damaged downpipes. Refer to A04 for details.	
L	External	Soffit	Mould on soffit	Replace mould damaged soffit.	T01
M	External	Skylight	Leaking skylight	Reseal skylight, and repaint damaged surfaces. Flash from the top of skylight to the capping tile.	T02
N	Internal	Walls and Ceiling	Water damage to surfaces and peeling paint	Repaint walls and ceiling.	T03
O	Internal	Ceiling	Water damage to surfaces and peeling paint	Replace soffit and paint to match existing. Allow reinstating existing services in the area.	T04
P	External	Fence	Missing balustrade	Install new 1.5m high colorbond steel balustrade. Profile and finish to match existing adjacent pool fence, and to be confirmed with Heritage Consultant.	

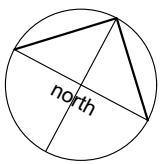
LEGEND

- Insufficient stormwater/drainage.
- Trace of water damage/penetration.
- Approx. location of apparent building issue and works

- AC air-condition condenser unit
- DT Drinking Trough
- EV roof exhaust vent/fan
- GT Gutter
- SL skylight
- TV turbine vent
- VP vent pipe

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The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled measurements



Rev No.	Date	Revision
-	20.12.23	Schematic Design Issue
A	05.03.24	Construction Issue
B	05.05.25	Amended for Heritage Impact Statement

Checked

Rev. No. Date Revision

Checked

Project

BENDIGO SENIOR SECONDARY COLLEGE - RFE WORKS
40 Gaol Road, Bendigo Vic. 3550

Drawing

BLOCK B - GROUND FLOOR

Sheet Size

@ A1

Drawn

RS

Issue

CONSTRUCTION ISSUE

Scale

1:100

Date

05.05.2025

Drawing No. Revision

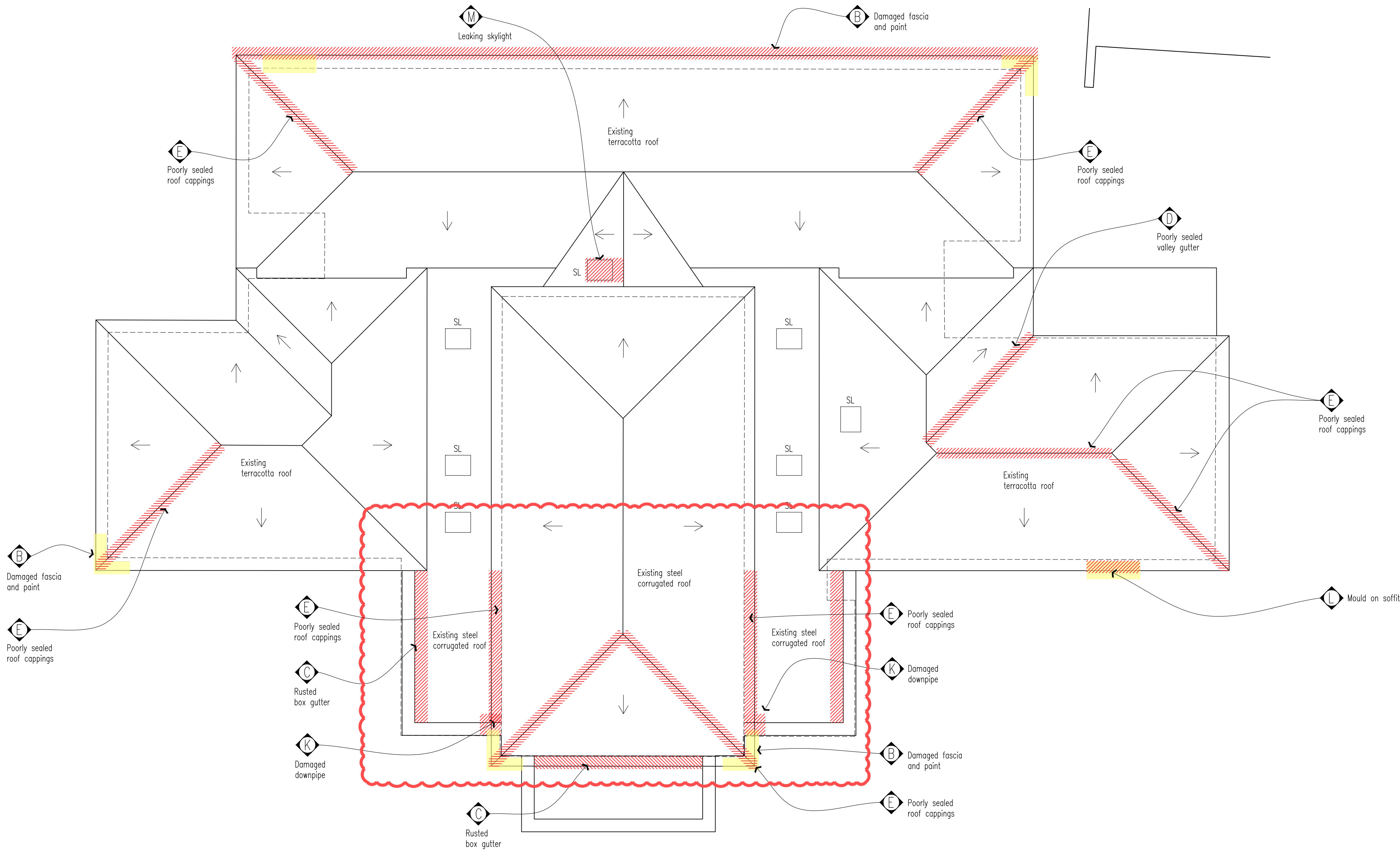
A02

B

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EXISTING ROOF PLAN 1:100

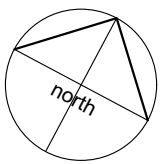
LEGEND

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Drawing

BLOCK B - ROOF

Sheet Size

@ A1

Drawn

RS

Issue

CONSTRUCTION ISSUE

Scale

1:100

Date

05.05.2025

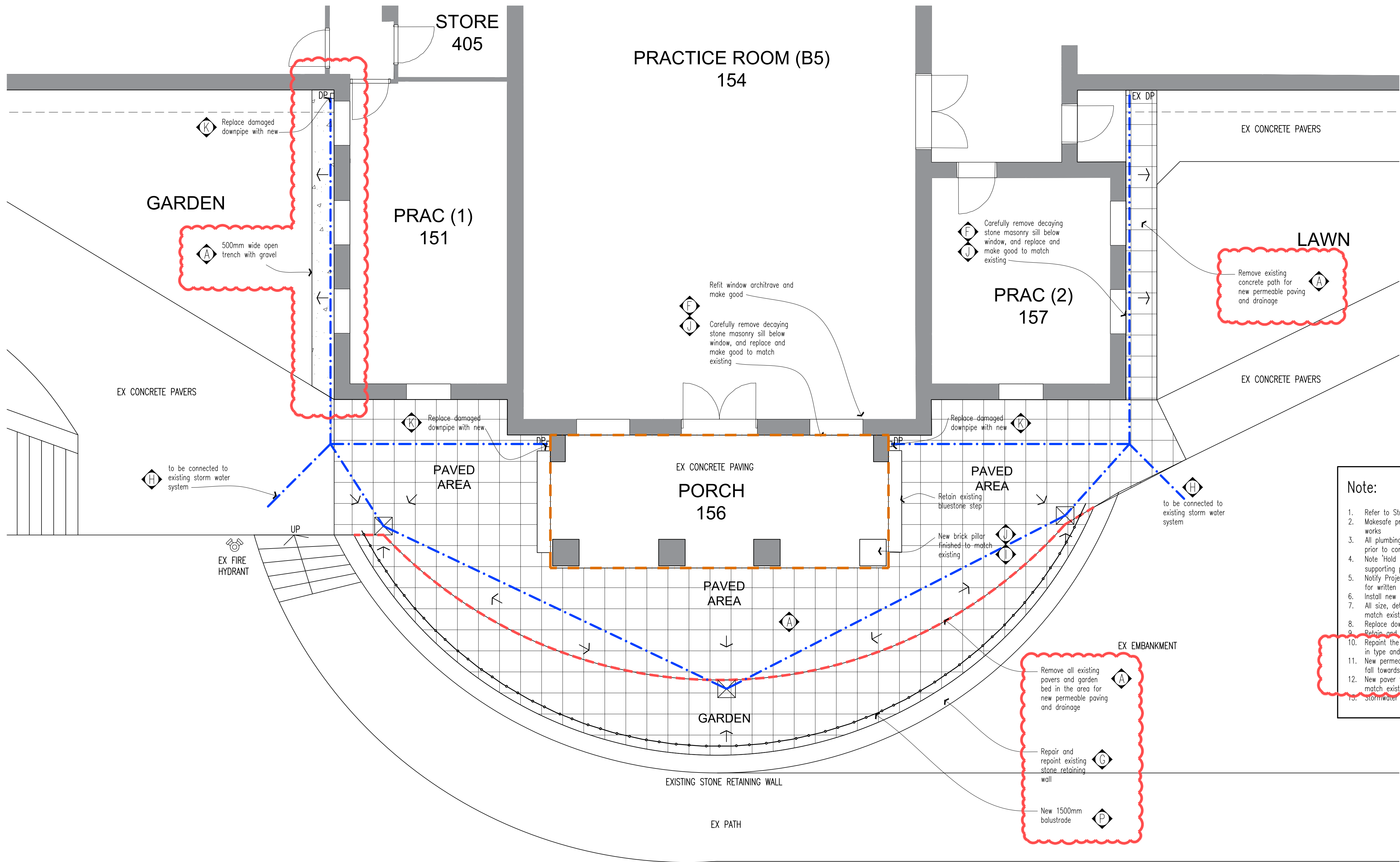
Drawing No. Revision

A03 B

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- Note:
1. Refer to Structural Engineering Report and Drawings
 2. Makesafe propping works by others prior to commencement of works
 3. All plumbing investigation and rectification works to be completed prior to completing permanent structural rectification works.
 4. Note 'Hold Point' after the careful removal of brick pillar and supporting pad footing
 5. Notify Project Architect to organise geotech investigation, and wait for written approval from the Project Structural Engineer
 6. Install new pad footing, brick pillar and archway
 7. All size, detailing and decor of pillar, archway, window sill, etc to match existing
 8. Replace downpipes to match existing
 9. Refit and make good of rainbands
 10. Repaint the porch to match existing. All painting to match existing in type and colour. Seek HV approval prior to painting.
 11. New permeable pavement to be graded away from building and fall towards the pits.
 12. New paver to be of similar porosity to the existing. Colour to match existing.
 13. Stormwater shown are indicative. Builder to confirm L.V.D. on site.

LEGEND

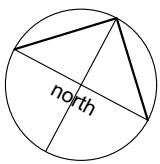
- New permeable paving
- New stormwater pit with galvanised grate
- New stormwater drainage
- Demolition line
- Repaint Porch to match existing

- DP downpipe
- EX existing
- EV roof exhaust vent/fan
- GT Gutter
- SL skylight
- TV turbine vent
- VP vent pipe

PROPOSED SITE PLAN 1:50

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1. Drawings to be read in conjunction with all other Architectural, Engineering & Building Services drawings, specifications & written instructions. Any discrepancies or omissions in these documents shall be referred to the architect for a decision or clarification before proceeding with the work.
2. All dimensions shall be verified on site by the contractor before set-out, construction &/or fabrication is commenced. No dimensions are to be obtained by scaling these drawings. Unless otherwise noted, all levels are given in meters and all dimensions are in millimetres.
3. All materials, workmanship and quality shall be in accordance with the current Australian Standards including all amendments, all other codes of practice and the statutory authorities regulations, except where varied by the contract documents.

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Project
BENDIGO SENIOR SECONDARY COLLEGE - RFE WORKS
40 Gaol Road, Bendigo Vic. 3550

Drawing
BLOCK B - SITE PLAN

Sheet Size	Scale	
@ A1	1:50	
Drawn	Date	
RS	05.05.2025	
Issue	Drawing No.	Revision
CONSTRUCTION ISSUE	A04	B

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