

Condition Assessment and Conservation Works & Maintenance Schedule

Cullymont (VHR 0811)
4 Selwyn Street Canterbury



Proposal:
Works associated with proposed four car garage

Prepared for:



Project #: 21.15
25 September 2023

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Report Register

The following report register documents the development and issue of the Heritage Impact Statement and Condition Assessment for Cullymont as prepared by Sands de Vos Pty Ltd, Architects and Heritage Consultants.

Version	Issued to	Date Issued
Final	For Heritage Victoria Permit Application	14 April 2023
Revision	For Heritage Victoria Permit Application	25 September 2023

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1. Introduction

This report has been prepared by Sands de Vos Architects and Heritage Consultants, for the owners of Cullymont, Mr. Douglas and Mrs. Jane Patrick.

The report accompanies an application to Heritage Victoria for a new four car garage.

The subject site, also known as Cullymont, located at 4 Selwyn Street Canterbury, is an 1890 Italianate villa of stuccoed brick. The site is of state significance (VHR 0811) and is located within the Boroondara Heritage Overlay (HO119). A new four car garage is proposed to the vacant area directly adjacent to the existing outbuildings to the rear (east) of the site, off the access lane.

This report is submitted to Heritage Victoria, for the attention of Katrina Dernelley, in response to the above and should be read in conjunction with:

- Architectural drawings, and
- Heritage Impact Statement

The scope of this report is limited to the extant outbuildings to the east of the site, directly adjacent to the proposed garage (refer to Figure 2). It assesses the condition of the buildings and provides recommendations for remedial work where required (in scope of the heritage permit application), and future maintenance (out of scope of the heritage permit application). The report has been prepared in accordance with Heritage Victoria's 'Minimum Standards for Maintenance and Repair of Heritage Places'.

Refer to the accompanying Heritage Impact Statement for information about the history and development of the site, heritage significance, and relevant heritage policies relating to the property.

Refer to the Architectural drawings and Heritage Impact Statement for a description of the proposed new works.

2. Location

The subject site is located at 4 Selwyn Street Canterbury within the local government area of Boroondara. Cullymont is unique as an early example of an 1890 dual occupancy mansion and forms one of a pair of two culturally significant heritage buildings along with Eyre Court (VHR H0817) to the south-west. The subject site is made up of multiple Lots numbered 1-8, refer attached Title in the Appendix.

The L-shaped site has an area of 1,412 square meters and is located to the south of Selwyn Street. The adjoining dwelling, Eyre Court, at 4 Molesworth Street, is located to the south-west and separated by a party wall easement. The neighbouring sites include a single-storey residence at 1 Molesworth Street to the north-west; a single-storey residence at 4A Selwyn Street to the north-east; and a two-storey residence at 15 Leeds Street to the south-east. An access lane runs along the far eastern boundary.



Figure 1: Aerial view of subject site at 4 Selwyn Street Canterbury highlighted. North is to the top of the page (Source: Nearmap, 27/11/2021).

3. Condition Assessment

3.1. Introduction

The following physical analysis of the Cullymont is based upon a physical survey of the complex, **conducted on 14 September 2022**, and review of available documentary evidence, including all plans of the building, maps, and photographs.

3.2. Owner Obligations

A place listed in the Victorian Heritage Register is legally protected. The owner of a listed heritage asset has an obligation under the Act to maintain it to the extent that its significance is not threatened (section 153), and to ensure that it does not fall into a state of disrepair (section 152).

Owners are also obliged to seek permits or permit exemptions in accordance with Part 5 of the Act before making any change to their registered place or object. Significant penalties may apply if works are undertaken without approval.

If you allow your registered place to fall into disrepair, or if you fail to maintain the place to the extent its conservation is threatened, Heritage Victoria may issue a repair order for the carrying out of works. Failure to comply with a repair order may result in a significant financial penalty and/or imprisonment.¹

3.3. Assessment Limitations

The assessment is limited to the outbuilds to the rear east of the site, off the rear lane, and directly adjacent to the proposed garage. The assessment was undertaken from ground level, with limited visual access to the outbuilding's roofs via a step ladder.

No subfloor investigations were undertaken, or intrusive investigations of the fabric.

This report does not identify hazardous materials or provide advice on removal, handling, or disposal of hazardous materials.

Compliance with the National Construction Code (NCC) has also not been addressed in this report.

3.4. Personnel

This Condition Assessment has been prepared by, Jeremy de Vos (Heritage Architect) and Robert Sands (Architect and Conservation Consultant), of Sands de Vos Pty, Architects and Heritage Consultants

¹ Heritage Victoria, *Minimum Standards for Maintenance and Repair of Heritage Places*, August 2022, p.2

3.5. Plan Reference

The plan shown below details the areas referenced in this report.

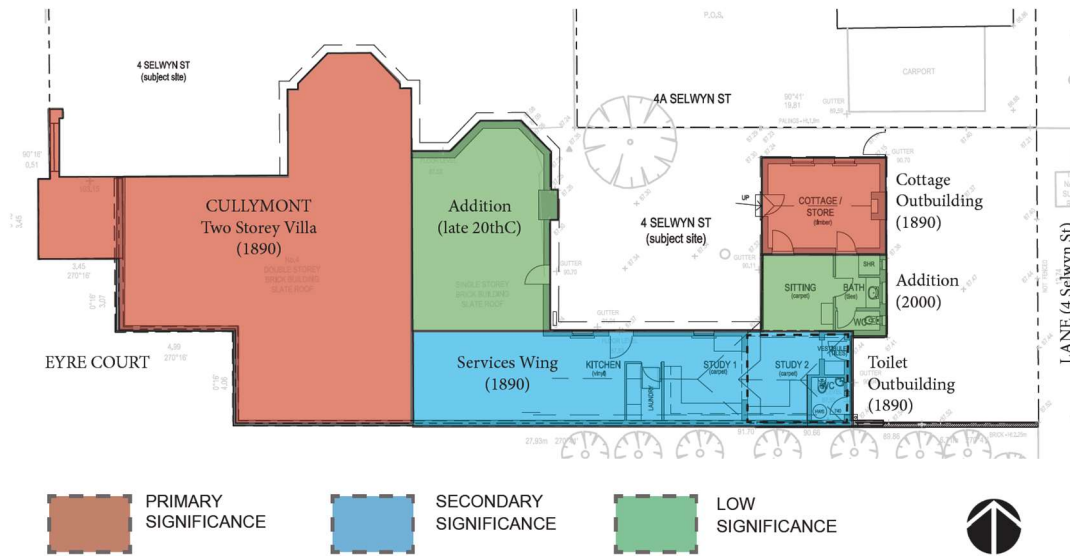


Figure 2: Existing Conditions floor plan, showing the levels of significance.

3.6. Condition Overview

The condition of the outbuildings, including the former caretaker’s cottage to the north-east, and the eastern amenities section of the services wing, as well as the recent flat roofed infill addition, are in good condition and have been well maintained.



Figure 3: View from Laneway showing amenities outbuilding to left, the historic Cottage outbuilding with pitched roof and chimney to the right, and its contemporary addition in the centre.

Caretakers Cottage

The former 1890 caretaker's cottage consists of extant slate roofing, with a rendered chimney shaft with a decorative corbel. The roof is in sound condition with no evidence of damaged slate. The chimney is discoloured, due to environmental affects, with slight cracking to the render, with some minor drummy sections, but is generally sound. The original gutters have been replaced with quad gutters and are in good working order, however, one downpipe is discharging directly into a lower gutter with no control to the flow.

The cottage walls are of face brick and have been finished in acrylic paint. The paint has been removed from the north and west walls, but some remnant paint remains. The masonry and mortar are in good condition. The double hung, weight and cord, timber window has been recently serviced and is in good condition. The four panel Victorian door appears to be original and is also in good condition. There appears to be adequate subfloor clearance, with subfloor vents located to the north wall only.

The interior of the cottage is intact with simple finishes. The floor is timber, the walls painted masonry and the ceiling is beaded timber boards in a painted finish. Architraves and skirting have Victorian detailing and appear to be of the original 1890s cottage.



Figure 4: East elevation of the historic Cottage viewed from the Laneway. Contemporary addition on the left.



Figure 5: West elevation of the historic Cottage. The contemporary addition is visible on the right.



Figure 6: North elevation of the historic Cottage looking towards the Laneway.

Amenities Outbuilding

The amenities area, to the east section of the services wing, is delineated by a hipped slate roof that sits below the main roof to the west. The roof to the west and east sections of the services wing have been repaired with new matching slate. The downpipe from the upper roof is discharging directly into the lower box gutter of the amenities wing without any control to the flow. The external east wall is painted face brick and has been altered. The lower service opening has been bricked up and a new doorway has been installed to access the recent infill addition.

The interior of the amenities area has been altered to accommodate a new study and bathroom. The floor is on a concrete slab with tiled and carpet flooring. There are no signs of water ingress.



Figure 7: East elevation of amenities outbuilding viewed from Laneway.



Figure 8: North elevation of amenities outbuilding.

4. Conservation Works Schedule

These works are to be undertaken in conjunction with the proposed new works and form part of the heritage permit application.


4.1. Priority Terminology


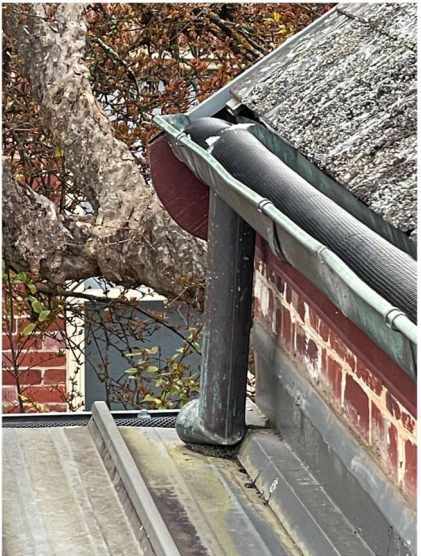

The following categories of remediation and conservation works should be implemented within the noted time frame to prevent deterioration of significant fabric.



Item	Priority	Time Frame	Details
U	Urgent	Immediately	These works are required to mitigate risk and ongoing deterioration of the fabric to stabilise the rapid deterioration of the original fabric. They typically relate to areas which have suffered neglect for some time or where deterioration has progressed to a considerable degree.
I	Investigate	Immediately or < 1 year	Further investigation is required to determine the extent of the defect (some areas were obscured) or if the identified defect may have further implications.
E	Essential	1-3 years	These works are required to stabilise the ongoing deterioration of the original fabric. They typically relate to areas which are beginning to deteriorate.



4.2. Proposed Conservation Works

The following defects were observed by Jeremy de Vos, Heritage Architect, during a site visit on 14 August 2022 and the priority remedial action recommended.

Item	Observations & defects	Recommended Actions	Image
1.0	Roof + Rainwater Goods		
1.1	<p>Cottage Eaves a section of the timber barge under the end is missing element or section of the barge.</p> <p>Other sections of the timber barge ends local to the gutters a showing early signs of water damage</p>	<p>Essential</p> <p>Barge ends to be stripped, primed, and painted to retard ongoing water damage. Check gutter ends to ensure there are watertight.</p> <p>Where timber is beyond repair, cut out damaged areas and scarf new matching timber, fix with 2-part epoxy, paint to match existing</p>	

Item	Observations & defects	Recommended Actions	Image
1.2	<p>Cottage Chimney: Cement rendered chimney shaft with rendered brick corbel. The chimney shaft is of a similar style to the main villa. The lower expressed section of the shaft was accessed, and the upper section was visually assessed only. Fine cracks are evident, and the render is firmly fixed, the staining appears to be soiling rather than any obvious water damage.</p>	<p>Investigate</p> <p>Assess top of chimney to ensure no cracks or water ingress to the masonry or behind the render.</p>	
1.3	<p>Cottage rainwater goods: The gutters appear to have recently been replaced with quad gutters and are in good condition. A section of the gutter guard is missing. The downpipe is discharging directly into the gutter of the adjacent flat roof.</p>	<p>Urgent</p> <p>Replace missing gutter guard.</p> <p>Urgent</p> <p>Connect directly into lower downpipe or provide a spreader away from the gutter and cottage wall flashing.</p> <p>Urgent</p> <p>Ensure all down pipes and drains are clear and connected to the legal point of discharge.</p>	
1.4	<p>Services Wing roof: The downpipe from the upper roof discharges directly into the box gutter of the lower toilet block roof. There appears to be temporary flashing installed to the junction of the upper and lower roofs.</p>	<p>Investigate</p> <p>Plumber to assess the condition of the existing stepped flashing to and the nature of the temporary flashing. Ensure all flashing is sound.</p> <p>Urgent</p> <p>Rectify downpipe discharging directly into gutter to meet regulatory requirements, plumber or building surveyor to advise.</p>	

Item	Observations & defects	Recommended Actions	Image
1.5	<p>Services Wing Chimney: base section of the chimney appears to need repointing</p>	<p>Investigate</p> <p>Assess the condition of the chimney mortar.</p>	
1.6	<p>Toilet block roof (cont.): The east quad gutter is deformed and has inadequate fall, water is ponding in the gutter. The down pipe has disconnected from the rainwater head, water is discharging into the ground.</p>	<p>Urgent</p> <p>Reconnect the downpipe to RWH and ensure all drains are sound and clear.</p> <p>Urgent</p> <p>Replace existing quad gutter and provide fall (1:500 min) to meet regulatory requirements.</p>	

Item	Observations & defects	Recommended Actions	Image
2.0	Footings		
2.1	<p>Services wing: Minimal subfloor clearance (approx. 200mm). Sub floor ventilation to the north wall only. mechanical ventilation installed, not operational</p>	<p>Urgent Ensure mechanical subfloor ventilation is operational</p>	
2.2	<p>Cottage: Minimal subfloor clearance (approx. 200mm). Sub floor ventilation to the north wall only.</p>	<p>Essential Provide additional subfloor ventilation to the west side.</p>	

5. Maintenance Plan

The owners should ensure that these works are undertaken within the required timeframes; they do not form part of the heritage permit application.


5.1. Priority Terminology


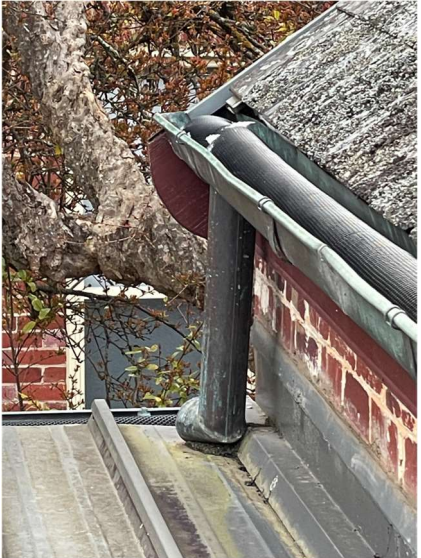
The following categories of maintenance and remediation/conservation works should be implemented within the noted time frame to prevent deterioration of significant fabric.


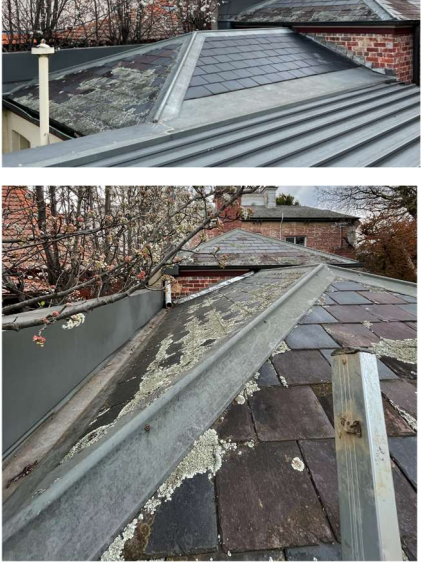
Item	Priority	Time Frame	Details
R	Recommended	< 5 years	This category of works is not crucial to the ongoing preservation of the structures and typically relates to reinstating original detailing or features. These works are not considered essential, though would serve to improve the presentation of the place and could assist to offset any potential negative impacts associated with the proposed new works.
M	Monitor / Maintenance	Monitor annually	The fabric was found to be in good condition and well maintained. The recommendation is to monitor the element to identify any potential environmental impacts, damage or defects that may developed over time. The element should be monitored at least once per year.




5.2. Proposed Maintenance Plan



The following defects were observed by Jeremy de Vos, Heritage Architect, during a site visit on 14 August 2022 and the low priority remedial action and maintenance items recommended.

Item	Observations & defects	Recommended Actions	Image
1.0	Roof + Rainwater Goods		
1.1	<p>Cottage Roofing: The slate roofing and flashing is in fair condition. Roofing appears to be original and is covered in organic matter. No slipped or broken slates were visible, slates appear sound and were not delaminating.</p>	<p>Monitor Slate to be monitored for any damage or slipped slates, and to ensure slashing remain sound.</p>	

Item	Observations & defects	Recommended Actions	Image
1.2	<p>Cottage Chimney: Cement rendered chimney shaft with rendered brick corbel. The chimney shaft is of a similar style to the main villa.</p> <p>the lower expressed section of the shaft was accessed, and the upper section was visually assessed only. fine cracks are evident, and the render is firmly fixed, the staining appears to be soiling rather than any obvious water damage.</p>	<p>Monitor</p> <p>Monitor cracks and possible drumminess to the render which would indicate water ingress. Reassess and repair cracks in matching render material and colour.</p> <p>Recommended</p> <p>Replace/scarf in missing section of the barge.</p>	
1.3	<p>Cottage rainwater goods:</p> <p>The gutters appear to have recently been replaced with quad gutters and are in good condition. A section of the gutter guard is missing.</p> <p>The downpipe is discharging directly into the gutter of the adjacent flat roof.</p>	<p>Monitor</p> <p>Regularly (2x annually) check and clear all gutters.</p>	

Item	Observations & defects	Recommended Actions	Image
1.4	<p>Services Wing Chimney: base section of the chimney appears to need repointing</p>	<p>Recommended</p> <p>Repoint in accordance with Heritage Victoria guidelines</p>	
1.5	<p>Toilet block roof:</p> <p>The existing slate roofing is in good condition. No water ingress was observed.</p> <p>Sections of the extant roof are covered in organic matter.</p> <p>the north hip has been replaced with matching slate, and flashed into the recent flat metal deck roof addition (1999).</p>	<p>Monitor</p> <p>Monitor roof, regularly check (2x annually) to ensure all gutters, downpipes and drains are clear.</p>	

Item	Observations & defects	Recommended Actions	Image
2.0	Walls + Fenestration		
2.1	<p>Cottage & Services Wing:</p> <p>Extant walls are red face brick, English bond, with headers every fourth course. Struck joints, with lime rich mortar.</p> <p>The east walls of the outbuilding have been finished in acrylic paint.</p> <p>The north and west masonry walls of the outbuildings, and the north wall of the services wing have had the paint removed. There are residual sections of remanent paint remaining.</p>	<p>Recommended</p> <p>Carefully remove the paint from the extent cottage and outbuildings.</p> <p>Carefully remove the remnant paint from extant buildings.</p> <p>Note: Any mortar repairs must match the material (i.e., lime rich), colour and form of the existing joints.</p>	
2.2	<p>Cottage Fenestration:</p> <p>Extant double hung timber windows have been recently serviced and are in good condition.</p> <p>Extant four panel Victorian door + hardware, and louvered roof vent are in good condition.</p>	No Action.	
2.3	<p>Toilet block Fenestration:</p> <p>the east wall of the outbuilding to the east of the services wing has been altered, with a door to the recent addition, new doors, and the low-level service opening bricked up. It appears the small window to the toilet has been changed.</p>	No Action	

Item	Observations & defects	Recommended Actions	Image
2.4	<p>Toilet block Fenestration: extant double hung timber windows have been recently serviced and are in good condition</p> <p>Extant four panel Victorian door + hardware, and highlight are in good condition.</p>	No Action	
3.0 Interior			
3.1	<p>Cottage: extant timber floors and beaded timber ceilings are in good condition; walls are a painted finish. No obvious signs of water ingress</p>	No Action	 
3.2	<p>Services Wing: These areas had been altered with new kitchen, laundry, and study fitout, and is in good condition. No obvious signs of water ingress</p>	No Action	

6. Glossary

The following definitions have been taken from *The Burra Charter, The Australia ICOMOS Charter for Places of Cultural Significance, 2013*:

<i>Adaptation</i>	means modifying a place to suit the existing use or a proposed use.
<i>Associations</i>	mean the connections that exist between people and a place.
<i>Compatible use</i>	means a use which respects the cultural significance of a place. Such a use involves no, or minimal, impact on cultural significance.
<i>Conservation</i>	means all the processes of looking after a place so as to retain its cultural significance.
<i>Cultural significance</i>	means aesthetic, historic, scientific, social or spiritual value for past, present or future generations. Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places, and related objects. Places may have a range of values for different individuals or groups.
<i>Fabric</i>	means all the physical material of the place including elements, fixtures, contents, and objects.
<i>Interpretation</i>	means all the ways of presenting the cultural significance of a place.
<i>Maintenance</i>	means the continuous protective care of a place, and its setting. Maintenance is to be distinguished from repair which involves restoration or reconstruction.
<i>Meanings</i>	denote what a place signifies, indicates, evokes or expresses to people.
<i>Place</i>	means a geographically defined area. It may include elements, objects, spaces and views. Place may have tangible and intangible dimensions.
<i>Preservation</i>	means maintaining a place in its existing state and retarding deterioration.
<i>Reconstruction</i>	means returning a place to a known earlier state and is distinguished from restoration by the introduction of new material.
<i>Related object</i>	means an object that contributes to the cultural significance of a place but is not at the place.
<i>Related place</i>	means a place that contributes to the cultural significance of another place.
<i>Restoration</i>	means returning a place to a known earlier state by removing accretions or by reassembling existing elements without the introduction of new material.
<i>Setting</i>	means the immediate and extended environment of a place that is part of or contributes to its cultural significance and distinctive character.
<i>Use</i>	means the functions of a place, including the activities and traditional and customary practices that may occur at the place or are dependent on the place.