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Heritage Impact Statement - REVISED

Kardinia House VHR H0337
1 Riverview Terrace, Belmont

REVISED in response to Request for Further Information

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Date 24 March 2025



Trethowan Architecture acknowledges the Traditional Owners of the lands on which our studio and projects are located. We pay respects to Elders past, present and emerging.

Revision	Description	Date	Issued To
1	Initial Draft	16-10-2024	Internal
2	Draft	18-10-2024	Client
3	WIP Draft	01-11-2024	Client
4	Final	07-11-2024	HV
5	Revised Draft for RFI	18-03-2025	Client
6	Final Draft for submission	24-03-2025	HV

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1 Introduction

1.1 Place Details

This Heritage Impact Statement (HIS) is for Kardinia House VHR H0037 (the heritage place). This HIS has been updated in response to a Request for Further Information (RFI) issued by Heritage Victoria (HV) on 23 January 2025, and a follow up meeting on 12 February 2025.

1.1.1 Address and location description

The heritage place is located 1 Riverview Terrace, Belmont.



Figure 1 Aerial view of the subject site (indicated in red). Source: Nearmap, 2024.

1.1.2 Traditional Owners information

The heritage place is located on the traditional land of the Wadawurrung People. Under the Aboriginal Heritage Act 2006, the Registered Aboriginal Party for this land is the Wadawurrung Traditional Owners Aboriginal Corporation. The heritage place is located within an area of cultural heritage sensitivity and is generally regarded as more likely to contain Aboriginal cultural heritage.

1.2 Project Details

This HIS forms part of an application for partial demolition, subdivision and residential development of the heritage place. Specifically, it is proposed to subdivide the registered land to the east and south of Kardinia House for residential development, constructing 34 dwelling and related services/infrastructure. It is proposed to retain Kardinia House on a large residential lot, demolishing the later post-war structures to the rear, east and west, making good any junctions with original fabric and undertaking conservation works to the mansion house to reinstate its original private residential use. Some landscaping works are also proposed to part of the heritage place, east of the mansion house.

This project has been established out of a need to develop the presently underutilised heritage place, reinstating its original residential use and subdividing/developing the expansive site to retain an appropriate setting for the heritage place whilst safeguarding the ongoing use, maintenance and conservation of the place into the future.

1.2.1 Client

This Heritage Impact Statement has been prepared for Kardinia Gardens.

1.2.2 Pre-application meeting

A pre-application meeting P40103 was held with Heritage Victoria on 5 September 2024. Pre-application advice was provided by Heritage Victoria by letter, dated 7 October 2024. The following summarises Heritage Victoria's advice:

- **General**

Any application would need to be justified on reasonable and economic use grounds. Consider how the level of development proposed would be required to support an adaptive reuse of the place and its continued use into the future.

At permit application stage the conservation requirements of the place will need to be documented.

The scale, density, siting, and heritage response, setback, and uses require review, refinement, and justification. The proposal as it currently stands would have significant impact on the cultural heritage significance of the place, specifically on the setting of the place and will be challenging from a heritage perspective.

- **Kardinia House**

The scale and bulk of any new built form, including rear additions and secondary buildings, should consider the importance of the historic setting of Kardinia House, which should be retained and reinstated.

The scale and siting of any rear addition should be sympathetic to Kardinia House, be subservient to the main house in terms of scale and height and should not involve an extension of the existing gables. Any new addition should incorporate the early timber building set off the main house via a breezeway.

Consider a north facing pool to the west side of the mansion, with appropriate fencing. Noting, there is a level of comfort with some solid fencing to a portion of Riverview Terrace.

Areas of hard paving and more contemporary landscaping for Kardinia House should be limited to the rear of the site, and associated with the rear addition, not visible to the public realm.

The internal adaption of the heritage building in terms of circulation, access and services should be considered. Further consideration should be given to understand whether the proposed works trigger compliance with certain codes and the impacts of any required changes on the significance of the place.

- **Subdivision**

The proposed subdivision boundaries should be considered in response to the cultural heritage significance of the registered place. There are concerns regarding the implications of land management arrangements between the townhouse communal area and private residential land.

The proposed subdivision must consider the impact of the scale and appearance of fencing and the significant front landscape setting to Kardinia House to ensure it continues to read as one continuous piece of land and retains a connection to the river. The division of the front (north) landscape with fencing is not likely to be supported, instead consider the use of features such as retaining walls or contours as subdivision lines.

Seek to maintain a seamless communal landscape setting to the front of Kardinia House across the current full parcel. To achieve this consider whether the proposed Kardinia House lot occupies a central section of the overall site, and the communal landscape runs the full width of the north section of the overall site.

Mechanisms such as the use of a covenant and/or common property to implement design guidelines, landscape maintenance, restrictions on fencing and building

envelopes may be considered to mitigate the impact of subdivision on the heritage values of the place.

- **Townhouse development**

A greater set back and/or reduced footprint for the Parkview Townhouses to the east of Kardinia House is required to achieve greater protection of the important view line from the Barwon River to Kardinia House. Consider the removal of two of the Parkview Townhouses' from the western end or the setting back of the whole set of Parkview Townhouses so the private landscaping and fencing associated with these sits behind Kardinia House.

A reduction in the footprint of the Riverview and Garden Row Townhouses is recommended to protect the fabric of the place and its setting. Consider the removal of 1-2 townhouses from the north of each block.

The proposal should make use of the natural topography of the site and consider aspects such as vehicle access off Riverview Terrace and new fencing and gates that enhance the public presentation of the site. A lighting strategy is required to support the active use of the front garden as a gateway to the site.

A permit application may require a program of archaeological investigations and recording for the archaeological features across the site to ensure that the site details are well-understood and that any vulnerable site components are appropriately managed. It is noted that the site has archaeological potential, given past structures and walls and the applicant may need to seek archaeological advice.

- **Landscaping**

The garden setting, including open space between Kardinia House and Barrabool Road and mature exotic trees are a significant component of the heritage place. No significant development should occur in this area, including fencing, and across the site as much open landscape should be retained as possible.

Any proposed landscape works must maintain and improve the existing setting of the place and should reference historic sources to re-establish an appropriate setting similar to the place's known early state in order to interpret the once rural landscape.

New low stone walls must not impact on existing trees and should be supported by an Arborist report.

Since the pre-application meeting, the proposed scope of works and permit approach has been revised. The scope of landscaping works has been reduced and only partial landscaping works to the area east of Kardinia House are proposed. Where the current proposal is concerned, the subdivision and development works have been amended to respond to the advice from Heritage Victoria. In particular, the subdivision curtilage and siting of the proposed dwellings and related infrastructure has been revised to better mitigate against impacts to the cultural heritage significance of the heritage place.

To achieve this, the rear road widths have been reduced, additional curtilage added to the rear of Kardinia House, access paths have been relocated, and front private garden spaces of the Parkview townhouses have been reduced. The landscape scheme has been reduced with the existing landscape to the front setback retained and new works proposed only to an area east of the house in front of the proposed Parkview townhouses. A visually permeable fence is also proposed along the tapered subdivision pattern that provides an increased amount of land to Kardinia House. In addition, the design of the Parkview townhouses, east of Kardinia House has been revised to visually recede and ensure the mansion house maintains prominence.

A matrix outlining specific approaches taken to respond to Heritage Victoria's pre-application advice is provided at Appendix A.

1.2.3 Request for Further Information

Following the application submission, HV issued an RFI on 23 January 2025 seeking further clarification regarding a range of matters including:



- subdivision and heritage impact
- conservation works, alterations and additions to Kardinia House
- landscaping
- reasonable and economic use
- the scope of work included in the application.

A follow up discussion was held on 12 February 2025, with representatives of the applicant, HV, and the City of Greater Geelong to elaborate on the response to these matters.

A more detailed response to each of these query points is included in the accompanying cover letter included as part of this RFI response.

This HIS has been amended to address alterations to the application scope of work resulting from the RFI. Added content includes further discussion of conservation works to Kardinia House, the inclusion of alterations and additions to Kardinia House in this application, economic use reasoning, updates to the subdivision and townhouse development, and proposed staging of the permit and any conditions.

1.3 Reference Documents

This HIS refers to the following supporting documents:

- *VHD Report: Kardinia House VHR H0337*
- *Conservation Management Plan*, prepared by Trethowan Architecture in August 2024.
- Kardinia House History, researched by Dr David Rowe.

This HIS should be read in conjunction with the following supporting documents:

- RFI Response cover letter, prepared by Trethowan Architecture
- Staging diagram, prepared by Plus Architecture
- Report on the economic use justification, prepared by Fathom, dated 24 March 2025.
- Sequencing diagram, prepared by Trethowan Architecture
- Schedule of conservation works, prepared by Trethowan Architecture, March 2025.
- Plan of subdivision with VHR boundary overlaid, prepared by Trethowan Architecture, March 2025.
- Report on the History, Significance, and Condition of Kardinia House, prepared by Trethowan Architecture, 24 March 2025.
- Proposed permit conditions (without prejudice), prepared by Trethowan Architecture 24 March 2025.
- Letter addressing age of trees to be removed, prepared by Implexa, dated 14 February 2025.
- Landscaping Package, prepared by Arcadia, 21 March 2025.
- Town Planning Package, prepared by Plus Architecture in March 2025, including Architectural Drawings as follows:

Drawing No.	Drawing Title
DA1005	Kardinia House – Proposed GF Plan
DA1006	Kardinia House – Proposed FF Plan
DA1008	Kardinia House – Proposed Elevations 01
DA1009	Kardinia House – Proposed Elevations 02



DA100	Ground Floor Plan
DA101	First Floor Plan
DA102	Roof Plan

1.4 Limitations

This report does not address matters in relation to Aboriginal cultural heritage, such as anthropology, archaeology, or history. Should advice regarding these matters be required, it is recommended to engage with a Heritage Advisor and the relevant Registered Aboriginal Party.

This report does not address arboricultural or horticultural matters.

2 Significance & Description

2.1 The Cultural Heritage Significance

The heritage place is identified as significant at the local and state levels. It is listed on the Victorian Heritage Register (VHR H0337) and the Greater Geelong Planning Scheme (HO13). Heritage Victoria is the Responsible Authority.

2.1.1 Victorian Heritage Register (VHR)

The VHR listing includes the two-storey brick and stone dwelling and surrounding land, including mature exotic trees surviving as remnants of the nineteenth century garden.



Figure 2 VHR Registration Map for Kardinia House VHR H0337. Source: VHD.

Statement of Significance

The statement of significance is reproduced as follows:

What is significant?

Kardinia House, a two-storey brick and stone house, constructed in various stages. The name "Kardinia" is from the Wadawurrung language meaning 'morning' or 'sunrise'. The house is a two-storey masonry dwelling with a central portion flanked by two wings, with bay windows and a verandah. The house occupies an elevated and commanding position with an outlook towards the Barwon River. Several mature exotic trees survive from the nineteenth-century garden.

How is it significant?

The Kardinia House is of historical significance to the State of Victoria. It satisfies the following criterion for inclusion in the Victorian Heritage Register:

Criterion A *Importance to the course, or pattern, of Victoria's cultural history.*

Criterion H *Special association with the life or works of a person, or group of persons, of importance in Victoria's history.*

Why is it significant?

Kardinia House is historically significant as one of the oldest residences in the Geelong region. The original stone house (c. 1850) is still present, though it was extended and renovated in the 1860s and again in the 1880s. The house has a position of prominence within the landscape with views from the house to the Barwon River as well as views of the house from across the river. Kardinia House has a long and varied history and is associated with several influential Victorians. Subsequent owners included other local and colonial

politicians, cementing Kardinia House's place at the centre of high society in the region. [Criterion A]

Kardinia House is historically significant for its association with one of the founders of Geelong, Dr. Alexander Thomson. Thomson's career is interwoven with the history of Geelong and the infant Port Phillip colony. Thomson was an influential Victorian, campaigning for Victoria's separation from New South Wales, being elected twice to the new colony's Parliament, serving as Geelong's first mayor, and becoming director of the Geelong-Melbourne Railway Company. Thomson was also heavily involved in requests for the 'protection' of the newly arrived squatters, which came at the expense of the Wadawurrung People. Ultimately, his usurping of Wadawurrung Country, and the grazing of cattle and sheep, helped end the traditional way of life for Wadawurrung People in Greater Geelong. Kardinia House, with its commanding and elevated position overlooking the Barwon River and surviving mature plantings, is demonstrative of Thomson's status and his close relationship with the Geelong region, being one of the earliest residences to be established in this region. [Criterion H]

2.1.2 Greater Geelong Planning Scheme

The heritage place is protected by the Greater Geelong Planning Scheme under Heritage Overlay HO13: *Kardinia House*. Prohibited uses are permitted under Schedule to Clause 43.01 Heritage Overlay.

2.1.3 Non-statutory listings

The heritage place is subject to non-statutory heritage controls. It is listed on the National Trust of Australia (Victoria) Heritage Register as Property No. B0801. The following statement of significance is included as part of the listing:

The house of Dr Alexander Thomson, founder and first Mayor of Geelong.

Classified: 05/03/1970.

This type of control is typically associated with classification by the National Trust of Australia (Victoria), or the Register of the National Estate (now archived). Non-statutory heritage controls relate to property listings that have no formal or legal weight in the planning scheme. While having no legal recourse, such listings are customarily considered when making planning decisions and are representative of heritage values in the community.

2.1.4 Analysis of the significance

Levels of Significance

The CMP prescribes three levels of significance to existing spaces and fabric of the heritage place, defined as follows:

- **Primary significance**

Fabric of primary significance is that associated with the historical and associative significance of the place with Alexander Thomson. Fabric of primary significance is also that associated with the history of the place as an important colonial homestead in the region in the nineteenth century up to and including the original fabric of the final 1880s enlargement and additions to the house. These have primary significance due to their demonstration of the evolution of the house from the period of Thomson to the ongoing use of the house as a prestigious residence in the colonial period associated with the associative and historical significance of the house.

Spaces with high to medium integrity are of primary significance. Given the level of change throughout the house, most significant spaces are of medium integrity.

- **Secondary significance**

Any original fabric associated with the operation of the house as an early residence in the region up to its conversion from private use, including remnant outbuildings or exterior spaces, landscaping or plantings. This fabric contributes to an understanding of how the house functioned in the period of significance and to its broader setting.

Spaces with low integrity have been generally attributed secondary significance.

- **No significance**

Fabric of no significance can be defined as any fabric associated with the conversion of the house from private use, particularly including all post-war additions and alterations. The removal of such spaces or fabric will have no impact on the cultural heritage significance of the place.

The following significance plans were prepared for the heritage place as part of the CMP. Noting that all original (nineteenth century) external and internal walls are considered to be of primary significance. Further detail on the dates of construction of various elements of the building is included in the sequencing diagrams prepared as part of this RFI response.

KARDINIA HOUSE - EXISTING GROUND FLOOR SIGNIFICANCE PLAN

EXTERIOR AND INTERNAL WALLS & FIREPLACES

ALL WALLS - PRIMARY SIGNIFICANCE

EXTERNAL STAIR - NO SIGNIFICANCE

INTERIOR SPACES:

1. HALL - PRIMARY SIGNIFICANCE
2. BOARD ROOM - PRIMARY SIGNIFICANCE
3. KITCHEN - SECONDARY SIGNIFICANCE
4. ART ROOM - PRIMARY SIGNIFICANCE
5. CLASS ROOM - PRIMARY SIGNIFICANCE
6. SA CORRIDOR - SECONDARY SIGNIFICANCE; 6B BATHROOM - SECONDARY SIGNIFICANCE
7. OFFICE - PRIMARY SIGNIFICANCE
8. STAIR - PRIMARY SIGNIFICANCE

ALL RED AREAS ON PLAN NO SIGNIFICANCE

INTERNAL ROOM LEGEND	
GREEN	INTERNAL SPACES - PRIMARY
YELLOW	INTERNAL SPACES - SECONDARY
RED	AREAS - NO SIGNIFICANCE



Figure 3 Ground Floor Significance Plan. Green indicated spaces of primary significance, yellow indicates spaces of secondary significance and red indicated spaces of no significance. Source: Trethowan Architecture, 2024.

KARDINIA HOUSE - EXISTING FIRST FLOOR SIGNIFICANCE PLAN

ALL EXTERNAL AND INTERNAL WALLS ARE OF PRIMARY SIGNIFICANCE APART FROM RED AREAS

INTERNAL ROOM LEGEND	
GREEN	INTERNAL SPACES - PRIMARY
YELLOW	INTERNAL SPACES - SECONDARY
RED	AREAS - NO SIGNIFICANCE

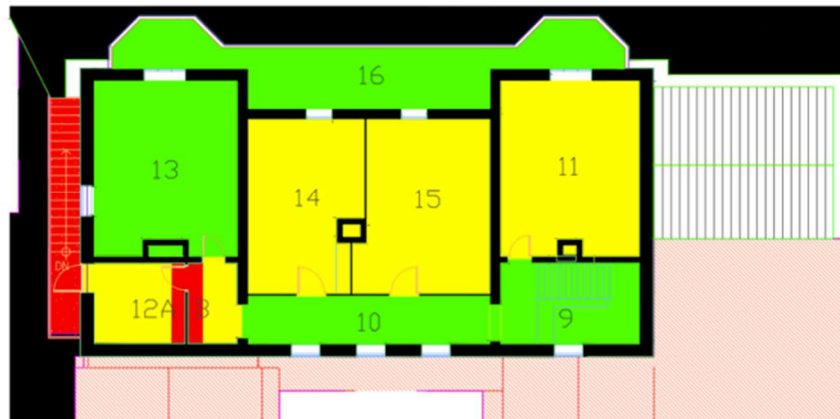


Figure 4 First Floor Significance Plan. Green indicated spaces of primary significance, yellow indicates spaces of secondary significance and red indicated spaces of no significance. Source: Trethowan Architecture, 2024.

Analysis of significance

The heritage place is of historical significance as one of the oldest residences in the Geelong region and for its association with several influential Victorians. The house was constructed by Alexander Thomson, one of the founders of Geelong, its first mayor and director of the Geelong-Melbourne Railway Company. This significance is embodied in the built form and fabric of the original two-

storey stone dwelling. Features of the early house, such as the gable roof forms, decorative barge boards, finials and bay windows are of significance. Other elements related to the Italianate style 1880s alterations, such as the lacework verandah, balconies and central upper storey with hipped roof are also of significance.

Later post-war additions and outbuildings related to the institutional use of the site are of *no significance* to the place. Further, the CMP indicates that *any original fabric associated with the operation of the house as an early residence in the region up to its conversion from private use, including remnant outbuildings*, is of secondary significance to the place.

Significance of the Setting

The setting of the place sited on elevated land overlooking the Barwon River is of significance to the place, as are the mature exotic trees remaining as remnants of the nineteenth-century garden. In particular, the front setback of the house with its extensive open landscape allows for a strong visual connection to the Barwon River and is of significance to the place.

Significance of the remnant timber structure to the rear of the house

A section of timber building remains at the rear of the house where it has been subsumed within the post-war additions and alterations.

The 1890 Kardinia Estate Plan (Figure 25) shows that there was a longer building at this location at the time that extended southwards. It is unclear from the historical and physical evidence whether the timber walls are remnants of this longer building or later.

Images of remnant fabric at northern end of timber outbuilding:



Figure 5. West elevation within courtyard of rear timber shed. Source: Trethowan Architecture, 2024.



Figure 6. East elevation of timber building. Source: Trethowan Architecture, 2024.



Figure 7. Roof of breezeway connection. Source: Trethowan Architecture, 2024.



Figure 8. Northern interior of timber extension showing considerable post-war fabric including altered doors, ceilings and floors. Source: Trethowan Architecture, 2024.

Given this description, the remnant timber outbuilding located to the rear of the house may be understood to be of potential secondary significance to the place only insofar as it represents a remnant of a former outbuilding. However, the outbuilding has undergone extensive alterations that have drastically reduced its integrity and thus its ability to contribute to the significance of the heritage place. Its original extent and usage is no longer evident in the fabric of the place. As such, the timber outbuilding is understood to contribute in a limited way to the understanding of the place's historical development. Aesthetically, the outbuilding is vernacular in style and highly compromised by the additions and loss of original fabric. There are no Gothic Revival or other notable architectural elements. It therefore does not contribute to the aesthetic significance of the place.

2.2 Policies

The heritage place is subject to both general¹ and place-specific permit exemptions as a result of the VHR listing. Where there is conflict between general and place specific exemptions, specific exemptions prevail. The CMP also outlines a series of conservation policies for the place.

2.2.1 General Permit Exemptions

General permit exemptions relevant to the proposal (subject to general and category conditions) are listed as follows:

- **Maintenance and cleaning**

Works or activities associated with the maintenance of a registered place or object to maintain its condition or operation.

Resecuring loose elements of the registered place or object, including roofs, timber work, fixtures and decorative features.

Cleaning of exterior masonry and painted surfaces in good condition, including pre-cleaning, testing activities and removal of surface deposits and organic growth.

Clearing of water collection and discharge, including water tanks, roof water and storm water elements.

Installation of traps and physical barriers, such as mesh and physical termite hindrances at registered places to enable management of pests and small vermin such as termites, rabbits, possums, rats and mice.

- **Minor repairs**

Refixing, patching and/or the replacement of missing, damaged or deteriorated fabric that is beyond further maintenance.

Repair of door and window furniture, including hinges, locks, knobsets and sash lifts.

Repairs to existing masonry and mortar, including repointing, salt attack and rising damp remediation.

Repair and replacement of existing non-original smooth plasterboard walls and ceilings.

Repairs to water collection and discharge goods, including water tanks and roof and storm water elements.

Repairs to roofing.

- **Services**

Maintenance, repair, replacement, upgrade and removal of existing surface-mounted and subfloor services and utilities, limited to fire detection and prevention systems, video surveillance and alarm systems, heating units and systems, air-conditioning units and systems, hot water systems, public address systems and speakers, ventilation systems, plumbing (water and gas), drainage and pipework, electrical

¹ Heritage Victoria, *General Permit Exemptions*, August 2024.

wiring and cabling, telecommunications wiring and cabling, antennae, satellite dishes and aërials, usage meters.

Maintenance, repair, replacement, upgrade and removal of existing subsurface services and utilities, limited to plumbing (water and gas), drainage and pipework, electrical wiring and cabling, telecommunications wiring and cabling, subsurface watering systems and combined service routes.

2.2.2 Place Specific Permit Exemptions

A place specific permit exemption policy is included as part of the VHR listing. Specific exemptions are subject to the specific guidelines and conditions. Place specific permit exemptions relevant to this proposal are as follows:

- *All internal works to and demolition of the detached post 1960s buildings to the east and west of Kardinia House.*
- *All internal works to and demolition or removal of the corrugated metal shed located on the southern property boundary.*

2.2.3 Conservation Management Plan (CMP)

The CMP outlines a series of policies for the conservation and management of the heritage place. Policies considered relevant to the proposal are reproduced as follows:

- **Constraints and Statutory Requirements**

Policy 5: Undertake works in accordance with The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013, and good heritage practice.

- **Fabric**

Policy 6: Retain, conserve and enhance in situ all fabric of primary significance that contributes to the heritage value of the building.

Policy 7: Discourage and avoid any works that seek to remove or alter fabric of primary significance.

Policy 8: Protection of fabric of primary and contributory significance must be provided during any works to safeguard against damage.

Policy 9: Where a change to fabric of primary significance is identified, alternative proposals and methods along with reversible actions and/or opportunities to interpret the change should be considered.

Policy 10: Conserve, retain and enhance all fabric and/or items of secondary significance that contribute to the heritage value of the building to incorporate with proposed design. If relocation or demolition is necessary, ensure surviving fabric and/or items are presented in a manner that acknowledge their intended design, presentation, and/or function.

Policy 11: Extract only minimal areas of material samples at unobtrusive locations to be tested for study where necessary. Perform at the discretion of the Heritage Professional.

- **Inspection, Maintenance and Repairs**

Policy 14: Where original/early fabric has deteriorated and requires repair or replacement, works should be undertaken in a like-for-like manner. Where this is not possible, alternative solutions could be considered through liaison with the Heritage Professional. Where the deterioration has occurred because of an inappropriate or defective material, an alternative material or application method could be used at the discretion of the Heritage Professional and through a permit, if required.

- **Conservation Works**

Policy 16: Identify and implement a prioritised schedule of conservation works that seeks to address both the conservation of the building, and ensures the ongoing protection, safety, and viability of the heritage fabric

Policy 17: Ensure that all conservation works are undertaken by suitably experienced professionals who understand the heritage values of the place and the need to retain original and/or early fabric and materiality.

Policy 18: Adoption of traditional trades and techniques should be prioritised. Where this is not feasible, alternative solutions could be considered at the discretion of the Heritage Professional and through a permit, if required.

- **Intrusive Fabric**

Policy 19: Encourage the removal of intrusive or non-contributory fabric, equipment, services, or other elements that have no associated significance, providing the actions and methods of removal will not impact on the heritage value of the site. This includes all post-war additions and accretions to the house and its surrounds. This removal needs to be undertaken in a manner that avoids damage to significance fabric.

- **Restoration and Reconstruction**

Policy 20: Support works that reinstate missing fabric, which will return or reconstruct the retained elements back to their 1880s appearance where relevant to enhance the heritage value of the place.

Policy 21: Details, specifications, materials, and colour palettes for reconstruction should be selected based on physical and/or documentary evidence of the original/earliest known appearance and not conjecture.

Policy 22: In the event that there is no physical and/or documentary evidence available, or a complete reconstruction is unfeasible, an alternative detail, specification, material, or colour could be used at the discretion of the Heritage Professional and through a permit, if required.

Policy 23: Where appropriate, prioritise reusing redundant, non-contributory fabric for reconstruction works. Solutions could be considered at the discretion of the Heritage Professional and through a permit, if required.

Policy 24: Reconstructed fabric should be identifiable on close inspection or through additional interpretation.

- **Recording Change**

Policy 27: Ensure fabric of primary and contributory significance is recorded prior to removal. If the item is to be kept for restoration, it must be carefully removed, appropriately labelled, and retained on site.

Policy 28: Store all displaced or damaged removable items and/or materials in one lockable, dry storage unit held on site. Create and maintain a labelling system and an inventory to record and track all displaced items and/or materials.

Policy 29: Identify and retain any redundant, non-contributory fabric that may be used for future maintenance, repair, conservation, restoration, and/or reconstruction works. Store in one secure location on site. Create and maintain a labelling system and an inventory to record and track all displaced items and/or materials.

Policy 30: Create and maintain an archival database to record and manage ongoing change to the remaining elements at the site. Review any existing archival recording as necessary.

- **Subdivision**

Policy 39: Subdivision of the site should retain the front landscape setting of the house and an adequate curtilage around and to the rear of the house itself to allow for usable and accessible space for private enjoyment and for potential additions in zones that tolerate change.

Policy 40: Subdivision of the site should ensure that any new built forms provide adequate space between them and the house and do not adversely impact on the significance of Kardinia House or the significant views from the public realm.

2.3 Description of the Place

The following description of the place is adapted from the CMP:

The heritage place comprises a Victorian period house, known as Kardinia House, with additions and alterations set in a large site comprising a front sloping landscape with return driveway and mature trees. The place overlooks Barrabool Road and the Barwon River to the north. Prominent postwar buildings, related to the institutional use of the place, dominate the rest of the site to the east and south.

Kardinia House is a double-storey Victorian period residence built in stages over 1855-1880, with later additions and accretions that have completely overwhelmed and concealed any traces of the original 1855 stone house. The present appearance largely dates to the alterations undertaken by Geelong businessman H.F. Richardson in the 1880s. However, the ground level retains the original bay window front to the ground floor. Above this, the principle (north) elevation features prominent gable ends with decorative timber bargeboards, finials and trefoil detailing. The central section is defined by a hipped roof with projecting lacework verandah. The walls are masonry with bluestone quoining and the roof is clad in slates. A single storey gabled addition extends from the east wall with tripartite window to the north.

Several later post-war additions extend from the rear of the house, creating a paved courtyard. A timber outbuilding is joined to the rear of the house via a covered breezeway. It has been heavily altered by conversion into office spaces and reception area. Historical aerial view of 1925 shows the early twentieth century configuration of outbuildings to the rear, none of which survive apart from remnants of a small northernmost section of the attached timber outbuilding.



Figure 9 View towards Kardinia House from northern (front setback). Source: Trethowan Architecture, 2024.



Figure 10 Mature exotic trees within the front setback. Source: Trethowan Architecture, 2024.



Figure 11 North (principle) elevation to Kardinia House. Source: Trethowan Architecture, 2024.



Figure 12 Lacework verandah to the north elevation. Note bay windows to ground level. Source: Trethowan Architecture, 2024.



Figure 13 Later post-war structures to the rear of Kardinia House. Source: Trethowan Architecture, 2024.



Figure 14 Rear (south) of Kardinia House. Note single storey timber rear outbuilding to the right hand side of image. Source: Trethowan Architecture, 2024.



Figure 15 Later post-war structures to the rear of Kardinia House. Source: Trethowan Architecture, 2024.



Figure 16 Southern extent of post-war additions to the south east of Kardinia House. Source: Trethowan Architecture, 2024.



Figure 17. East entry to the rear timber block of post-war construction. Source: Trethowan Architecture, 2024.



Figure 18. East projecting post-war extension to the house. Source: Trethowan Architecture, 2024.



Figure 19. Interior reception space in timber block. Source: Trethowan Architecture, 2024.



Figure 20. Interior office space in timber block. Source: Trethowan Architecture, 2024.




Figure 21. Interior storage space in timber block. Source: Trethowan Architecture, 2024.



Figure 22. Interior work space in timber block. Source: Trethowan Architecture, 2024.

2.3.1 Existing Condition of the Place

The condition of the heritage place varies. Externally, the house is in good condition, however the masonry walls and bluestone quoining has been overpainted and there is some decay to the balustrade and upper level verandah which is missing flooring. There is also extensive biological growth on the slate roof and signs of water ingress internally. The rear of the house is largely obscured by later post-war additions.



Internally, the house has been heavily altered. However, some Victorian detailing remains including some architraves, ceiling roses, cornices and fireplaces. The east front room also retains its pressed metal ceiling.

A more detailed assessment of the condition of the place is included in the report on the History, Significance and Condition of Kardinia House, which forms part of this RFI response.

2.3.2 Current Use of the Place

The heritage place no longer retains its original use as a singular private residence. The place is currently occupied by the GenU and is used as their office space.

2.4 Constraints and Opportunities

The following constraints have been identified:

- The heritage place retains a strong visual connection to the Barwon River. The siting of the house at a high point on land overlooking the river is of significance. Any proposed development should be conscious and respectful of this visual connection and existing significant views.
- The proposed subdivision is constrained by, and should consider, the historical use and appearance of the northern landscape at the river floodplain.
- Subdivision is also constrained by the need to create enough developable space for the new townhouses, while retaining adequate space for additions to Kardinia House. This must be balanced against contemporary expectations for space and amenity.

The following opportunities have been identified:

- The later post-war additions and outbuildings to the rear, east and west of the main house are of no significance to the heritage place, are redundant and presently detract from the setting of the place. There is an opportunity to remove the later additions and make good any junctions with significant fabric to restore an understanding of the significant freestanding mansion house.
- The condition of the house varies. As such, there is an opportunity to undertake maintenance and conservation works to the place, including to rectify issues of damp and reinstate lost details based on historical evidence.
- The heritage place no longer retains its original use as a private residence, as such there exists an opportunity to reinstate this use.
- The heritage place is set within an expansive parcel of land. The CMP indicates that the area to the rear of the house has a high tolerance for development and the area directly behind the house and to the east setback has a medium tolerance for development. Whilst an appropriate setting for the house should be retained, there is an opportunity to develop part of the site to raise funds to contribute to the long-term maintenance and conservation of the heritage place. This also presents a further opportunity to prepare the house for use as a substantial private residence, ensuring its continued use and long-term conservation.

3 History

The Traditional Owners of the land for the heritage place are the Wadawurrung People.

An historical summary was included in the CMP, it is reproduced as follows:

In 1837, Dr. Alexander Thomson from Scotland took up land on the Barwon River. Thomson was a medical officer and was considered one of the founders of Geelong, which was gazetted as a town in 1838. Initially, a timber hut was constructed on site, which was then replaced by a singlestorey stone house between 1850 and 1855.

Thomson constructed Kardinia House in various stages. The original timber structure was replaced by a stone house between 1850 and 1855. Thomson was a highly influential man, both in Geelong and across Victoria. In 1843 he was one of the Port Phillip members to the New South Wales Legislative Council. In 1844 he resigned, protesting the need to travel to Sydney to attend Parliament. He became an active campaigner for the separation movement, which ultimately saw Victoria become an independent colony from New South Wales. In 1851 Thomson became Geelong's first mayor. He was elected to the Victorian Legislative Council from 1852-54 and helped draft the Victorian Constitution bill. He then returned as Geelong's mayor in 1855-57 and served in the Victorian Legislative Assembly in 1857-59. His career also saw him become director of the Geelong-Melbourne Railway Co, and he was active in starting and promoting Presbyterian services in the Geelong region. Thomson died in 1866. Subsequent owners of Kardinia included John Richardson, Member of the Legislative Assembly, William Sommers, a mayor of Geelong, and Horace Frank Richardson, councillor and Member of the Legislative Council. Though the fabric of the stone house from 1850-55 is still visible on the site, it has been transformed and extended extensively. In 1869 further additions were made to Kardinia House, including a second storey. In the 1880s bay windows and a verandah were added. From 1947-1986 Kardinia House was used as a children's home for the Salvation Army, catering mainly for toddlers aged two to five years' old. This led to extensive changes to the building's interior and the grounds. From 1965 cottage homes were opened on the property, allowing siblings to remain together. More recently, Kardinia House was used as the headquarters of a non-profit organisation providing disability, senior and employment services.

In addition, the historical research of the heritage place undertaken by Dr David Rowe, includes a section on the 'Evolution of the Landscape Setting', reproduced as follows:

A plan of the Barrarabool Parish by Andrew McWilliams in 1861 showed the extent of the setting associated with "Kardinia House" during Alexander and Barbara Thomson's occupation. The historic photograph of 1866 and paintings by Webb in the 1870s also give some idea of the landscape at that time.

A major transformation of the setting came with the ownership of William Sommers. Extensive improvements were reported in the Geelong Advertiser on 31 October 1884. They included an irrigation system, a maize patch of 2 acres 'on the slope of the hill at the rear of the house', a 6-acre apple orchard with 1000 new apple trees, the orchard overall comprising 15,000 fruit trees. A natural lagoon and trees were also laid out to the east of "Kardinia". The extent of the setting is shown in the plan of the Kardinia Estate (c.1890) as outlined in the Statement of Recommendation and landscape remnants are also shown in aerial images by Charles Pratt. A company had been formed to subdivide the southern parts of the Kardinia Estate (the paddocks seen in the background of the Norton photo of c.1866) into 250 allotments. Directors of the Kardinia Estate Company were William Sommers, William Higgins, W.P. Carr, T. Fender, H. Howard, F. Drew, H.P. Douglas, H.F. Richardson (secretary) and F.J. Leary (auditor). The remaining seventeen acres (6.88 hectares) were retained by H.F. Richardson.

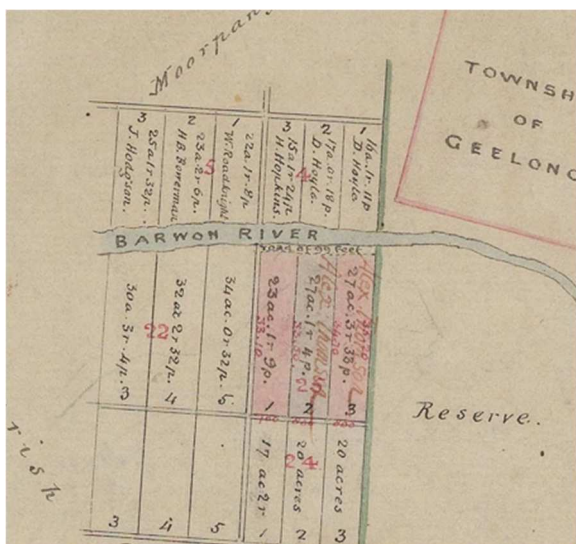
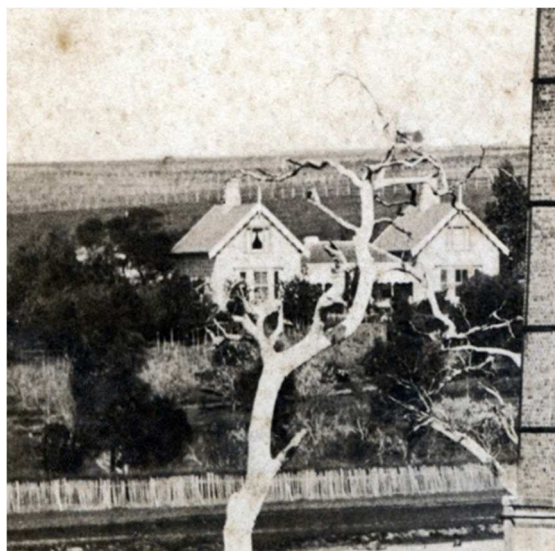


Figure 23 R. Hoddle, Extract of 'Sketch shewing the Suburban Allotments in the Parish of Barrabool (applied for by A. Thomson), 21 April 1846. Source: VPRS 8168/P002, SYDNEY B8, Barrabool, Public Record Office Victoria.



"Kardinia House", c.1866 (extract of a larger photograph – see following). Source: GRS 2009/02172, Geelong Heritage Centre Collection.

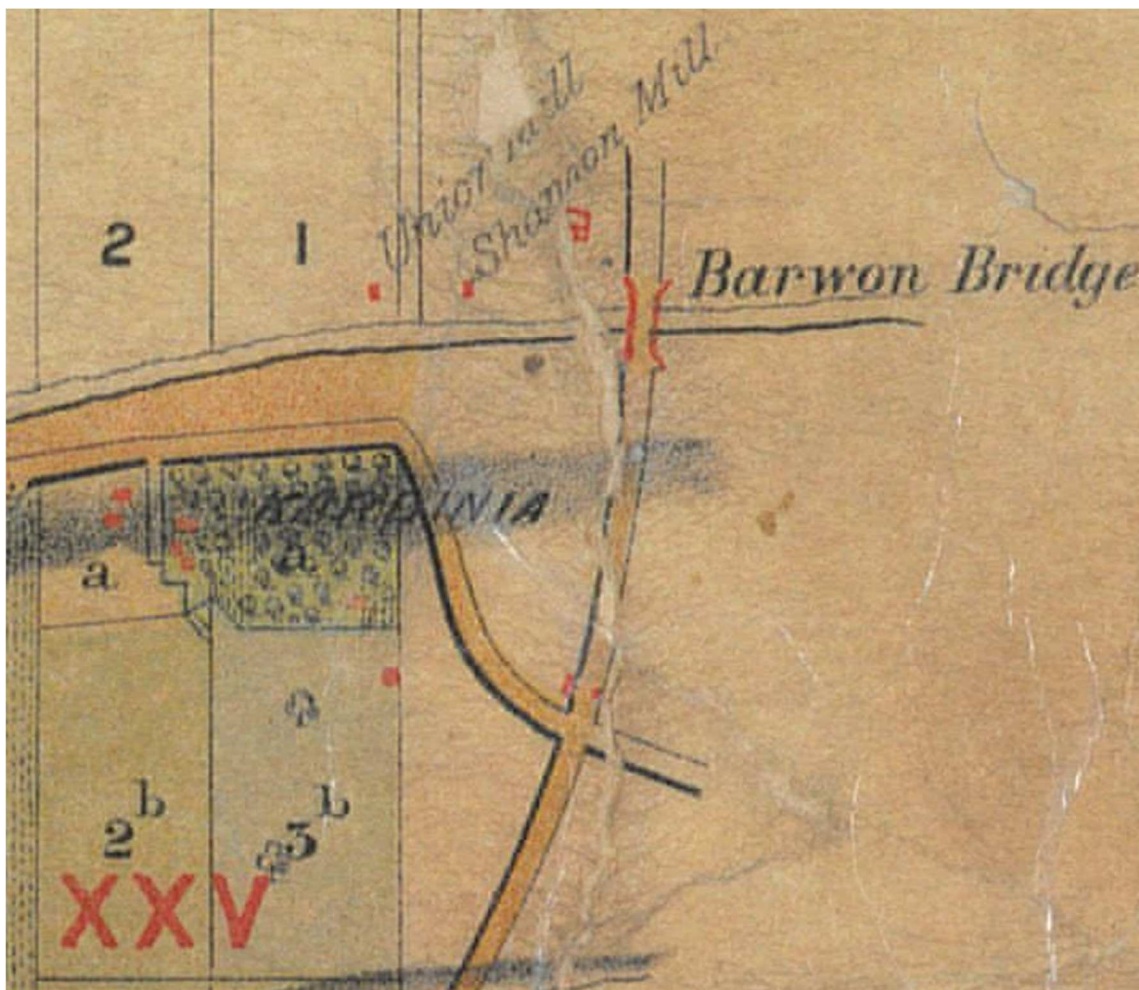


Figure 24 A. McWilliams, Extract of the Parish of Barrabool Plan, 1861, showing "Kardinia".

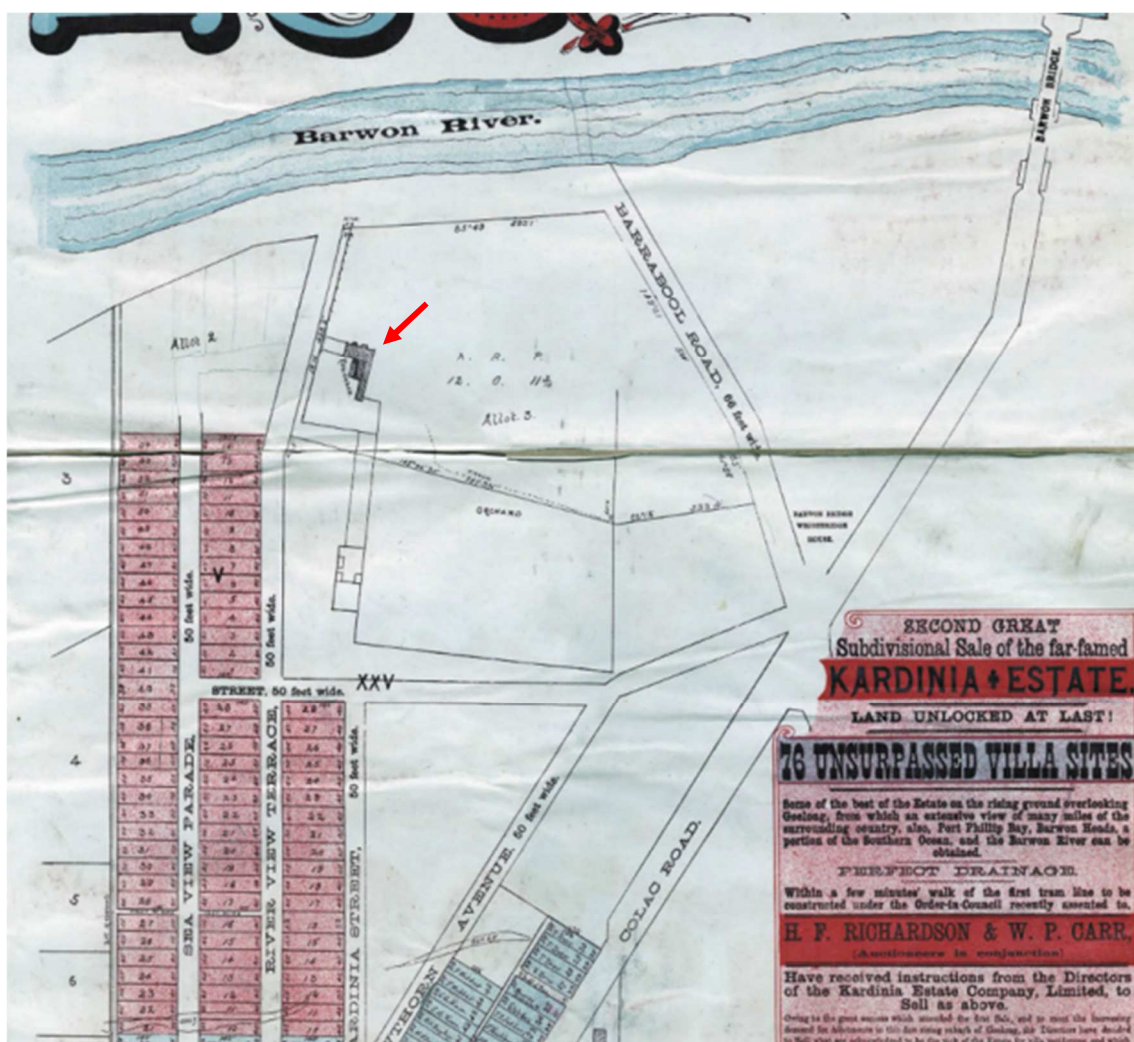


Figure 25 Kardinia Estate Plan, 15 November 1890. Note, Kardinia House indicated by red arrow. Source: GRS 2065/03/068, Geelong Heritage Centre collection.



Figure 26 Aerial view showing western portion of "Kardinia" with gable roofed balcony above the western bay window, c.1925. Source: C. Pratt, accession H91.160/590 State Library Victoria.

4 Proposal

The proposed works comprise of the demolition of later structures and buildings to the rear, east and west of Kardinia House; conservation, alterations and addition works to the house; subdivision of the registered land into two lots and development of 34 dwellings and related services / infrastructure.

It is proposed to undertake the works in a staged manner, as follows:

Stage 1 works:

- Demolition of later structures on site, including additions to Kardinia House.
- Make good of Kardinia House following demolition works.
- Specific conservation works to Kardinia House (more works proposed at stage 2).
- Construction of new townhouses.
- Subdivision into two lots – one for Kardinia House and one for new townhouses. Construction of the new townhouses will likely commence before the subdivision into two lots. However, the subdivision will need to have occurred before completion of townhouse construction.

Stage 2 works:

- Alterations and additions to Kardinia House to facilitate its return to private residential use.
- Additional conservation works to Kardinia House.

It is requested that any permit conditions are prepared with reference to the staging of works and, if possible, these may be discussed with the project team prior to issue. A flow chart illustrating the staging of works, and suggested timing of permit conditions, is included at Figure 27, below.

Further discussion on the staging of works and permit conditions is included in the RFI response cover letter, and in the proposed permit conditions document.

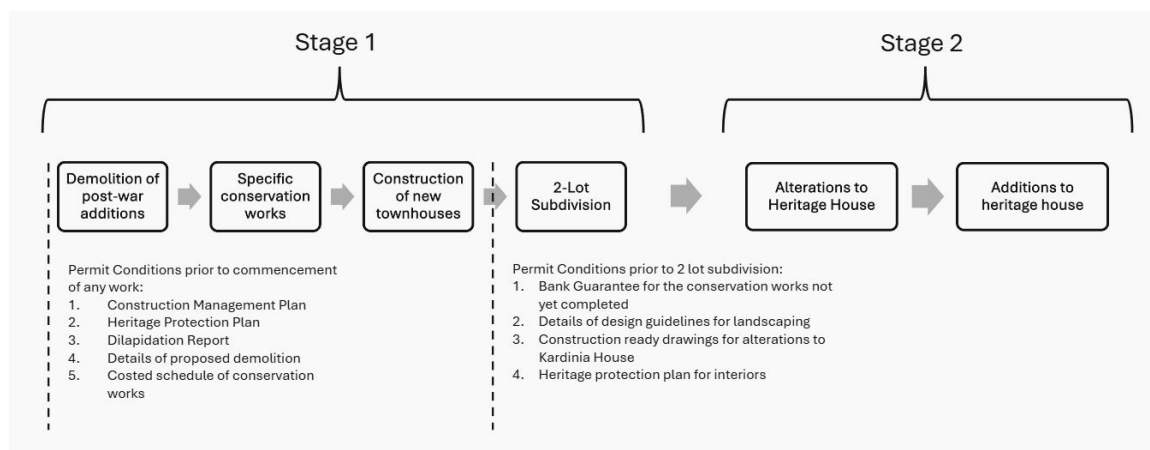


Figure 27: Flow chart of proposed staging of works and permit conditions. Source: Fathom.

4.1 Stage 1 Works

4.1.1 Kardinia House

Proposed works to Kardinia House comprise demolition and specific conservation works.

Demolition

It is proposed to demolish all structures to the rear, east and west of the original house. This comprises of the freestanding post-war buildings to the east and west of the house and all later structures attached to the rear of the house, including the altered timber outbuilding.

Care is to be taken during demolition to identify and safeguard any material that can be retained for re-use.

Make Good and Specific Conservation Works

It is proposed to make good any junctions/openings between the removed structures and original fabric and undertake conservation works based on those identified in the CMP as high-priority works, broadly comprising of the below. These works have been selected for the first stage based on efficient delivery during this stage of work. Further works are proposed at Stage 2 when there will be adequate resources to safely and correctly undertake works (eg scaffolding and machinery).

More details of proposed conservations works at Stage 1 are included in the attached Schedule.

- **Removal of Postwar Building A**

Carefully remove side access doorway and breezeway roof by hand, repair and make good any areas connected to original fabric. Demolish remainder of addition.

Remove upper-level walkway, removing connecting fabric using hand or hand tools as necessary to protect original fabric of house.

Infill connecting doorway with simple contemporary glazed window to match shape of existing on opposite end of the rear façade. Noting any new window may be removed later if upper-level connection is sought by new owners.

- **Removal of Postwar Building B**

Demolish addition as normal, leaving an area of approximately 1m from original house to demolish using hand tools or by hand as necessary, carefully removing enjoined walls and ceilings to avoid damage to original fabric. Repair and make good any areas connected to original fabric.

- **Removal of Timber Building and Breezeway**

Photographically record timber building before demolition.

Demolish building using hand tools or hand as necessary to avoid any damage to original fabric of the house. Repair and make good any areas connected to original fabric.

- **Remove Other Additions**

Remove other non-original additions including the stair at west.

- **Roof**

Engage a roofing specialist to inspect roof elements, i.e., chimneys, roof sheeting, rainwater goods, joinery, for any damages and/or faulty, especially those related to water ingress issues present in multiple internal spaces.

- **Windows**

Repair all damaged windows, replace faulty or decaying parts as necessary.

- **Rectify water ingress and cracks**

Investigate source of water ingress and make good all internal walls with water damage.

Investigate reason for wall cracks and repair as necessary.

- **Investigation**

Remove later finishes to reveal any concealed original elements (eg suspended ceilings).

Undertake analysis to determine original / early interior colour schemes and develop painting schedule.

4.1.2 Subdivision

It is proposed to subdivide the registered land into two lots. Lot 1 will retain Kardinia House creating a large parcel to the northwest of the site with the mansion house located to the rear of the lot. The curtilage of this parcel will be set back 9.2m south of the rear (south) wall and 6.1m from the east most wall of the house (12.4m from the rear east wall) continuing north to divide the front setback.

Lot 2 includes the south part of the site, and a stretch of land along the east boundary that angles further east towards the river / north edge of the site. At the south, Lot 2 will accommodate 34 new townhouses. The land along the east boundary will form common open space for the townhouses.

It is also proposed to alter the title boundary to swap land, adding to the east boundary. Refer to Proposed Site Plan for details.

Further details on the subdivision line, and reasoning for the location, is provided in the RFI response cover letter. It is proposed to link the Stage 1 conservation works to the subdivision through a permit condition trigger.



Figure 28. Proposed Site Plan. Lot 1 is seen at the north-west part of the site. Source: Plus Architecture, 2025.

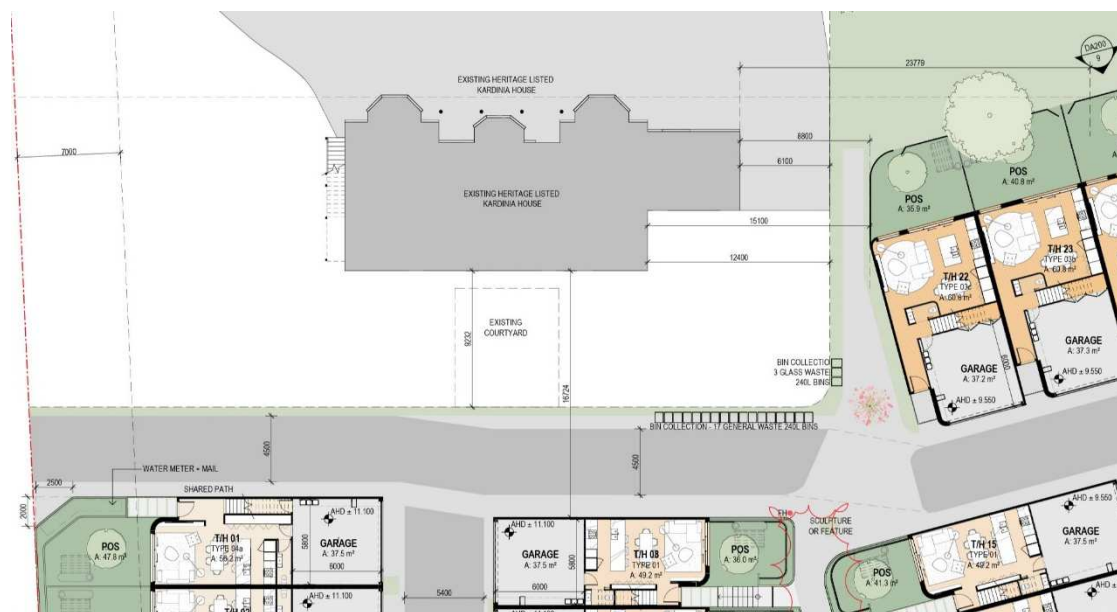


Figure 29. Proposed curtilage details around Kardinia House. Source: Plus Architecture, 2025.

4.1.3 Townhouse development

It is proposed to develop Lot 2, constructing 34 townhouses with private gardens. Vehicle accessways, pathways, landscaping and related infrastructure/services will form surrounding public realm areas. The townhouses will be sited to the south (rear) and west setback of Kardinia House, leaving the north setback as open landscape.

A vehicle access road will run along the north of the site from Riverview Terrace to the east boundary, dividing the site into a northern and southern section. A second access road will run from Barrabool Road in the east, continuing north through the site to link up with the northern access road. The proposed townhouses will be situated behind the northern most line of Kardinia House (the line of the bay windows).

The proposed townhouses will be arranged in five rows of between five and eight dwellings. To the west the River View row will be situated with gardens along the Riverview Terrace boundary. A second row of dwellings, the Garden row, will sit parallel separated from the River View row by a vehicle access road and with gardens located to the east. Two further rows, the Garden and Belmont rows, will sit at an angle to the east portion of the site, divided by an access road with gardens to the west and east respectively. Above this, the Park View row of five dwellings will be located to the northern portion of the site, east of Kardinia House. The Park View rows will be situated at an angle to the mansion house with the eastmost dwelling in line with the bay windows of Kardinia House and private gardens located to the north of each dwelling. The private gardens will be bound by visually permeable 1200mm high fencing and layered planting. A shared pathway will separate the Park View row from the boundary with Kardinia House.

The design of the proposed townhouses will be contemporary in nature, with cues taken from the form, elements and materiality of the significant Kardinia House. Features such as gable roof forms with timber soffits will creatively interpret the significant roof forms of Kardinia House. Whilst curved walls will be used to articulate the new built form in a contemporary manner inspired by bay window forms. Each row will be architecturally individual with common characteristics such as curved walls, gable and flat roof forms used throughout. Materially, the townhouse will feature timberlook panelling, glazing with metal frames and light textured render and brick walls. All townhouses will be two-storeys in height and feature private garden facilities and covered garages. Fencing to each row will comprise of contemporary metal screening and low brick walls, with planting creating a visual buffer.



Figure 30 Excerpt from DA100 Ground Floor Plan indicating proposed townhouse development to Lot 2. Source: Plus Architecture, 2025.



Figure 31 Perspective of the proposed townhouse development as viewed from Riverview Terrace. Source: Plus Architecture, 2025.

4.1.4 Landscaping

The existing front landscape setting will be retained, including significant mature trees, with landscaping works proposed to a contained area directly in front of the proposed Parkview townhouses only. Works to this area will create a communal garden area for residents of the development, featuring curving pathway, rain garden and garden beds.

It is also proposed to remove all existing fencing and construct new fencing. A 1200mm high visually permeable fence is proposed to delineate the Kardinia House and townhouse lots to the front setback. Along Barrabool Road and south down Riverview Terrace to the existing driveway entrance, it is proposed to construct a visually permeable 1800mm high fence. Two separate sets of pedestrian gates will provide access to the Kardinia House and townhouse lots from Barrabool Road. To Riverview Terrace the existing vehicle entrance will remain with new gates installed and further north another set of pedestrian gates will allow access to the Kardinia House lot.

A solid stone 1800mm high fence is proposed south of the vehicle entrance down Riverview Terrace and along the southern boundary of the proposed Kardinia House lot. To the east and south boundaries of the townhouse development, a black stained 1800mm high paling fence is proposed. 1200mm high visually permeable fencing is proposed to separate the private gardens of the Parkview townhouses from the communal gardens to the north setback.

The two lots will be delineated at the north landscape via a visually permeable picket fence.

4.2 Stage 2 Works

4.2.1 Additions and Alterations to Kardinia House

It is proposed to redevelop Kardinia House to enable its return to a single family dwelling. Internal alterations will be fairly minimal involving new fixtures and finishes, and reconfiguration to add amenities such as ensuite bathrooms, a laundry, and an internal lift. There are no major structural changes proposed, and no substantial rearrangement the interior.

New additions are proposed to the rear, sited and arranged in response to the existing layout. The new work is set off from the existing house with a covered breezeway element, and is then shaped around an internal courtyard in the same location as the existing / historic courtyard. The new work is set back from the south boundary by 2m, and off the back of Kardinia House by 1.5m but connected via a glazed linking element.

The new rear additions is single storey at the west, and double storey at the east. The addition includes a new kitchen, living, garage and store room at ground floor; and the second floor will house a new living room, powder and storage. The garage is accessed via a driveway, in line with the existing layout, at the east side. The design approach to the new work is simple and contemporary, enlivened by vertical fins to the west-facing elevations which assist in shading. A flat roof is proposed to minimise bulk and height. The proposed material palette is masonry and glass, a contemporary interpretation of the masonry character of Kardinia House.

A swimming pool is proposed towards the west side setback, with associated fencing and hard landscaping.

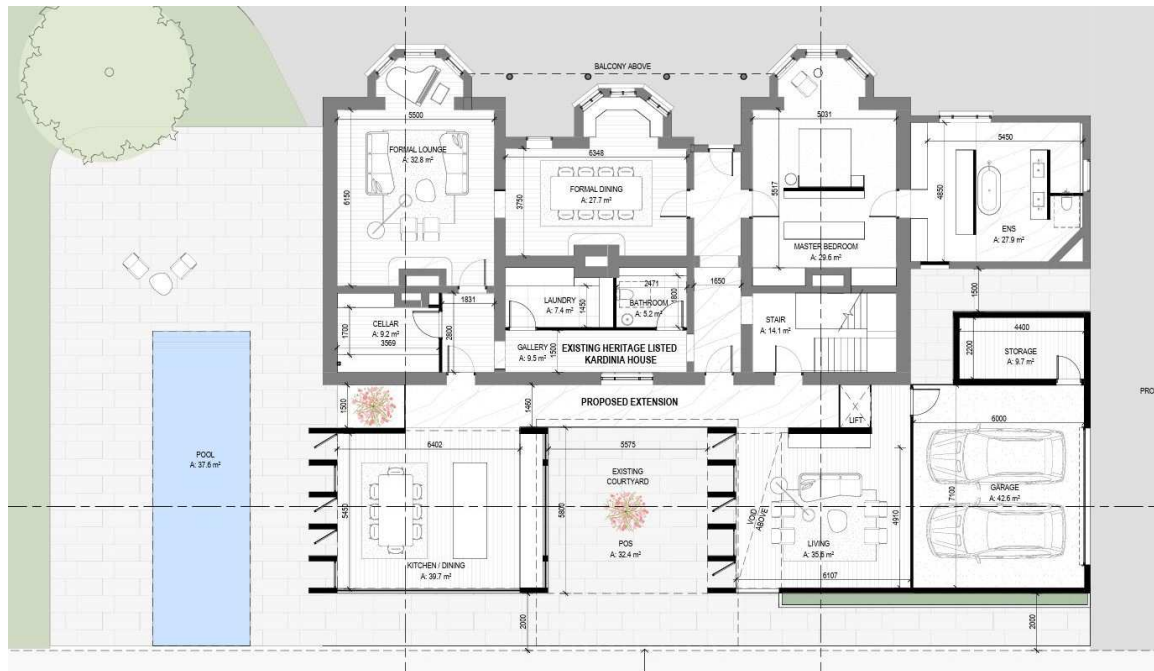


Figure 32: Proposed ground floor works to Kardinia House, with the new addition set off the back wall of the house connected by a breezeway-style linking element. Source: Plus Architecture.

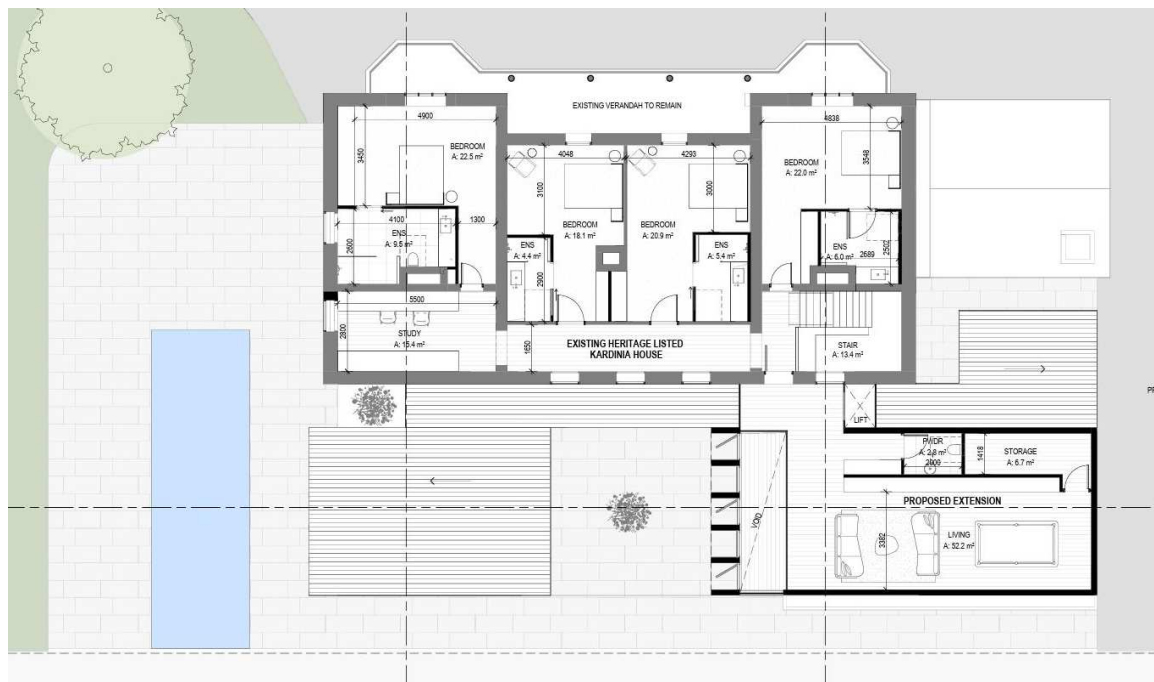


Figure 33: Proposed first floor works to Kardinia House. Note the alterations to provide ensuite bathrooms. Source: Plus Architecture.

4.2.2 Conservation Works to Kardinia House

A second stage of conservation works is proposed to Kardinia House, to be undertaken after Stage 1 is complete, and during or after alterations and additions. These works should be undertaken after other works so that they will not be disturbed or undone to enable those alterations.

- **External Paint**
Undertake external repainting / paint removal based on investigations at Stage 1.
- **Hard Landscaping**
Remove asphalt driveway and any concrete / hard surfaces close to the building base to reinstate appropriate setting.
Allow for drainage.
- **Upper level verandah**
Reinstate missing elements of the upper level verandah based on documentary and physical evidence.
- **Internal Repair and Reinstatement**
Repair and reinstate timber wall elements such as skirtings, dados, architraves etc.
Repair and reinstate plaster ceiling elements such as cornices, arch moulding, ceiling roses.
- **Hardware**
Remove unsympathetic hardware such as door handles, handrails etc and replace with appropriate examples.
- **Painting and finishing**
Undertake interior repainting and install finishes.

4.3 Options Considered

Various iterations and feasibility studies were undertaken to arrive at the chosen proposal, each attempted to balance the project's commercial viability with design and heritage matters. Consideration was given to the below matters and design options:

Subdivision

The proposed location and alignment of the subdivision has been through several design iterations. Consideration has been given to the functionality of the shared open space servicing the new townhouses, and the amenity provided to Kardinia House. Each lot requires an appropriate size for open space.

The application subdivision sought to maintain the width of Kardinia House's boundary at Barrabool Road at the north. This would maintain the appearance of a single plot of land, occupied by Kardinia House, when viewed from the river. The RFI requested a revision of this boundary to respond to the topographical features and historic references. As a result, further analysis of the historic division of the floodplain at the north of the site was undertaken, to inform a realignment of the proposed subdivision.

Additional comment regarding the subdivision is included in the accompanying cover letter.

Retention and refurbishment of existing structures

Retaining the existing buildings and refurbishing was considered. However, it was determined that the retention of the buildings would not be ideal from a heritage perspective and would present as unusual given the context. Further, as they presently detract from the landscaped setting of Kardinia House, their removal would result in a better heritage outcome and improved landscaping outcome. The commercial viability of this option was also limited.

A hybrid development was also considered, whereby some existing buildings to the east of Kardinia House would be repurposed with new development constructed to the rear. However, given the above-mentioned concerns regarding the existing buildings and their present impact on the setting of the heritage place, this was considered a poor heritage outcome.

Development Options

Several development options were considered for the site, including explorations into higher density outcomes involving apartment typologies, increased dwelling numbers and alternative siting arrangements. These are outlined as follows:

An option to construct 42 two-storey townhouses, including 5 high end townhouses and a communal building east of Kardinia House was considered (Figure 34). However, the density of the arrangement was impactful on the neighbourhood character of the surrounding area and resulted in minimal curtilage to Kardinia House.

An option to construct five high-end townhouses east of Kardinia House and a three-storey apartment building to the rear of the house was also considered (Figure 35). However, the apartment scale and typology was considered inappropriate and highly impactful to the setting and prominence of the heritage place. Further, this proposal would result in minimal curtilage to the historic house.

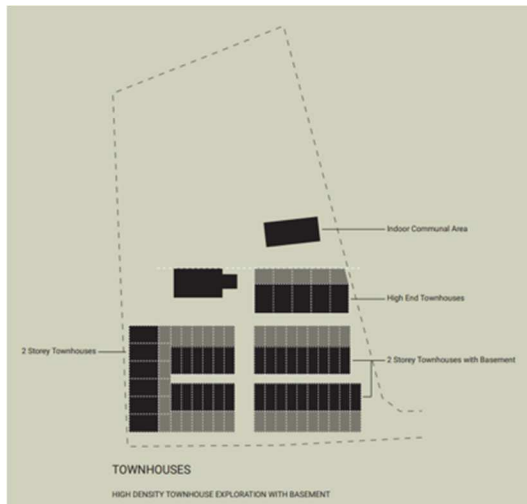


Figure 34 'High density townhouse exploration with basement'. Source: Plus Architecture, 2024.

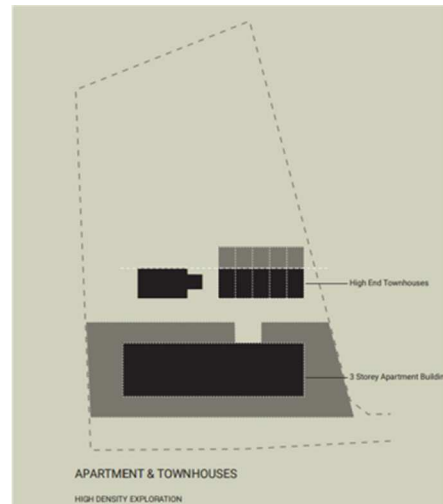


Figure 35 'High density exploration: apartment & townhouse'. Source: Plus Architecture, 2024.

Several options for the scale, arrangement and siting of between 32-34 townhouses were also considered (Figure 36-Figure 38). Siting of the high-end townhouses parallel with Kardinia House was considered, however resulted in a reduced curtilage to the mansion house. Increasing the density of dwellings to Riverview Terrace was also explored, however was considered impactful on the neighbourhood character and resulted in a reduced rear curtilage to Kardinia House. Generally, other options to increase the density of the rear townhouses resulted in poor design outcomes, such as limited private open space and a lack of diversity in townhouse types.

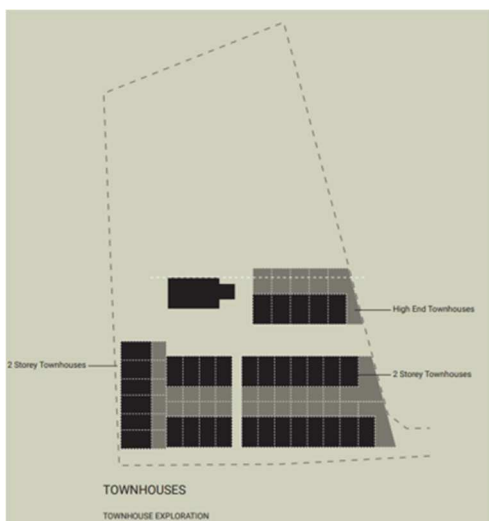


Figure 36 'Townhouse exploration' option for 34 townhouses, including five high-end townhouses east of Kardinia House. Source: Plus Architecture, 2024.

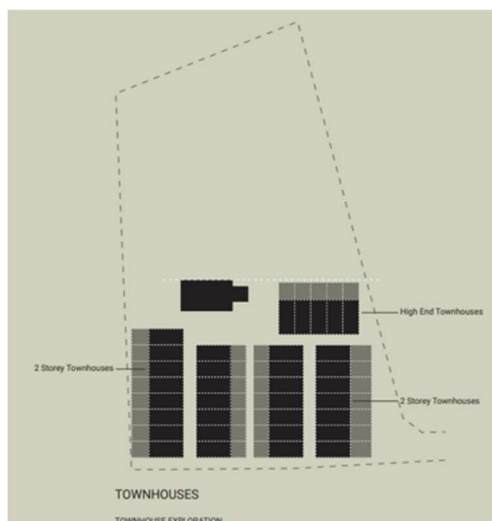


Figure 37 'Townhouse exploration' option for 34 townhouses, including higher density of dwellings to Riverview Terrace Source: Plus Architecture, 2024.

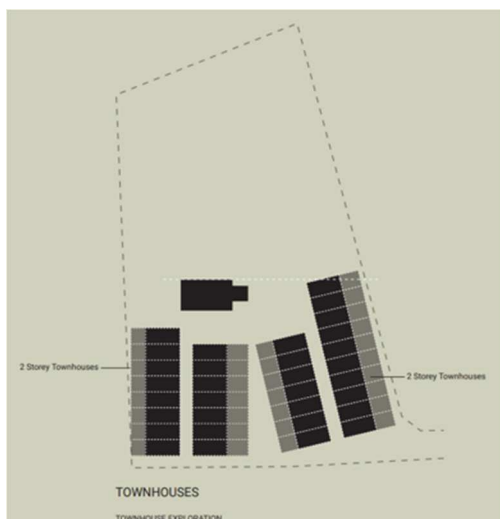


Figure 38 'Townhouse exploration' option for 32 townhouses, including higher density of dwellings to Riverview Terrace and no high-end townhouses. Source: Plus Architecture, 2024.

Development of application proposal: Townhouse setbacks and siting

The application proposal was been developed following receipt of pre-application advice from HV. The advice requested the reduction of a number of townhouses to the Parkview, Riverview and Garden Townhouses to increase setbacks to Kardinia House and protect views towards the river. The development cannot support a reduction in the number of townhouses without other compromises which may affect the desired heritage outcome (these matters are discussed further at Section 5.2). Therefore, the design has been amended to increase setbacks and alter the siting to achieve greater breathing room to Kardinia House whilst retaining the number of dwellings.

Alterations include locating the pathway to the west side of the Parkview townhouses and setting back the front garden areas. This results in an improvement to sightlines from Kardinia House towards the river and increases the setback of built form from the east wall of the house from 8.7m to 8.9m.

The rear laneway width has been reduced allowing the south setback from the rear of Kardinia House to the subdivision boundary to be increased from 7m to 9.2m. Additionally, the spacing between townhouses has been adjusted to setback the rear townhouses further towards the south boundary of Lot 2 and increase breathing room to the rear of Kardinia House.

Development of current proposal: Townhouse setbacks and siting

The current proposal is a variation on the application proposal, informed by the RFI and further discussion with HV. Changes include realignment of pedestrian access and setbacks through the townhouses, and provision of open space. Services to the townhouses such as rubbish bins and letter boxes have been relocated away from the boundary with the Kardinia House lot, so as not to encroach into that space.



Figure 39: Townhouse plan included in original permit application. Source: Plus Architecture, 2024.



Figure 40: Updated townhouse plan as part of this RFI response. Source: Plus Architecture, 2025.

Rear buildings

Given the compromised state of the rear timber building, there are limited options for its adaptive reuse or restoration. Option 1 is demolition of the structure with a photographic record of any potentially historical fabric that remains. Option 2 would be some kind of restoration, however this option is limited by the lack of records or evidence of its original appearance or function, meaning that any attempted restoration would be largely speculative and based around mostly non-original fabric. Another option could be to remove the post-war sections and 'make good' missing areas by closing off openings with mixtures of timber walls, contemporary glazing or doorways. This would also have the disadvantage of leaving a remnant structure enmeshed with contemporary fabric that would be of limited interpretive value and restrictive in terms of adaptation to the proposed new residential use by future owners.

5 Assessment

5.1 Impacts, Options Considered and Mitigation

Visual impacts to the heritage place related to the proposal are identified. These impacts are outlined in the following sections with details, options considered, and mitigation strategies also discussed as relevant.

5.2 Stage 1

5.2.1 Demolition

Post-war buildings and additions

Demolition of the post-war structures is acceptable given that this period does not contribute towards the significance of the place. Demolition of the post-war free standing structures is permit exempt. The post-war additions covered in this permit request are the post-war additions and accretions joined physically to the house itself at the south and east.

Presently, these structures detract aesthetically from the significant house (particularly from the east and south) and encroach on the setting of the heritage place. Their demolition will positively impact the heritage place by enhancing the understanding of Kardinia House as a freestanding Victorian mansion and improving upon the setting of the place by increasing breathing space around the house.

Any physical impacts to significant original fabric posed by adjacent demolition will be mitigated by the careful removal of fabric within 1m of the original house using hand tools and making good of all junctions with historic fabric.

Rear timber outbuilding

Most of the timber outbuilding comprises non-contributory post-war fabric and has been highly altered so that its original appearance and function are no longer evident in the fabric. There is a small section of the building (meeting room and breezeway) where it connects to the house where more apparently pre-war timber fabric is evident. These are the breezeway section itself, a timber wall with sash windows on the east and a smaller section of timber wall and altered windows on the west at the courtyard. The breezeway has a small gable timber and galvanised iron (new) roof, while the timber building has its own timber frame and galvanised iron roof in separate sections extending southwards. Beyond the north meeting room and courtyard, the building has been fully subsumed within post-war alterations and additions. There are no notable or distinctive interior features. Given that the outbuilding is of uncertain provenance and does not contribute to the aesthetic significance of the place, recording and demolition is acceptable.

Trees

No trees are to be removed from the front setting. In terms of providing an appropriate setting to the house, the removal of the trees to the rear would not adversely impact on the place. Trees at the south have been confirmed to be not significant, and no older than 10-30 years, as outlined in the letter prepared by Implexa.

The type and age of the trees to be removed at the rear have not been established by an arborist report, however it is noted that this area has already been highly altered by the post-war additions. Unless an arborist report finds any mature exotic trees that could date to the original planting scheme, there would be no impact from the removal of trees to the rear.

5.2.2 Subdivision

Further discussion of the subdivision line and reasoning is included in the accompanying RFI response cover letter and drawings.

The proposed subdivision of the site will result in changes to the property title however no changes to the existing registration extents are proposed. As such, Heritage Victoria will continue to act as the Responsible Authority for the site and any future works proposed to be undertaken within the registration extents will require approval from Heritage Victoria. Where impacts associated to the subdivision are concerned, these relate to a further reduction of the original landscape setting to

Kardinia House and the proposed use of Lot 2 for residential development. In particular, the subdivision of land to the northern setback of the house will divide an area of land that contributes to the place's visual connection to the Barwon River. However, the subdivision itself will have no physical impacts, and care has been taken to minimise potential visual impacts and ensure the proposed Kardinia House lot (Lot 1) is of adequate proportions to enable the reinstatement of a private residential use.

The CMP prescribes development zones, indicating the rear section of the site has a high tolerance for development, whilst the area directly behind and east of Kardinia House has a medium tolerance for development and the front and west setbacks have a low tolerance for development. The proposal draws upon this understanding, focusing the subdivision on those areas with a medium-high tolerance for development and forming an L-shaped parcel to the rear (south) and east of Kardinia House. Furthermore, the proposed subdivision will facilitate the return of the heritage place to its original private residential use, creating the conditions for ongoing occupancy and thus long-term conservation of the heritage place. To enable this use, the curtilage will be adequately set back from the significant house (9.23m south, 6.1m east of the eastmost wall and 12.4m east of the rear east wall) to allow for possible rear additions/landscaping works to the heritage place, ensuring the viability of private residential use into the future. This approach complies with the CMP policy 39 for 'subdivision' which states *subdivision of the site should retain the front landscape setting of the house and an adequate curtilage around and to the rear of the house itself to allow for usable and accessible space for private enjoyment and for potential additions in zones that tolerate change.*

The original grounds of Kardinia House have been substantially reduced through various subdivisions, beginning in 1890 as part of the Kardinia Estate sale (refer Figure 25) and continuing into the twentieth century, resulting in the current allotment size and shape. The statement of significance refers to the landscape in relation to the elevated position of the house, views to/from the Barwon River and mature exotic trees from the nineteenth century garden. The greater part of the proposed subdivided land is located to the rear of the site. This land, situated behind the house, does not contribute to the significant views of the house to/from the river. Given this, the impacts related to the subdivision of this rear area are considered negligible.

It is acknowledged that subdivision of land to the north will reduce the extent of the front garden to Lot 1. However, any related impacts are mitigated by the retention of a substantial open landscaped setting between Kardinia House and Barrabool Road/Barwon River. The proposal retains an open landscape setting in front of the house so that the historical unity and association of the land with Kardinia House continues to be legible in the front setting and presentation to the public realm. The subdivision line has been informed by the historic use of this land to the north, on the floodplain of the Barwon River. Historically, this area was productive land divided by fences, and separated from the house by an avenue of trees around the driveway. The proposed line draws on the historical evidence of fencing locations to divide the land in a modern interpretation of the original pastures. At the north end, the subdivision line is angled towards the east, in reference to the earlier avenue of trees aligned with the driveway. Historic references mean the subdivision line enables an understanding of the historic land use associated with the place. This is a positive outcome that mitigates the physical separation of the site.

In summary, the proposed subdivision will result in a further reduction to the original setting of the heritage place. However, any impacts are mitigated by the concentration of a greater part of the subdivided land to the rear of the site and the retention of an open landscape in front of the house that will allow significant sightlines between the house and the river to remain. Furthermore, the subdivision will facilitate a return of Kardinia House to its original residential use, thus enhancing the significance of the house as one of the oldest residences in Geelong.

5.2.3 Townhouse Development

New built form of the proposed development will comprise of 34 townhouses to Lot 2, the majority of which will be located to the south (rear) setback of Kardinia House, with five dwellings (Parkview Townhouses) proposed to be located to the east setback of the heritage place. It is acknowledged that the proposed development will visually impact the heritage place by introducing new built form to the south and east of Kardinia House. However, the impacts are mitigated by the siting, scale

and setback of new built form, and are an improvement on the current conditions (presently the post-war structures detract from significant sightlines).

Roads and pathways constructed along the boundary of Lot 2 to the south-east of Kardinia House will ensure new built form is appropriately setback from the significant house by approximately 14m from the south (rear) wall and 9m from the east wall. Further, the private gardens of the Parkview townhouses are setback behind the north line of the house for approximately 24m. This will create a visual separation between the house and new built form and enable Kardinia House to achieve visual prominence as a free-standing Victorian mansion. Additionally, the two-storey height of the proposed dwellings and the topography of the site with Kardinia House located at the high point, will ensure the development remains recessive in scale to the mansion house.

Where siting is concerned, the majority of new built form is located to the rear (south) setback and will have no impact on significant views of the house to/from Barrabool Road and the Barwon River. Views to the rear of the house from Riverview Terrace are presently compromised by the later rear additions and the proposed extent of development will have no further visual impacts on these view lines. The siting of Parkview Townhouses to the east setback will have some visual impacts. However, these impacts are mitigated by the setback of the dwellings behind the line of Kardinia House and thus a considerable distance from the principal (north) boundary and public realm along Barrabool Road and the Barwon River. The setback of these dwellings from the east wall of Kardinia House and angled siting with front gardens to the north, further mitigates against the visual impacts of development, including to significant view lines, and ensures the new built form is visually recessive. Further, it is noted that currently the post-war buildings to the east of the site are situated forward of Kardinia House and thus obstruct sightlines of the house towards the river. The proposed development will improve upon these existing conditions by siting new built form behind the line of the mansion house, retaining an open landscape to the north setback.

The contemporary design approach and materiality of the proposed townhouses allows them to be clearly identifiable as new built form. Yet the interpretive use of the architectural forms and materiality of Kardinia House (such as gable roof forms and brick materiality) ensures the development remains sympathetic to the mansion house, and the house itself remains the predominant architectural element. The use of visually permeable fencing with planter boxes and recessive landscaped front gardens to the north elevation of the development (Parkview Townhouses) provides a visual buffer between the development and landscaped front setback of the heritage place and allows the new built form to recede.

Overall, the careful siting, setback and scale of the proposed development mitigates against visual impacts to the heritage place by ensuring new built form is visually recessive and retains significant views of Kardinia House to/from the Barwon River by keeping an open landscape to the north. Furthermore, the proposed development is necessitated by economic considerations that will assist in the reinstatement of a private residential use to Kardinia House. These matters are discussed in further detail at Section 5.4.

5.2.4 Kardinia House – specific conservation work

In general, the proposal to undertake two stages of conservation works to Kardinia House will positively impact the heritage place by removing later additions/accreditations and contributing to ongoing conservation needs, including the rectification of water damage. The proposed staging of works allows for a suite of specific works to be carried out first, including demolition discussed at 5.2.1, which will positively reinstate an earlier footprint to the house.

In the pre-application advice Heritage Victoria indicated they would likely *secure the conservation works via a Bank Guarantee, otherwise the option to complete the conservation and repair works as a first stage of works (prior to other works approved by any permit) could be given as part of permit conditions*. It is requested that the details of conservation works, including drawings and costings, form a permit condition in line with the proposed project staging included in the RFI response cover letter and proposed permit conditions document.

Due to the staging of the project, it is further requested that conservation works are secured through a Bank Guarantee, rather than as a 'prior to commencement' condition. This will ensure that the whole project can be staged and managed according to funding and construction realities, and that conservation outcomes are not damaged or undone by later work.

5.3 Stage 2

5.3.1 Kardinia House – new work

Proposed new alterations and additions to Kardinia House will have some visual impacts on the place, as they will be evident as new work. Impacts have been mitigated by siting new work entirely behind Kardinia House, ensuring its three-dimensional form remains legible and is not encroached upon. The new work has been designed to complement the character and design of the house, without copying historic details. Original design features are reinterpreted in the new scheme. The existing courtyard and breezeway are maintained within the contemporary design, and the sweeping vehicle driveway will be incorporated to provide access to a new garage at the east.

Some physical impacts are identified related to connections between the new and old fabric, and to minor internal rearrangements with new walls and services. These impacts are minimal in scope with new spaces created by adding new walls rather than, as far as possible, removing fabric and creating new openings. Where new work connects to the existing, this is generally lightweight and minimal, and may be reversible in future.

The scale and massing of the new work has been designed to minimise visual bulk and to preserve views to Kardinia House from the public realm. The new work is set back from the house, with an inset linking element that ensures the original corners and three-dimensional form remain legible. The new work is largely single-storey but steps up towards the east away from the public realm. This approach maximises views to the original south wall of Kardinia House and ensures the new work sits discreetly and subserviently behind and below. These efforts are supported by a proposed flat roof which further minimise the overall mass and bulk of the new work and allows the original gabled form to remain visible.

The proposed design approach is restrained and contemporary, complementing the original house without visually competing, and being readily legible as new work. The proposed vertical fins at the west elevations articulate the façade so the new work does not read as a solid box, while also providing shading to the interior spaces. The provision of new exterior amenities and landscaping, such as a swimming pool, are consistent with a contemporary residential use. Such features do not detract from the character of the place, and they provide amenities commensurate with a property of this scale and type.

Colours and material selections reference Kardinia House's masonry character, and the restrained palette ensures the original house stands as the dominant visual element. The new work provides a visual transition from the form and materiality of the townhouses to that of Kardinia House.

The proposed addition is, overall, restrained in scale and is not an overdevelopment of the site. It has been carefully planned with regard to the economic realities of the local real estate market, where too much development and too large a property would become unaffordable.

Overall, the proposed alterations and additions to Kardinia House will have a positive impact as they enable the place to return to its original and historic use as a single family dwelling. At the same time, they provide a sensible scale of development that will be attractive and affordable within the real estate market, maximising the sale potential. It is important that the property can be sold and occupied, as this will ensure the house does not become redundant and fall into disrepair. The proposal, therefore, improves on the current situation wherein Kardinia House is not a well utilised asset and is not fit for purpose. The heritage place is significant as one of the oldest residences in Geelong, and the proposed reinstatement to residential use is a positive outcome for the heritage place and for its position within the community.

5.3.2 Kardinia House – conservation work

Following new work, Stage 2 conservation works may be undertaken to Kardinia House. These works will have a positive overall impact by repairing damage and reinstating lost elements both to the interior and exterior. For example, missing gable roof elements to the balconies are proposed to be reconstructed. These works are enabled by documentary historic evidence (eg photographs) showing their appearance, as well as physical evidence on site such as the external walls which are scarred where the roofs were connected.

Restoring the early appearance of the place, and revising the internal finishes scheme, will bring the house back to a more appropriate and sensitive appearance. Combined with the stage 1

specific conservation works, the ultimate restoration and conservation of Kardinia House will be a positive outcome for the place and for Geelong.

5.3.3 Landscaping

Further details in the proposed landscaping works are included in the attached landscape drawings, prepared by Arcadia. The proposed landscape scheme will maintain an open setting to the front landscape, with minimal new work proposed and significant mature trees retained. This will ensure significant sightlines towards the river are maintained. The proposed landscaping works to create a new communal garden in front of the Parkview Townhouses are set back from the public realm along Barrabool Road and are sympathetic to the existing landscape with curving pathways and garden beds directly in front of the townhouses.

The proposal to construct a fence to delineate the subdivided land within the front setback will have visual impacts. However, these are mitigated by the visual permeability of the fence type and its placement along the tapered subdivision line, retaining a sense and intelligibility of the original front landscape setting of Kardinia House. The subdivision line references the historic use of this part of the land, and the fence has been positioned with respect to historic fencing and landscape features. Visually permeable replacement fencing to Barrabool Road and Riverview Terrace is appropriately contemporary in nature and will ensure significant views from the public realm are maintained. The proposed high solid fencing to the west setback along part of Riverview Terrace and to the rear boundary with the townhouse development will visually impact the place by reducing views of the west and rear of the mansion house from Riverview Terrace. However, fencing of this nature is required for privacy purposes and is necessitated by reasonable and economic matters that will support the ongoing use and conservation of the heritage place.

Overall, the proposed landscape works will retain legibility of the front as one parcel connected historically to Kardinia House, whilst providing security and privacy for the future residents of the historic house and neighbouring development.

5.4 Why the Proposal Should Be Supported

The proposal should be supported as the works will enhance the significance of the place by reinstating the original and historic private residential use. The assessed significance of Kardinia House is deeply tied to its origins as one of the regions oldest residential houses and for its association as the home of several influential Victorians. On this basis, the reinstatement of a private residential use enhances the significance of the heritage place. Furthermore, later institutional use of the heritage place, beginning in the 1940s and continuing to the present day, has resulted in substantial alteration and change to the place. These changes have physically altered the original house and presently detract from the understanding of the place as a Victorian residence. The proposed removal of these later institutional additions and outbuildings will assist with an improved understanding of the place as a Victorian residence and thus positively impact upon the significance of the heritage place.

The proposed change of use will ensure the ongoing occupation of the significant house and in turn contribute to the safeguarding of future conservation and maintenance requirements. Under its current use, the place is underutilised and its conservation and maintenance needs neglected. Reinstating a residential use will provide the best opportunity for ongoing occupation and maintenance to the house. The proposed suite of conservation works (proposed under two stages) will support the future sale and residential occupation of the house, and present a positive heritage outcome that conserves fabric and reinstates missing elements and character.

It is acknowledged that the proposed subdivision and townhouse development will have some impacts to the heritage place related to a reduction of the setting. However, the redevelopment is required to facilitate the reinstatement of a residential use to the place, the effect of which will have an overwhelmingly positive impact on its significance. Furthermore, the careful setback and siting of new built form to the rear and east of the house, will go some way in mitigating impacts and ensuring a respectful setting to the mansion house is retained. To similar effect, the proposed subdivision curtilage has been considered with future residents in mind and will ensure that future additions and landscaping works to support the use, can be sited to the rear of the house to limit potential visual impacts. Overall, the proposal should be supported as the impacts of

redevelopment will be mitigated where possible and offset by the positive effects of make good/conservation works and the reinstatement of a residential use to the heritage place.

5.4.1 Matters which the Executive Director is to consider under s101(2)

Reasonable Use

The proposal to return Kardinia House to a private residence is a reasonable use of the place and will have positive heritage impacts related to the reinstatement of an original use. However, the heritage place in its current condition does not meet contemporary standards of residential living and amenity. Changes to the place are therefore required to enable this change of use and bring the house up to contemporary standards. Furthermore, the reasonable use of the place should be understood in terms of the expected amenity of this type of large family home in a contemporary context. Important factors such as vehicle access, privacy, security and private outdoor space (including elements such as a swimming pool) should be considered reasonable with regard to contemporary expectations for a house of this scale and prominence.

Returning the place to a residence will ensure continued use of the heritage place, which will support its ongoing maintenance and viability. In order to ensure that the residence continues to be used it must meet contemporary expectations and be an attractive option for future purchasers. The proposed subdivision curtilage retains an appropriate setting to the heritage place to allow for residential use in a contemporary context. This includes the retention of an adequate area to the rear, setback of 9.23m from the rear wall of the house, to allow for proposed additions and landscaping to support the proposed use. To similar effect, it is reasonable to assume a residence of this scale would require a level of privacy and security. The proposed setbacks and fencing between the development and mansion house are necessary to provide a reasonable degree of privacy and security to the residence. In particular, given the visual permeability of the front landscape it is reasonable to establish an area of private open space to the rear of the mansion house, including the east and west side setbacks. Thus, the proposed high solid fencing to the rear of the Kardinia House lot and part of the west boundary to Riverview Terrace should be considered reasonable.

Economic Use

A detailed discussion of the economic use and ongoing financial sustainability of the place is included in the accompanying economic use justification document prepared by Fathom, included as part of this RFI response. Additionally, these matters were discussed with Heritage Victoria at the meeting on 12 February. The proposed townhouse development will generate funds that can be used to redevelop and conserve Kardinia House, so that it may become a more appealing offering to potential buyers. Finding a new owner and occupant is essential to endure the place remains in use and properly maintained.

The heritage place in its current arrangement is unviable for contemporary residential or institutional uses and risks wholesale redundancy. The existing post-war additions were purpose built for the place's former function and have become redundant. Whilst the site itself is a substantial allotment in what is a largely residential area. In its current state, the heritage place is inefficient, dated and up to a low-grade office use standard only. The current occupants, GenU, are in the process of relocating and with no new occupant, the place risks falling into abandonment, disuse and ultimately disrepair. The site has also been listed for sale since 2019 and has failed to attract a purchaser. It is therefore apparent that some level of development is required to alter the current offering and enable the financial sustainability of the place, ensuring its future viability and use.

The proposed subdivision and redevelopment of the site provides an opportunity to inject funds into the place's conservation and restoration and return the house to its original function as a private home. The current proposal has been developed from an understanding that the house in its current state is not saleable as a residential property nor viable for contemporary commercial or institutional applications. As such, the proposal seeks to subdivide and develop the site to generate funds to restore and adapt the mansion house to meet contemporary residential standard. It is then intended to sell the house as a private residence on the reduced allotment. The proposed works are necessary to generate the funds required to ensure the house meets contemporary standards and is therefore an attractive option for future purchasers. A reduced lot size (compared with the existing) makes the property more affordable and decreases management costs. This includes the

landscaping which is shared among the townhouses. Approval of the application will therefore ensure the reinstatement of a residential use and unlock the restoration of the heritage place, and its return to its historic use as a private residence.

The client advises that the scale of development, namely the construction of 34 townhouses, is required to ensure the proposal is financially viable and can support the works required to return the house to a residential use. The proposed extent of new townhouse development has been carefully balanced to ensure the financial return is sufficient to fund both the new development and the works to Kardinia House. Options for removing a number of townhouses from the proposal, or arranging the types on offer, have been considered but found not to be feasible from a financial perspective. The client has undertaken extensive analysis into the viability of various design schemes for the site, including but not limited to:

- Higher density apartment development
- Low density residential development (single lot housing)
- Refurbishment of the old house and existing buildings
- Alternative uses, such as function centre
- Multiple layouts and arrangements of townhouses, including various densities and architectural form

Each option presented various challenges to address heritage impacts, permitted town planning uses, density, market acceptance, financial feasibility and neighbourhood character. The proposal to develop 34 townhouses provides an appropriate balance between respecting the significance of the heritage place and ensuring its economic sustainability and is the most suitable option.

Due to the proximity of the Barwon River and established neighbourhood the project has a high underlying land value that immediately positions any development proposal for the site in a medium-high end scheme. It is widely known that the residential construction industry has experienced volatile cost increases in recent times, compounded by high interest rates, skilled labour shortages and depressed sales rates which often puts excessive pressure on financial feasibilities to the extent that they are not viable. Upfront and fixed costs for demolition, heritage restoration, services headworks, internal roads and drainage, landscaping, residential construction and authority fees set a benchmark cost base that needs to be offset by project revenue.

Based on the client's financial feasibility and market-accepted rates for construction and sales revenue, the project must meet a minimum of 34 townhouses to meet acceptable development returns that would enable support from financial institutions for investment and funding. The project currently returns a Development Margin of 19.34%, slightly below the typical 20% margin that financiers require for funding. Although the margin is below the standard threshold, the project is still considered viable due to the developer's extensive experience and the positive contribution this development will make to the City of Greater Geelong. However, any reduction in the number of townhouses would render the project financially unviable. Modelling the impact of removing two townhouses brings the margin down to 16.95%, which is unacceptable and would render the entire project unable to be funded.

Restoring Kardinia House adds an additional financial burden to the project, making the current development scale crucial. There is an economy of scale, with each townhouse contributing to the overall profitability. Importantly, a reduction in the number of townhouses would result in an exponential decrease in profit. This is due to the fixed costs associated with the heritage restoration, which remain unchanged regardless of the number of units. As such, removing any townhouses would not only reduce revenue but also have a disproportionate impact on the overall Development Margin, making it difficult to meet bank funding requirements. This would compromise both the development and the restoration of Kardinia House to reinstate its residential use.

The proposed scale of 34 townhouses is essential to balancing the financial and heritage objectives. Should the proposal be refused or reduced in scale, the required development margin would not be achieved, and the proposal would risk becoming financially unviable. This would result in the subdivision and development works not going ahead, which would mean no income generated to fund the conservation and adaption works necessary to sell the house as a private residence. Without the proposed subdivision and townhouses, the maintenance costs of the whole

T land parcel would exceed what is reasonable for a single family to afford. If the house is not sold, it risks falling into disuse and ultimately disrepair as a redundant building. Given this, the proposed subdivision and development of 34 townhouses is considered crucial to securing an ongoing residential use for the heritage place and thus its long-term economic sustainability. A smaller-scale development would make it challenging to achieve these goals, ultimately putting both the viability of the development and the long-term conservation of the heritage place at risk.

6 Summary of Impacts and Conclusion

In summary, the proposal comprises of the subdivision and redevelopment of the current site, with conservation and new works to Kardinia House to reinstate its original residential use. The proposal will result in a reduction of the setting of the house. However, the proposed curtilage will retain an appropriate space around the house for its conservation and additions. The amount of land provided to Kardinia House has balanced the need for new amenity against the risk of over development resulting in a property that is outside market demands. The retention of a visually open setting to the front landscape and significant mature trees will mitigate against the impacts of subdivision and maintain a visual connection between the house and river so that the original allotment will continue to be legible. In combination with the demolition of postwar additions and outbuildings, the works will allow the building to present once more as a freestanding Victorian mansion. New townhouses have been carefully setback from the house and sited to the rear and east of the site to ensure the development visually recedes and does not impact upon significant views of the house to/from the river. The return of the place to its original residential use will greatly enhance the significance of the heritage place and ensure its future viability and ongoing conservation needs are met.

Overall, the proposal will have some impacts to the heritage place associated with the subdivision and townhouse development. However, where possible these impacts have been mitigated, and are necessitated by reasonable and economic considerations which will contribute to the ongoing use and conservation of the heritage place.

Appendix A Pre-Application Advice Response Matrix

The following matrix responds to specific matters raised in the Pre-Application [P40103] advice letter prepared by Heritage Victoria, dated 5 September 2024.

It is noted that further changes to the scope of work have been prepared as a result of the RFI, and some responses outlined below have been superceded. Nevertheless, this matrix is still included to demonstrate the development of the scheme in response to HV's feedback.

Pre-Application Advice	Response
<i>What should be protected in relation to significance</i>	
Landmark qualities of Kardinia House, including views from the house to the Barwon River as well as views of the house from across the river.	Views to be retained with proposed development intended to blend into background through recessive siting and restrained architectural responses.
Kardinia House must retain a prominent and commanding presence within the site and be read as freestanding.	Proposed removal of the post-war buildings will enhance the prominence of Kardinia House.
Retention of early or original internal spaces and heritage features.	No alterations to internal spaces are proposed as part of this application.
Retention of mature exotic trees that survive from the nineteenth-century garden and of the open space between Kardinia House and Barrabool Road.	No removal of vegetation is proposed.
<i>Observations</i>	
Additions to the rear of Kardinia House include a single storey weatherboard wing with corrugated iron gable roof which extends to the south-east of the house. This wing is of unknown date, though it does appear to occupy the same or a similar footprint as an extension shown on the 1891 subdivision plan. A flat, corrugated iron roofed single storey building forms a link between the weatherboard and red brick wings. A red brick two storey wing extends to the south-west of the house, dating to c.1960s.	Application will seek demolition of connected post-war buildings and make good of connected original fabric. Refer to Section 5.1.1 for assessment of demolition.
Internally, Kardinia House consists of several rooms accessed from a central hallway and staircase. Many nineteenth century fixtures remain including decorative cornices and plaster work, architraves, skirting boards, fireplaces, timber balustrading to stairs, timber doors and sash windows, and pressed metal ceilings. The arrangement of the extensions to the south of the house forms a small, paved internal courtyard.	Application will seek demolition of connected post-war buildings and make good of connected original fabric. No internal alterations are proposed as part of this application.
The positive actions proposed by the development are encouraged, including removal of intrusive later additions, works to restore and reinstate Kardinia House to a private residence.	There has been significant design investigation which included retention of the existing buildings and refurbishing. Whilst this option presented some interesting ideas it was determined that the buildings would not be functional and would significantly detract from the heritage setting of Kardinia House. Other various layouts have been explored and developed to enable appropriate development and restoration.

The design team is commended for addressing some of the key issues raised during our initial pre-application session held back in 2023. The cumulative impact of revisions has demonstrably improved public realm amenity, landscaping and heritage outcomes for the heritage place.	The design team is very conscious of the significance of Kardinia House and finding the right balance which enables restoration of Kardinia House through a sympathetic and responsible development outcome.
In considering development at the place, retaining an appropriate setting for Kardinia House needs to be given greater consideration. It is noted that the setting of the place does not only involve key views from the north, but also closer range views.	The setting has been considered in the application by providing increased curtilage and an open landscape to the north setback. Views will be improved through removal of post-war buildings and recessive siting of sympathetic architectural townhouses. No vegetation will be removed from the front setback.
The current proposal would severely limit the breathing space around Kardinia House, which would allow it to be read in the round, and allow for reinstatement of its historic garden setting. There is concern with the level of development and its proximity to Kardinia House.	Since the initial pre-app meeting additional curtilage has been provided to Kardinia House through re-siting of the rear townhouses and the Parkview townhouses.
It is likely that conservation works would be included as a permit condition should a permit be issued for the proposed development. Full documentation as scoped by a heritage consultant and/or heritage architect would be expected as part of those permit conditions. At permit application stage the conservation requirements of the place will need to be documented. Further, it is likely that Heritage Victoria would seek to secure the conservation works via a Bank Guarantee, otherwise the option to complete the conservation and repair works as a first stage of works (prior to other works approved by any permit) could be given as part of permit conditions.	Conservation works include removal of the post-war buildings, make good of connected fabric, and some rectification of external fabric. Conservation Drawings outlining the proposed works are included in the application. However, it is requested that the details of conservation works (to be completed as a first stage of works prior to other works approved by any permit) be approved under a condition to any permit.
It is accepted that a level of development would be required to fund the necessary conservation works to Kardinia House and to facilitate its return to a private residence.	A response regarding the economic use of the place is included at Section 5.2.
There is a level of comfort with the addition of some residential development to southern portion of the site. However, the scale, density, siting, and heritage response, setback, and uses require review, refinement, and justification. The proposal as it currently stands would have significant impact on the cultural heritage significance of the place, specifically on the setting of the place and will be challenging from a heritage perspective.	Refer to assessment of new built form at Section 5.
Recommendations – Kardinia House	
Retention of, and reinstatement of the historic setting for Kardinia House. The scale and bulk of any new built form must start from having fully understood the importance of the setting for the place.	Alterations, additions and landscaping works to Kardinia House are not part of this application. It is anticipated these works will be captured under a future permit application.

Where removal of intrusive later-addition built form is proposed, as much separation and breathing space as possible must be retained around Kardinia House so that it can be understood as a free standing building and be retained as close as possible to its historic presentation.	As per above.
<p>Revisit the scale and siting of the addition to the rear of Kardinia House. There is comfort with the proposition of an addition for the heritage building but not one that involves extension of existing gables. The following should be considered:</p> <ul style="list-style-type: none"> • An addition should be sympathetic in terms of its scale and siting. • Any design should incorporate the early timber building set off the main house via a breezeway. • Make use of a lightweight connection to the rear central portion of the existing dwelling through a link element. • Design the bulk of the addition extending behind the southern wall planes of Kardinia House (preferably not to the west) so as to be recessive in location. • New built form should be subservient in scale and particularly height to the main two storey building. • Amenities and services could be housed in the new extensions, meaning that very few interventions were required in the heritage fabric of the existing building. • New work does not have to be 'in keeping' with the character and appearance of the heritage place, it should be identifiable as new. 	As per above.
Carefully consider the location of secondary buildings, such as sheds and a garage.	As per above.
Consider a north facing pool to the western side of the mansion, with appropriate new fencing to provide privacy between Riverview Terrace and the Kardinia House.	As per above.
There is a level of comfort with some solid fencing along a portion of Riverview Terrace (to the west of the proposed Kardinia House allotment).	As per above.
Consider the internal adaptation of the heritage building in relation to circulation, access and services.	As per above.
Areas of hard paving and more contemporary landscaping for Kardinia House should be limited to the rear of the site, and associated	As per above.

with the rear addition. These areas would generally not be visible from the public realm.	
Consider whether the proposed level of development triggers substantial DDA and/or building code compliance for the heritage building, and the impacts of those required changes on the cultural heritage significance of the place.	As per above.
A good example in Geelong of additions to a registered place is Armytage House, which has a new single storey wing to the rear of the original two storey main building. This consists of two distinct parts: a kitchen and living areas with an adjoining terrace and a three car garage and laundry area.	As per above.
<i>Recommendations – Landscaping</i>	
No significant development should occur in the garden precinct area, so it can be interpreted as a significant and integral component of the overall heritage place. This includes fencing.	No significant development is proposed in the front setback. Front landscaping is not proposed as part of this application.
Preferably landscaping to the north should read a single landscaped area.	As per above.
Retain as much open landscape quality as possible for the overall place to protect the identified significance which is in part tied to the landscape setting.	As per above.
Any proposed landscape works must maintain improve the existing setting of Kardinia House, and with reference to historic sources would re-establish an appropriate setting similar to that known to have existed during the early phases of its occupation. This helps in interpreting the once rural landscape for the house.	As per above.
New low stone walls following the natural contours are likely to be supported. These walls must not impact on the existing trees and should be supported by an Arborist report.	As per above.
<i>Recommendations – Townhouse Development</i>	
The view from the Barwon River toward Kardinia is considered to be an important view line to maintain as open and without built form, to assist in protecting this setting for the house. To this end, a greater set back and/or reduced footprint for the Parkview Townhouses to the east of Kardinia House is required to achieve greater protection of this view. Consider the removal of two of the Parkview Townhouses' from the western end or the setting back of the whole set of Parkview Townhouses so the private landscaping and fencing associated with these sits behind Kardinia House.	<p>The proposal has also been developed following receipt of pre-application advice.</p> <p>It is noted that the development cannot support a reduction in the number of townhouses without other compromises which may affect the desired heritage outcome. Therefore, the design has been amended to increase setbacks and alter the siting to achieve greater breathing room to Kardinia House whilst retaining the number of dwellings.</p> <p>Alterations include locating the pathway to the west side of the Parkview townhouses and setting back the front garden areas. This results in an improvement to sightlines from Kardinia House towards the river and increases the setback of built form from the east wall of the house from 8.7m to 8.9m. It is also noted that the private open space for the</p>

	first 2.5 townhouses does not sit forward of Kardinia House.
To increase breathing space to Kardinia House, a reduction in the footprint of the Riverview and Garden Row Townhouses is recommended to protect the fabric of the place and its setting. Consider the removal of 1-2 townhouses from the north of each block.	<p>The proposal has also been developed following receipt of pre-application advice.</p> <p>It is noted that the development cannot support a reduction in the number of townhouses without other compromises which may affect the desired heritage outcome. Therefore, the design has been amended to increase setbacks and alter the siting to achieve greater breathing room to Kardinia House whilst retaining the number of dwellings.</p> <p>The rear laneway width has been reduced allowing the south setback from the rear of Kardinia House to the subdivision boundary to be increased from 7m to 9.2m. Additionally, the spacing between townhouses has been adjusted to setback the rear townhouses further towards the south boundary of Lot 2 and increase breathing room to the rear of Kardinia House.</p>
New fencing and gates should enhance the public presentation of the site, particularly given the existing inappropriate wire fencing.	The proposed design has sought to provide this.
Locate new built form to the perimeter of the site to provide curtilage to the heritage building.	The built form siting and scale is deliberate and intended to be setback from Kardinia House. The siting is positioned around the perimeter of the site and density provided in the least sensitive location.
Consider the architectural expression and materiality of new development as contemporary buildings and companions to the central heritage building.	The architectural expression and materiality, intent and design is paramount. The design narrative is set around Kardinia House performing as the central tenant to the development with all other design hinging off the architectural features which are reflected in a series of elemental cues within the development.
Making use of the natural slope of the topography.	The natural slope and topography forward of Kardinia House is not intended to be modified. Only minor landscaping works are proposed as part of this application to the area east of the house and any future landscape treatments are intended to be 'light touch' only.
Consider vehicle access off Riverview Terrace.	Vehicle access off Riverview terrace is the primary location for access to the site.
The introduction of an active use (to front garden) assists in creating a lively gateway into the overall site. This will need to be supported by lighting strategy.	Landscaping to the front of Kardinia House will be subject to a future application.
A permit application may require a program of archaeological investigations and recording for the archaeological features across the site to ensure that the site details are well-understood and that any vulnerable site components are appropriately managed. It is noted that the site has archaeological potential, given past	

structures and walls and the applicant may need to seek archaeological advice.	
<i>Recommendations – Subdivision</i>	
There is concern regarding the implications of the land management arrangements currently proposed, between the townhouse communal area and private residential land. Consider how it would be proposed to manage the place and its cultural heritage values in a manner that is holistic and consistent across the heritage place.	The landscape design would be presented as a single design and potentially linked to a separate permit, S173 and/or instrument that ensured that future subdivision would compel owners to maintain the landscape at an appropriate standard.
Consider how to determine the proposed subdivision boundaries in response to the cultural heritage significance of the registered place.	A revised subdivision layout has been prepared which considers the existing contours of the land and connection of the house to the river. The intent of the boundary alignment is to provide a seamless appearance of the overall front landscaping, so it reads as a single landholding.
Any proposed subdivision must consider the impact on the scale and appearance of fencing and the front landscape setting to Kardinia House to ensure it continues to be read as one continuous piece of land. These are crucial elements in the interpretation of the place, which was orientated towards the river and these elements and connections should be retained.	As per above.
Seek to maintain a seamless communal landscape setting to the front of Kardinia House across the current full parcel. To achieve this consider whether the proposed Kardinia House lot occupies a central section of the overall site, and the communal landscape runs the full width of the north section of the overall site.	As per above.
The division of the front (north) landscape with fencing is not likely to be supported. Consider the use of a feature such as retaining walls or contours as the new subdivisions lines instead of fencing.	The fencing type to separate each site is intended to be 100% permeable with carefully selected plants which further conceal the location and type of fencing. The design team recommends that a fence of some nature is primarily required for security purposes of Kardinia House and future resident(s), otherwise unsolicited parties and the public would be able to access private land. No fencing further restricts occupants ability to house pets and delineate landholding. Both security and boundary delineation can be achieved through careful fencing and landscaping design.
In assessing a subdivision application, and depending on what stage of development that occurred, mechanisms such as the use of a covenant and/or common property to implement design guidelines, landscape maintenance, restrictions on fencing and building envelopes may be considered to mitigate the impact of subdivision on the heritage values of the place.	This approach would be welcomed and provides certainty for all parties (authorities/ owners/ occupants) of responsibilities, whilst protecting heritage values.

<p>It is noted that since the introduction of the Heritage Act 2017, an owner of a place included in the VHR may apply for a subdivision permit in either of two ways:</p> <ol style="list-style-type: none"> 1. They may apply under both the Heritage Act 2017 and the Planning and Environment Act 1987. 2. They can choose to apply only under the Planning and Environment Act 1987 in which case the Council must refer the application to the Heritage Victoria as a mandatory determining referral authority. 	<p>The applicant will make an application under both the Heritage Act 2017 and the Planning and Environment Act 1987. C</p>
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Appendix B Photomontage Views

The following existing and proposed photomontage views have been prepared to illustrate the proposal. These views show the application scheme, not the updated scheme.

Barrabool Road



Figure 41 Existing view of the heritage place from Barrabool Road. Source: Plus Architecture, 2024.

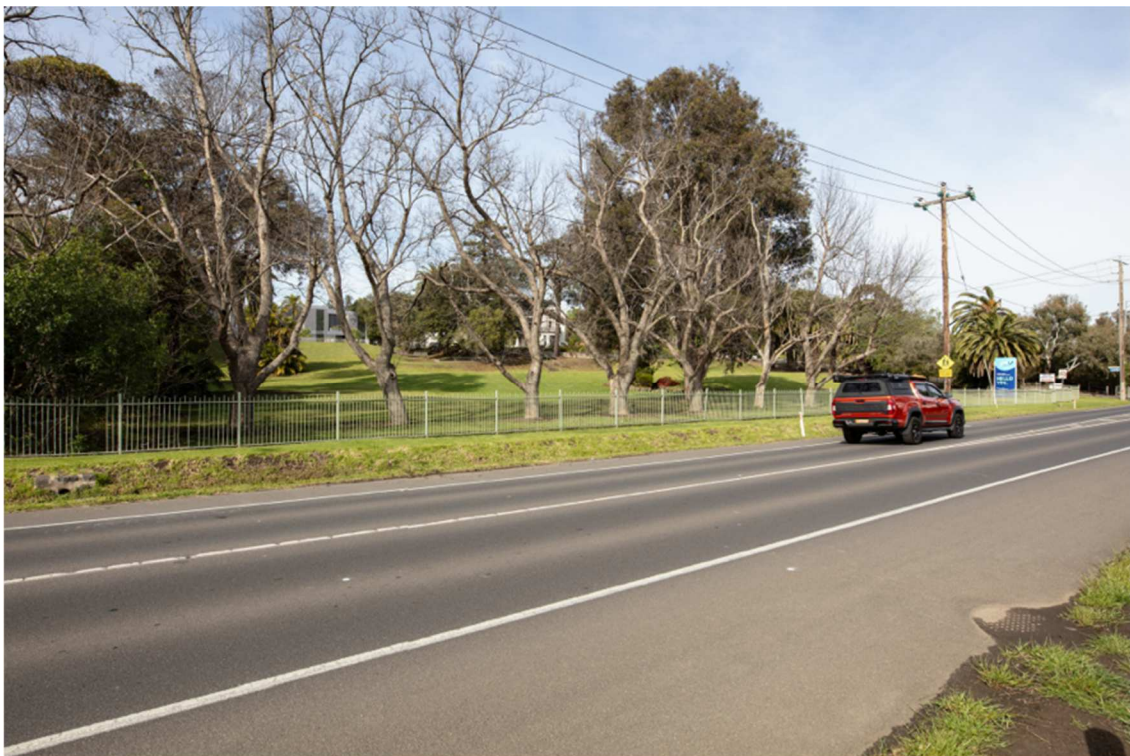


Figure 42 Proposed view of the heritage place from Barrabool Road. Source: Plus Architecture, 2024.

John M Macintyre Bridge



Figure 43 Existing view of the heritage place from the John M Macintyre Bridge. Source: Plus Architecture, 2024.



Figure 44 Proposed view of the heritage place from the John M Macintyre Bridge. Source: Plus Architecture, 2024.

Riverview Terrace



Figure 45 Existing view of the heritage place from Riverview Terrace. Source: Plus Architecture, 2024.



Figure 46 Proposed view of the heritage place from Riverview Terrace. Source: Plus Architecture, 2025.