

VHR H0626
Former Bryant & May Industrial Complex
Administration Building (Building E)
560 Church Street, Cremorne

Heritage Impact Statement

For Pitch Golf Pty Ltd
1 July 2026

Pre-application No.: P42000



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Back in Time History

RR Conservation Design Studio recognises the First Peoples of this Nation and their ongoing cultural and spiritual connections to the lands, waters, seas, skies, and communities.

Our studio is based on the land of the Wurundjeri people of the Kulin Nation.

Always was, always will be.

Contents

1. Introduction.....	10
1.1. Documentation	13
1.2. Background	13
1.3. Methodology.....	13
2. Heritage Controls.....	14
2.1. Victorian Heritage Register (VHR)	14
2.2. Yarra Planning Scheme.....	16
2.3. National Trust of Australia (Victoria).....	17
3. Brief developmental history.....	18
3.1. History of Cremorne.....	18
3.2. History of the Former Bryant & May Industrial Complex	19
3.2.1. Construction of Bryant & May Match Factory: 1900s-1920	19
3.2.2. The former Administration Building (offices)	21
3.2.3. Alterations and ground floor additions: 1920s.....	24
3.2.4. Ground and upper-level additions and façade changes: 1930s-1980s.....	34
3.2.5. Adaptive re-use: 1980s-2020s	39
3.3. Summary of developmental history for former Administration Building	44
3.3.1. Phases of development - table	44
3.3.2. Phases of development - plans.....	49
3.3.4. Aerial image and elevations.....	51
4. Description of former Administration Building	55
4.1. Exterior.....	55
4.2. Internal layout.....	57
4.3. Internal fabric.....	60
4.3.1. 1922 building specification	60
4.3.2. Internal fabric - extant	68
4.3.3. Internal site photos.....	69
4.3.4. Ground floor	69
4.3.5. First floor.....	72
5. Proposed works and impact on fabric	74
5.1. Demolition	74
5.2. Alterations.....	77
5.3. Summary	79
6. Impact on the cultural heritage significance of the registered place	79

6.1.	Effect of the proposed works on the cultural heritage significance of the registered place ...	79
7.	Conclusion	81

Table of figures

Figure 1:	Aerial image showing extent of registration (yellow fill); and location of subject site (Administration Building - building E), Brymay Hall and Dining Hall (building F) and Boiler House and chimney (building G) in relation to the southern portion of the complex. Source: VicPlan, 2026.	11
Figure 2:	Aerial image of the former Administration Building (subject site) taken on 14 February 2026.	12
Figure 3:	Plan of registration for H0626. Extent of land shown with bold black line. Subject site denoted by red dashed lines. Source: Heritage Victoria, 2026.	14
Figure 4:	Extract from VicPlan showing extent of Yarra Planning Scheme HO240 and adjoining HO381 to the east (in pink). Subject site denoted by red dashed lines. Source: VicPlan, 2026.	17
Figure 5:	Melbourne and Metropolitan Board of Works plan from 1895, showing the area which would later be occupied by the Bryant & May Match factory (denoted by red dashed lines). Note that Hotham Place was formerly located further north. Currently Hotham Place occupies Russell Street as seen on the map. Source: SLV, no. 914.	20
Figure 6:	Image of the Bryant & May Match Factory, taken in December 1909, with the original Administration Building to the right. Note the verandah and building (indicated by red arrow) to the right of the Administration Building, where a boardroom is later constructed. Source: 'Manufacture of Matches', Leader, 25 December 1909, p.28, accessed via Trove.	22
Figure 7:	Image of the Bryant & May Match Factory, showing the southern elevation of the Administration Building (red arrow), taken January 1910. The gambrel-roof building, indicated by a yellow arrow, was the staff dining room. Note the width of dining room - just larger than one window and door. Source: 'Empire Works, Richmond: Bryant and May, Bell and Co.'s New Match Factory', Australasian, 15 January 1910, p.29, accessed via Trove.	23
Figure 8:	Photograph of the workers at the Bryant & May Match Factory, taken in the 1910s - looking east towards Church Street. Original western façade of the dining room (red arrow) and Administration building behind evident. Note form of dining room, which is square. Western elevation missing bay window that is later evident.	24
Figure 9:	Image of the Bryant & May Match Factory along Church Street taken around 1924, with the Administration Building to the right of the image, with the extension shown outlined in red. The entrance, located between the offices and the three-storey factory building, was also partially removed and altered (indicated by red arrow). The location of the new boardroom is indicated by the yellow arrow (note size of window opening); the garage was located behind the rightmost portion. Source: How They Make Matches, at Bryant & May's Wonderful Works at Richmond, Melbourne, Australia, Bryant & May, c1924, p.3, SLV, 662.5 B84H.	26
Figure 10:	Southern elevation of the Administration Building, showing extended dining room, new parapet between buildings, new entry porch to south east, partial removal of the brick wall at the factory entrance, and the kiosk along Church Street. Source: Looking Towards Church Street Entrance, c1920-6, SLV, H92.401/10.	26
Figure 11:	Image showing the west elevation of the Administration Building, as it appeared in the early to mid- 1920s, with the courtyard, boardroom, and garage shown. Source: Exterior View Showing Courtyard Behind Church Street Facade, 1920-6, SLV, H92.401/9	27
Figure 12:	Early 1920s aerial of the Bryant & May Match Factory, with the offices, boardroom, former dining room, and garage circled red. (Source: Aerial View of Bryant & May Factory, 1922-24, Algernon Darge, SLV, H92.401/332)	27
Figure 13:	Drawing of the new boardroom, which adjoined the offices. Source: The Matchmakers: A Story of Real Life, Bryant & May, 1925, SLV, 662.5 B84M.	28

Figure 14 (left): Photograph of the boardroom, taken in the 1920s. Source: Australia: Various Photographs of Empire Works, Showing Workers, Processes, Facilities, 1920s, NLA, D/B/BRY/3/2.	28
Figure 15 (left): Photograph of the boardroom, taken in the 1920s. Note smaller, leadlight sash windows to street front. Source: Australia: Various Photographs of Empire Works, Showing Workers, Processes, Facilities, 1920s, NLA, D/B/BRY/3/2.	29
Figure 16: Administration Building after southern façade was extended further south. Source: Building and Garden at Factory, Possibly Bryant & May, c1910-32, SLV, H92.401/339.	29
Figure 17: Image of the entrance to Church Street, showing portions of the south and east elevation of the Administration Building after the façade was extended along the former dining room. Source: Two Horses Pulling Wagon Load Of Logs into Bryant & May Richmond Picture, 1920s, SLV, H92.401/421.	30
Figure 18: Image of the entrance and south side of the office buildings, showing further changes to this façade. The south façade appears to have been extended further across the site entrance (circled red). Source: Inside Grounds of Bryant & May Factory, Richmond, Nov 1928, SLV, H92.401/433.	30
Figure 19: Image showing portions of the south and east facades of the offices (pictured right of image), with the south façade further extended and changes shown to the east façade, including the relocation of the plaque. Source: Looking Through Gates at Bryant & May, Richmond, to Brymay Hall, 1928, SLV, H92.401/435.	31
Figure 20: Image of an office area at Bryant & May, likely taken c.1927 looking north in Room 10 as shown on application drawings. Source: Men at Work in Office Area of Factory, Probably Bryant & May, c1927, SLV, H92.401/342.	32
Figure 21: Image of an office area at Bryant & May, likely taken c.1927 looking southeast in Room 10 as shown on application drawings. Source: Men at Work in Office Area of Factory, Probably Bryant & May, c1927, SLV, H92.401/343.	33
Figure 22: Image of an office area at Bryant & May, likely taken c.1927 looking northwest in Room 9 as shown on application drawings. Source: Office Area of Factory, Probably Bryant & May, Algernon Darge, 1920-30, SLV, H92.401/345.	34
Figure 23: 1942 aerial of the Bryant & May factory, with the Administration Building circled red. Note that a first storey was added to the south-easternmost corner of the building, with a gambrel roof constructed. Source: Run 16, Frame 72351, Geoscience.	35
Figure 24: Image of the Bryant & May Match Factory, along Church Street, depicting first floor development. Cars indicate that image was captured in the late 1940s-early 1950's. Note that the northwest parapet is evident to the right (fourth engaged column to the right of chimney). Source: Bryant & May Factory, Richmond, Victoria, 1940-50, SLV, H2012.195/27.	36
Figure 25: January 1983 aerial of the Bryant & May Match Factory, with the Administration Building circled red. Note that the ground floor and the first floor have been extended to the western portion (originally the dining room). Source: Run Unknown, Frame 791, Geoscience.	37
Figure 26: Image of the subject building, taken in 1984, showing the façade along Church Street. Source: Richmond Conservation Study, 1984, Building Identification form, accessed from the Victorian Heritage Database https://vhd.heritagecouncil.vic.gov.au/places/103154	38
Figure 27: Image of an office area at Bryant & May, likely taken c.1935 on level 1 looking west from room 17 on the application documents, prior to the c.1942-1950 extension. Source: Office Area of Factory, Probably Bryant & May, 1920-30, SLV, Algernon Darge, H92.401/344.	39
Figure 28: Drawing of the Bryant & May Match Factory, likely from the mid 1980s, showing the ground floor layout of the offices, boardroom, and garage (circled red) as they appeared at that time. Source: Appendix A, Plan no. HB 626.1, Richmond Library, RFC 218, accessed 13 February 2026.	40

Figure 29: Drawing of the Bryant & May Match Factory, likely from the mid 1980s, showing the first floor layout of the offices (circled red) as they appeared at that time. (Source: Building Layout Richmond Site, accessed from Richmond Library, RFC 218)	41
Figure 30: October 1992 aerial of the Bryant & May Match Factory, circled red. Note that the courtyard to the west of the garage was built over, including the area to the immediate north of the offices. Source: Run 2, Frame 449, Geoscience.	42
Figure 31: Image of the east (front) façade of the subject building, taken in December 2007, with the alterations to the opening shown. Source: Google Street View.	42
Figure 32 (left): February 2024 aerial of the former Bryant & May Match Factory, showing the site as it appeared at that time. Source: Google Earth.	43
Figure 33 (left): January 2025 aerial of the former Bryant & May Match Factory site, showing the contemporary showroom to the north of the garage demolished, as well as the contemporary portion to the west of the garage and boardroom. Source: Google Earth.	43
Figure 34: Phases of development at the former Administration Building - Ground Floor.	49
Figure 35: Phases of development at the former Administration Building - First Floor.	50
Figure 36: Phases of development at the former Administration Building - 2026 aerial image. Source: NearMap with RRCD overlays.	51
Figure 37: Phases of development at the former Administration Building - Eastern (Church Street) elevation. Source: Google Streetview with RRCD overlays.	52
Figure 38: Phases of development at the former Administration Building - Southern (Hotham Place) elevation.	52
Figure 39: Phases of development at the former Administration Building - Western elevation.	53
Figure 40: Phases of development at the former Administration Building - Northern elevation of offices and former dining room. Partially demolished boardroom to left of image with garage beyond.	54
Figure 41: Church Street (eastern) façade of Administration Building showing double storey offices to left, single storey boardroom in centre and garage to the right.	56
Figure 42: Southern elevation of Administration Building as seen from the southeast in Hotham Place.	56
Figure 43: Southern elevation of Administration Building as seen from the southwest in Hotham Place.	56
Figure 44: Western elevation of Administration Building.	57
Figure 45: North elevation of the Administration Building showing boardroom to the left and garage beyond.	57
Figure 46: Existing ground floor plan showing layout of early or original walls in red (1909-1950), and later additions in green.	58
Figure 47: Existing first floor plan showing layout of early or original walls in red (1909-1950), and later additions in green.	59
Figure 48: Extract from photograph showing fireplace in boardroom c. 1924. (Source: Australia: Various Photographs of Empire Works, Showing Workers, Processes, Facilities, 1920s, NLA, D/B/BRY/3/2).....	61
Figure 49: Photograph of the boardroom, taken in the 1920s. (Source: Australia: Various Photographs of Empire Works, Showing Workers, Processes, Facilities, 1920s, NLA, D/B/BRY/3/2)	62
Figure 50: Drawing of the new boardroom, which adjoined the offices. (Source: The Matchmakers: A Story of Real Life, Bryant & May, 1925, SLV, 662.5 B84M)	63
Figure 51 (Left): extract from photograph showing external door to Lobby2. Source: Exterior View Showing Courtyard Behind Church Street Facade, 1920-6, SLV, H92.401/9)	64

Figure 52: Extract from photograph (likely in the office) showing same details as specified Lobby 1 door. Source: Office Area of Factory, Probably Bryant & May, Algernon Darge, 1920-30, SLV, H92.401/345.	65
Figure 53: Extract from image of the office area showing partition at entrance lobby c.1927. (Source: Men at Work in Office Area of Factory, Probably Bryant & May, c1927, SLV, H92.401/343)... ..	66
Figure 54: Image of the office area taken 1920s likely looking southeast towards the early entrance lobby. (Source: Men at Work in Office Area of Factory, Probably Bryant & May, c1927, SLV, H92.401/343)	67
Figure 55: Image of the office area at Bryant & May, c.1922-1924 likely looking north towards the rear of Boardroom. (Source: Men at Work in Office Area of Factory, Probably Bryant & May, c1927, SLV, H92.401/342)	67
Figure 56: Rm 01 looking east.....	69
Figure 57: Rm 01 looking south.	69
Figure 58: Rm 01 looking northwest.	69
Figure 59: Rm 09 looking northeast.	69
Figure 60: Rm 09 looking north.....	70
Figure 61: Rm 09 looking south.	70
Figure 62: Rm 10 looking southwest.	70
Figure 63: Rm 10 looking northwest.	70
Figure 64: Rm 11 looking south.	70
Figure 65: Rm 11 looking northeast.	70
Figure 66: corridor looking southeast towards rm 01 to the left and rm 02 to the right.	71
Figure 67: Rm 03 looking south.	71
Figure 68 (left): Rm 04 looking west.	71
Figure 69: Rm 05 looking southwest.	71
Figure 70: corridor looking west towards rm 4 at the end.....	72
Figure 71: Stair landing looking south-east.	72
Figure 72: Stair landing level 1 looking south.	72
Figure 73: Stair landing level 1 looking south-east.	73
Figure 74: Corridor rm 17 looking east.	73
Figure 75: corridor rm 17 looking south west.	73
Figure 76: corridor rm 17 looking west.	73
Figure 77: Rm 19 looking west.	73
Figure 78: Rm 18 looking east.....	73
Figure 79: Rm 23 looking north.....	74
Figure 80: Rm 22 looking northeast.	74
Figure 81: Room 5 - former dining room extension (1922-1924) - looking southwest.	75
Figure 82: Room 4 - looking east towards c.1925-1928 wall. Source: Alfasi Property Group, photographic survey for P37853, 2024.	75
Figure 83: Room 3 - c.1942-1950 office addition - looking north.....	75
Figure 84: Photograph of the boardroom, taken in the 1920s, showing original western wall. Source: Australia: Various Photographs of Empire Works, Showing Workers, Processes, Facilities, 1920s, NLA, D/B/BRY/3/2.....	76
Figure 85: Western wall of former Boardroom in 2024. Source: Alfasi Property Group, photographic survey for P37853, 2024.....	76
Figure 86: Decorative partition walls as extant.	76
Figure 87: Extract from application documents showing proposed reinstated western wall of former boardroom.	76

<i>Figure 88: Subject site as seen from the northwest showing affected windows. Note that existing window between WG-22 and WG-08 has been approved under previous permit for conversion into door.</i>	<i>78</i>
<i>Figure 89: Subject site as seen from the west showing affected windows.</i>	<i>78</i>
<i>Figure 90: Subject site as seen from the south showing affected window.</i>	<i>78</i>

1. Introduction

This Heritage Impact Statement has been prepared on behalf of Pitch Golf Pty Ltd to accompany an application to Heritage Victoria for the internal fitout of the Administration Building (the subject site), located within the former Bryant and May Industrial Complex - included in the VHR as H0626.

The former Bryant and May Industrial Complex (the complex) is located at 560 Church Street, Cremorne. The Administration Building is situated on the western side of Church Street, between Adelaide Street to the north and Balmain Street to the south. Hotham Place runs through the centre of the complex, defining the north and south areas of the site.

HV Permit P37853 was granted in August 2024 for significant redevelopment of the northern part of the complex. The naming convention which utilises “Building E, F and G” for buildings north of Hotham Place derives from that permit application and is adopted below.

The complex comprises several buildings, structures and landscape elements. North of Hotham place the site includes a Boiler House and chimney (building G), Brymay Hall and Dining Hall (building F) and the Administration Building (building E). South of Hotham Place is a prominent multi-storey factory, historic tennis court and pavilion, and other contemporary structures.

The proposed works are limited to the **interior** of the former Administration Building (building E), as outlined in Figure 1 and Figure 2.



Figure 1: Aerial image showing extent of registration (yellow fill); and location of subject site (Administration Building - building E), Brymay Hall and Dining Hall (building F) and Boiler House and chimney (building G) in relation to the southern portion of the complex. Source: VicPlan, 2026.



Figure 2: Aerial image of the former Administration Building (subject site) taken on 14 February 2026.
Source: NearMap 2026.

1.1. Documentation

This HIS should be read in conjunction with the following application drawings prepared by Canopy

DRAWING No.	DRAWING TITLE	REV.	DATE
A00.000	COVER PAGE	2	1 June 2026
A01.001	EXISTING PLAN - GROUND	2	1 June 2026
A01.002	EXISTING PLAN - FIRST	2	1 June 2026
A01.003	DEMOLITION PLAN - GROUND	2	1 June 2026
A01.004	DEMOLITION PLAN - FIRST	2	1 June 2026
A01.005	DEMOLITION PLAN - GROUND CEILING	2	1 June 2026
A01.006	DEMOLITION PLAN - FIRST CEILING	2	1 June 2026
A01.007	PROPOSED PLAN - GROUND FLOOR	2	1 June 2026
A01.008	PROPOSED PLAN - FIRST FLOOR	2	1 June 2026
A01.009	PROPOSED WALL COVERING PLAN - GROUND FLOOR	2	1 June 2026
A01.010	PROPOSED WALL COVERING PLAN - FIRST FLOOR	2	1 June 2026
A01.011	INDICATIVE VISUALISATIONS	2	1 June 2026
A01.012	INDICATIVE VISUALISATIONS	2	1 June 2026

1.2. Background

A pre-application meeting was held with Heritage Victoria (HV) on 23 January 2026 to discuss the proposed works. Signage was also discussed but does not form part of this application.

The HV officer in attendance advised that there is no endorsed Conservation Management Plan for the subject site and that no site-specific exemptions apply. It was also confirmed that the extent of registration includes the interior of Building E, although the extent of original fabric is unquantified.

The only internal fabric identified for conservation within Building E as part of previous permit P37853 comprises:

- the original fireplace and timber wall panelling, and wall panelling on the opposite wall in former Boardroom
- the original timber staircase.

1.3. Methodology

This HIS has been prepared in accordance with the Heritage Victoria Guidelines for preparing Heritage Impact Statements (2021).

Ruth Redden and Dr. Elizabeth Offer are the authors of this report. All work has been reviewed by Ruth Redden, principal heritage consultant & registered architect, who also undertook the site visit.

Image sources are credited where required. Where no source is provided, the image was taken by RRCD.

2. Heritage Controls

2.1. Victorian Heritage Register (VHR)

The former Bryant and May Industrial complex is included on the VHR as H0626, with the extent of registration recorded as:

AMENDMENT OF REGISTER OF HISTORIC BUILDINGS

Historic Building No. 626 - Bryant & May Industrial Complex, 560-570 Church Street, Richmond (to the extent of the land bounded by Adelaide, Balmain, Church and Walnut Streets and all the buildings but excluding the 1976 factory and the factory north of Hotham Place (shown hatched on Plan No. HB/626.1 held by the Ministry for Planning and Environment).

[Victoria Government Gazette No. 11 19 February 1986 p. 415]

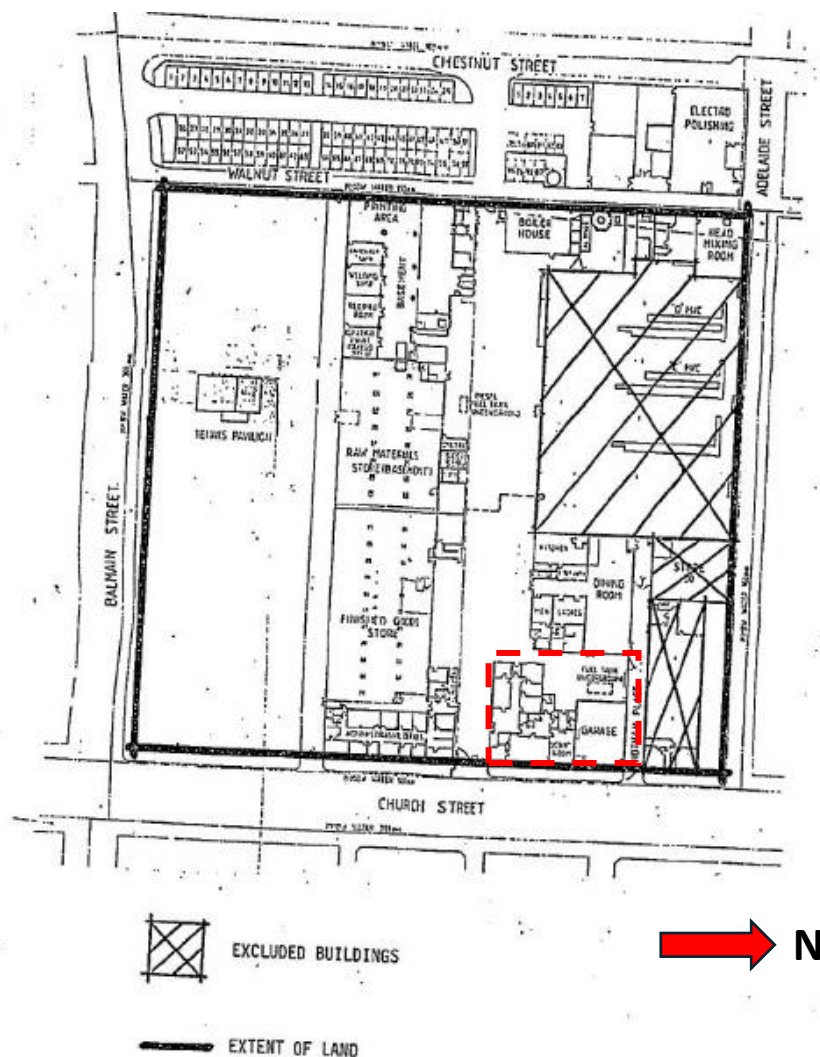


Figure 3: Plan of registration for H0626. Extent of land shown with bold black line. Subject site denoted by red dashed lines. Source: Heritage Victoria, 2026.

The VHR Statement of Significance for the Former Bryant & May Industrial Complex is as follows:

What is significant?

The former Bryant and May Industrial Complex in Richmond is a superb, largely intact Edwardian factory complex. The existing complex was built in 1909 to a design by William Pitt. The builder was Clements Langford. A further section was added behind it in 1910 and in 1917 a dining hall was constructed. The machinery for the factory was made in the USA, but none of it survives. A further building programme in 1921-22 included the western extension of the factory, a new chimney stack and boiler house, and offices and Brymay Hall, all designed by Klingender and Hamilton. The builder for the extension was T. Donald and Co. The 1909 offices were extended in 1934 by Arthur and Hugh Peck, architects. The 1920s saw the introduction of many staff amenities, including the tennis courts, basketball courts and a bowling green.

How is it significant?

The former Bryant and May Industrial Complex is of historical, architectural and social significance to the State of Victoria.

Why is it significant?

The former Bryant and May Industrial Complex is of historical significance as evidence of the development of industry in Melbourne from the early 20th century. The history of the Bryant and May complex reveals a great deal about the history of manufacturing in Victoria. The English firm Bryant and May began manufacturing matches in Australia in 1885. It occupied two sites in Richmond and amalgamated with another British match manufacturer operating in the suburb before the growing size of its operations and workforce necessitated the construction of the existing complex. With 280 employees, Bryant and May had become a major employer, and in 1909, as a result of the merger and to accommodate new processes and increased production, a new factory was built adjacent to its old factory, a former brewery. These initial years show the importance of British capital in the development of Victoria's industry. The various changes in the buildings over the years can be directly related to the introduction of protective tariffs, their removal and the dumping of matches from overseas, and technological innovations. Machinery was regularly updated to cope with new processes and the declining use of wax matches. The consumption of matches generally had declined and together with strong overseas competition forced the firm to diversify and merge yet again. By the late-1980s, the company had vacated the factory, reinforcing the pattern of de-industrialisation of Melbourne's inner suburbs.

The former Bryant and May Industrial Complex is of historical significance as a rare surviving example of model factory conditions and amenities. The complex was run as a model factory and reflected the Quaker principles of the original English founders. Evidence of the amenities provided for its workers such as the tennis courts and dining room is still substantial. One of the first industrial nurses in Australia was employed at the factory from 1922.

The former Bryant and May Industrial Complex is of architectural significance for the quality and cohesion of its architectural development and for its association with the important Melbourne architect, William Pitt. The factory complex is one of the finest remnants of Richmond's industrial heyday and its substantial intactness provides an excellent indication of industrial organisation and design of the early 20th century. Pitt designed the complex towards the end of an eminent career that was innovative, prolific and wide ranging. Other significant

industrial buildings for which he was responsible were the Denton Hat Mills in Abbotsford and the Foy and Gibson complex in Collingwood.

The former Bryant and May Industrial Complex has social significance as an important long-term part of the Richmond and inner Melbourne landscape. The factory was initially important as a large employer in working class Richmond, but has over the years also become a prominent landmark for both local residents and other residents of Melbourne. Its clock tower has been a familiar sight to generations of train travellers and visitors to the Melbourne Cricket Ground, and the complex has featured in films and television programs set in Melbourne. Bryant and May's 'Redheads Matches', intimately associated with the factory, are still a well-known commercial icon in Victoria.

The former Bryant and May Industrial Complex is subject to the requirements of the *Heritage Act 2017*. There are no other VHR listed places within the immediate area, and the subject site is not included in the Victorian Heritage Inventory.

2.2. Yarra Planning Scheme

The former Bryant and May Industrial Complex is included in the Yarra Planning Scheme at Clause 43.01 Schedule to the Heritage Overlay (HO) as an individually significant site, recorded as *HO240: 560 CHURCH STREET CREMORNE: Former Bryant and May Industrial Complex*. The curtilage for HO240 matches the VHR extent of registration.

Under the schedule to the Heritage Overlay the following controls apply:

- Included on the Victorian Heritage Register under the Heritage Act 2017.

As a place included on the VHR, a permit is not required under the Heritage Overlay to develop the site, other than an application for subdivision.

To the east of the former Administration Building is an individually significant site, recorded in the Yarra Schedule to HO as *HO381: 533-537 CHURCH STREET RICHMOND*.

There are no other HO precincts or individually significant sites within the immediate area of the subject site.



Figure 4: Extract from VicPlan showing extent of Yarra Planning Scheme HO240 and adjoining HO381 to the east (in pink). Subject site denoted by red dashed lines. Source: VicPlan, 2026.

2.3. National Trust of Australia (Victoria)

The former Bryant and May Industrial Complex is included on the National Trust Heritage Register as *B5506 Bryant & May*.

The Statement of Significance for the National Trust registration is as follows:

Bryant and May, an English company manufacturing matches since 1861, began trading in Australia in 1885, merged with another English manufacturer, R Bell and Co., in 1909 and proceeded to manufacture in Australia. The Bryant and May complex is of strong significance as one of the few surviving mostly intact examples of substantial factories engendered in Richmond prior to the 1914-18 war. It grew in stages, initiating with the construction of the factory and office block of 1909, extended in 1910, with the dining hall added in 1917. These were all to the design of architect, William Pitt; builder Clements Langford. A western extension to the factory, a new chimney stack and boiler house, further offices and Brymay Hall were added in 1920-22 to the designs of Klingender and Hamilton. Arthur and Hugh Peck designed the extensions of 1934. In the 1920s Bryant and May became regarded as a model factory with the provision of staff amenities such as tennis courts, basket ball courts, a bowling

green, and one of Australia's first industrial nurses. The complex exhibits harmonic progression of form and a firm imprint of Australia's industrial and social history.¹

The National Trust does not hold any statutory authority but is a referral body under Clause 67.02-2 and 66.05 of the Yarra Planning Scheme.

3. Brief developmental history

The following sections 3.1 and 3.2 provide a written summary of the developmental history of the subject site. Section 3.3 provides a tabled summary and mapping of the phases of development for the Administration Building.

3.1. History of Cremorne

Cremorne is a residential and industrial suburb located approximately three kilometres from central Melbourne. The suburb was first gazetted in 1998, though its name has been in use since about the mid-1850s, and it is often considered part of Richmond.

Cremorne is located on the Traditional Lands of the Wurundjeri Willam people of the Kulin Nation, who have cared for and maintained a continuous relationship with the land for the land for tens of thousands of years.

The area that now comprises Cremorne consisted of six Crown Allotments that were sold between 1846-9.² In the 1850s, the Cremorne Gardens were established in the area by James Ellis and were managed by well-known actor and politician George Coppin. While Cremorne was settled and developed from the 1850s, this growth had slowed by the 1870s.³ However, from the 1880s, industrial development in Cremorne increased rapidly as the local industry expanded into large-scale manufacturing.⁴

Cremorne provided an ideal area for industrial development due to its vacant land, accessibility to established transport networks, and proximity to a potential local workforce.⁵ These factories were large employers of local workers, who often resided in the area. The expansion of industry in Cremorne, coupled with the subdivision of large blocks for small, cramped housing, impacted the character of the locality, which emerged from this time as a working-class suburb.⁶ As manufacturing amplified in Cremorne over the early twentieth century, factories often expanded or were enlarged, building further into residential areas and solidifying the industrial character of the locality.

¹ "Bryant & May Building," National Trust Database, National Trust of Australia (Victoria), accessed June 2026, http://vhd.heritage.vic.gov.au/search/nattrust_result_detail/67020.http://vhd.heritage.vic.gov.au/search/nattrust_result_detail/67020

² 'Cremorne', *Victorian Places*, Monash University and the University of Queensland, 2015, <https://www.victorianplaces.com.au/cremorne>

³ 'Cremorne', *Victorian Places*

⁴ 'Cremorne', *Victorian Places*

⁵ Charles Fahey, Seamus O'Hanlon, and Emma Robertson, 'Becoming industrial: Building, rebuilding and reinventing Cremorne and South Richmond, c1885–1930', *Asia-Pacific Economic History Review*, vol 65 iss 3, (2025), p.318-9

⁶ Fahey, O'Hanlon, and Robertson, 'Becoming industrial: Building, rebuilding and reinventing Cremorne and South Richmond, c1885–1930', p.318-9

During the Second World War and in the following postwar period, manufacturing and industry boomed in Cremorne and Richmond.⁷ Postwar migration transformed Richmond and its surrounding areas as migrants moved into the area to work in the factories nearby, bolstering the working-class character of the locality.

Large manufacturing firms began to close in Cremorne over the 1980s and 1990s as they left the area for cheaper, larger sites located outside of the inner city.⁸ From this time, the middle-class have increasingly come to reside in Cremorne and Richmond, gentrifying the area.⁹ As such, factory sites have been demolished, altered, or renovated for a new use over the late twentieth and early twenty-first centuries.

3.2. History of the Former Bryant & May Industrial Complex

3.2.1. Construction of Bryant & May Match Factory: 1900s-1920

The land comprising the former Bryant and May Industrial Complex was part of Crown Portion 6 in the Parish of Jika Jika, County of Bourke. The Portion, which measured 27 acres, one rood, and 10 perches, stretched along the western side of Church Street from Swan Street to the Yarra River. The Portion was first acquired by F. D. Wickham in May 1845.

Over the remaining nineteenth century, the Portion was increasingly subdivided and developed. A Melbourne and Metropolitan Board of Works Plan from 1895 shows the area that was later occupied by the Bryant & May Industrial Complex as being largely developed at that time, being the area bounded by Church, Balmain, Chestnut, and Adelaide streets (Figure 5).

⁷ Janet McCalman, 'Richmond', *eMelbourne*, University of Melbourne, 2008, <https://www.emelbourne.net.au/biogs/EM01245b.htm>

⁸ 'Cremorne', *Victorian Places*

⁹ McCalman, 'Richmond'

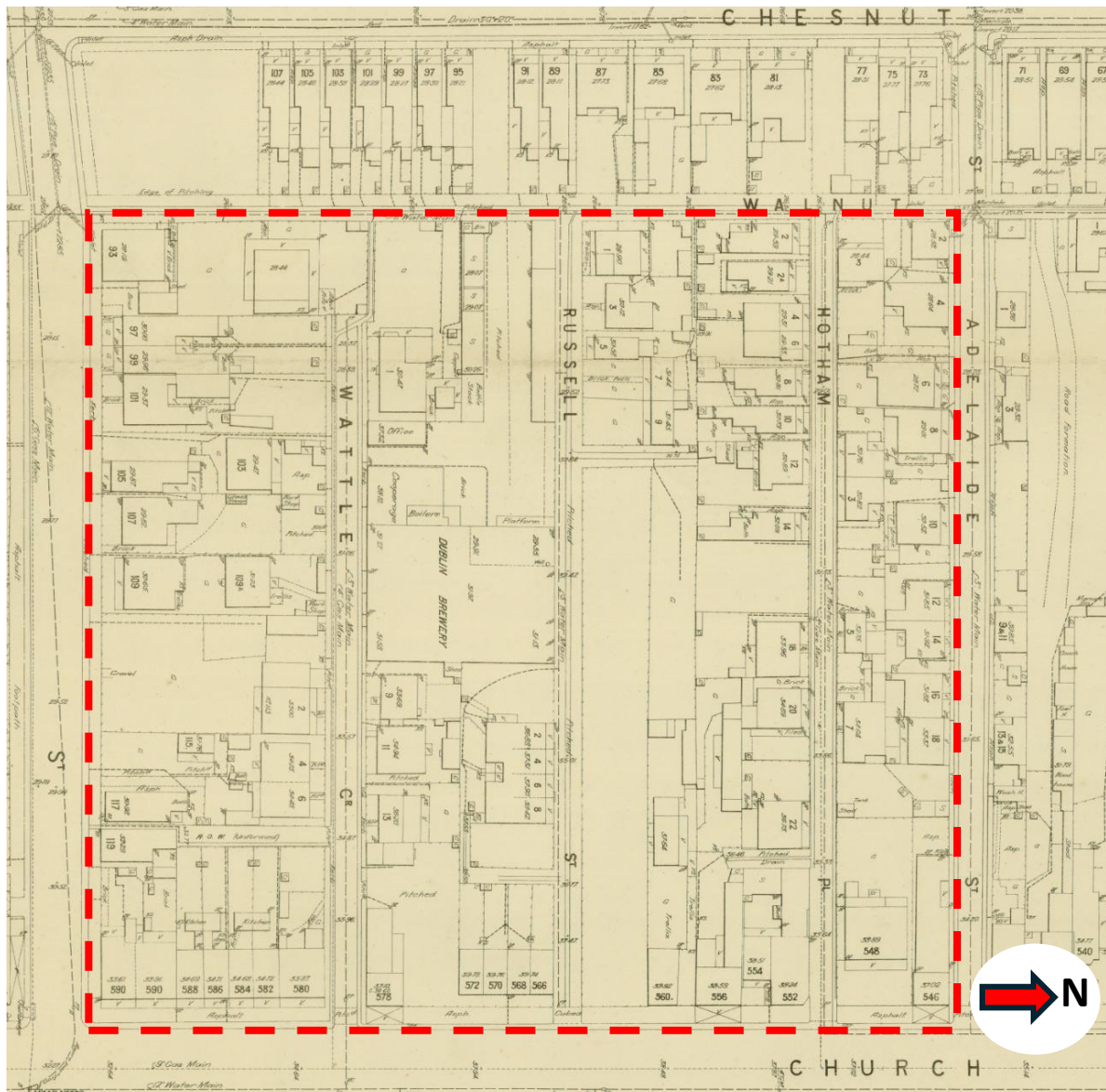


Figure 5: Melbourne and Metropolitan Board of Works plan from 1895, showing the area which would later be occupied by the Bryant & May Match factory (denoted by red dashed lines). Note that Hotham Place was formerly located further north. Currently Hotham Place occupies Russell Street as seen on the map. Source: SLV, no. 914.

In February 1909, London match manufacturer Bryant & May merged with R. Bell and Co., who were operating a match factory off Church Street in Cremorne between Balmain and Russell streets.¹⁰ The establishment of a match factory by Bryant & May in Australia was in response to the introduction of tariffs that followed the Federation of Australia in 1901.¹¹ A new factory was planned for the site in Church Street and was designed by William Pitt, a well-known Melbourne architect.¹² A month later, the tender by Clement Langford for the construction of a three-storey brick building for the

¹⁰ 'News', *The North Eastern Dispatch*, 10 February 1909, p.1, accessed via Trove; 'R. Bell and Co. Vesta Works', *Richmond Guardian*, 15 July 1905, p.2, accessed via Trove

¹¹ H G Bleakly, 'The History of Bryant & May in Richmond', Appendix B, p.3, 'Bryant and May Industrial Complex, Church Street', object number: VF 006523, Royal Historical Society of Victoria, accessed 13 February 2026.

¹² 'Bryant and May', *Herald*, 14 December 1909, p.6, accessed via Trove

manufacture of matches was accepted at £14,000.¹³ The machinery, which was shipped from England, cost between £25,000 and £30,000.¹⁴

Construction of the new factory, often referred to as the 'Empire Match Works', was completed by the end of 1909, with the factory officially opened in December of the same year by Prime Minister Alfred Deakin and his wife, Mrs Deakin; the factory began operating in January 1910.¹⁵ At the time of its opening, the new factory complex was described as resembling a residential mansion rather than a factory, and included a water tower and a large flower garden.¹⁶ A separate office building, as well as a dining room, were also constructed. Even at its opening, plans were underway to extend the factory further by demolishing the old factory (being the Dublin Brewery shown on the MMBW plan in Figure 5), located at the rear of the new factory, and building further to the west of the site. These plans were realised later in the same year, with the factory being extended in 1910. From 1915, Bryant & May began acquiring adjoining properties and built Brymay Hall, which had a kitchen, dining rooms and recreation rooms, in 1917.¹⁷

3.2.2. The former Administration Building (offices)

An image of the factory taken in the month of its opening shows the offices (now known as the Administration Building) located on Church Street (Figure 6 and Figure 7). At the time, the office building was smaller and only single storey. A portion of the wall extended across the entrance between the Administration Building and the factory. Behind the offices, to its west elevation, was a small single-storey gambrel-roof building that was the original dining room before the Dining Hall was constructed (Figure 7).

¹³ 'New Match Factory', *Argus*, 13 March 1909, p.17, accessed via Trove

¹⁴ Jerry Bell, *Lighting Up Australia: The Story of the Australian Match Manufacturing Industry 1843-2003*, Jerry Bell, Armadale, Vic, 2008, p.64

¹⁵ 'New Match Factory', *Argus*, 13 March 1909, p.17, accessed via Trove

¹⁶ 'New Match Factory', *Argus*, 13 March 1909, p.17, accessed via Trove

¹⁷ 'Victorian's at Work', *Argus*, 28 January 1933, p.4, access via Trove

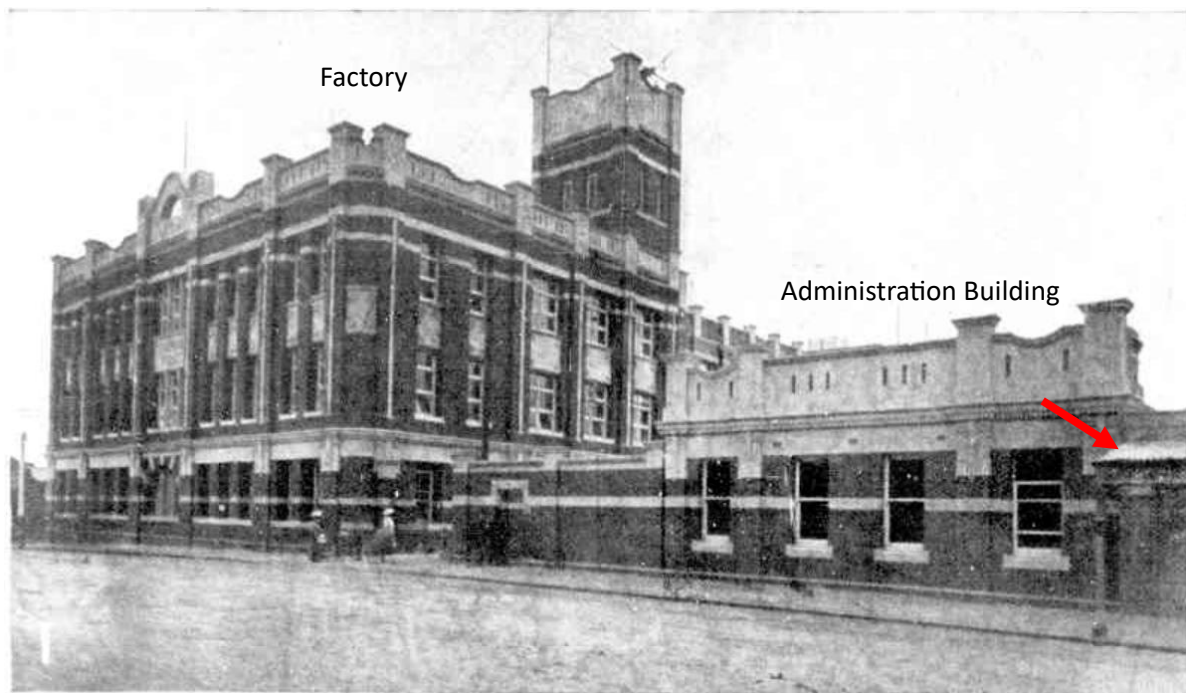


Figure 6: Image of the Bryant & May Match Factory, taken in December 1909, with the original Administration Building to the right. Note the verandah and building (indicated by red arrow) to the right of the Administration Building, where a boardroom is later constructed.
Source: 'Manufacture of Matches', *Leader*, 25 December 1909, p.28, accessed via Trove.

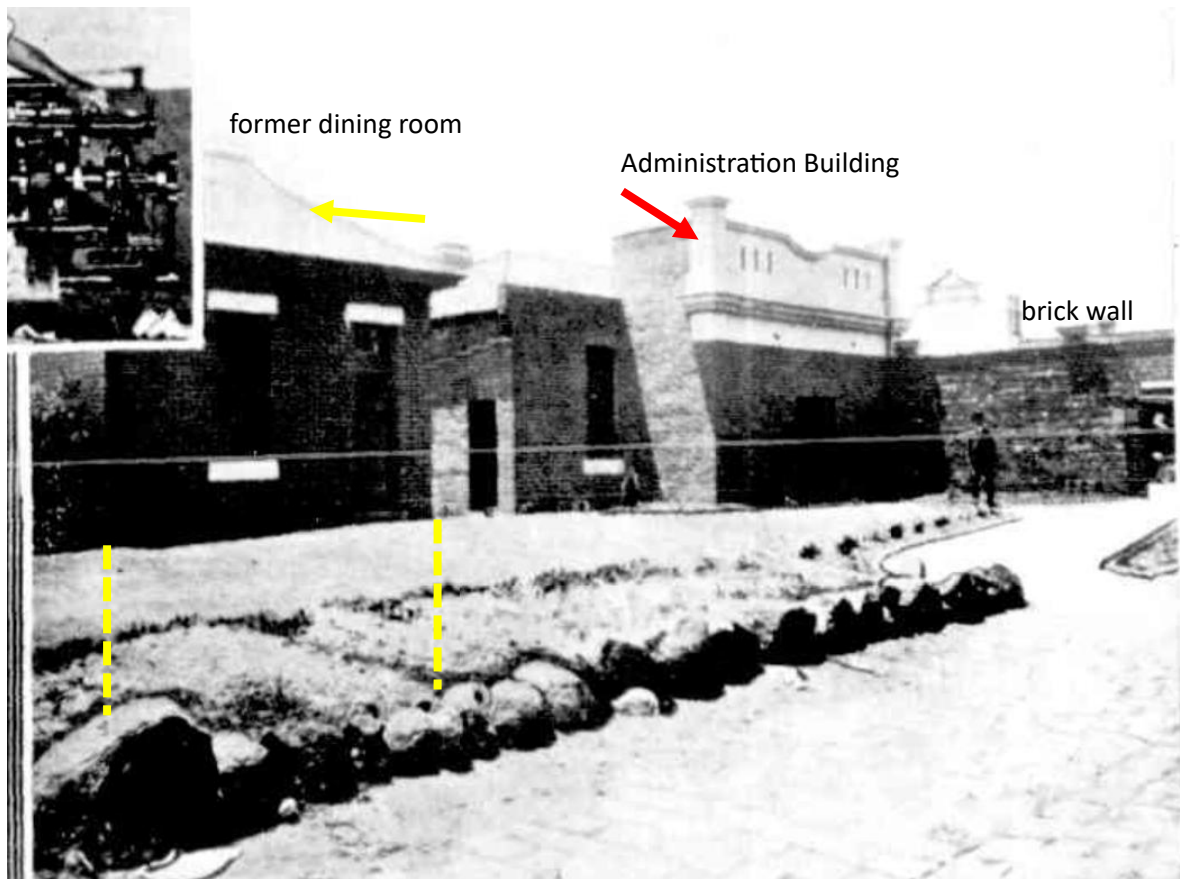


Figure 7: Image of the Bryant & May Match Factory, showing the southern elevation of the Administration Building (red arrow), taken January 1910. The gambrel-roof building, indicated by a yellow arrow, was the staff dining room. Note the width of dining room - just larger than one window and door. Source: 'Empire Works, Richmond: Bryant and May, Bell and Co.'s New Match Factory', *Australasian*, 15 January 1910, p.29, accessed via Trove.

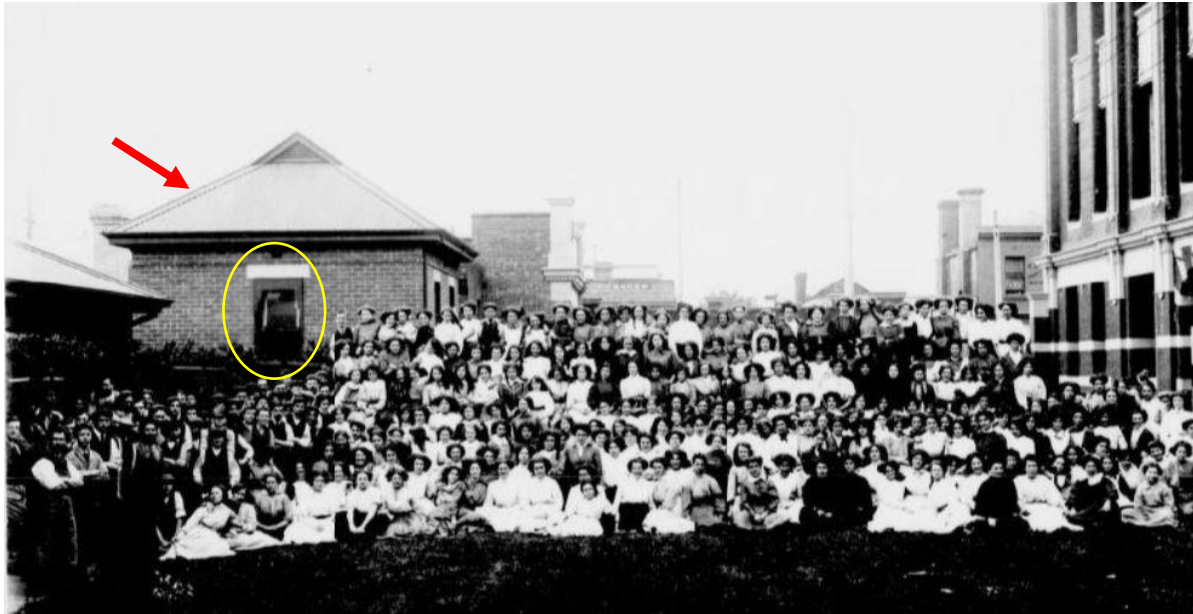


Figure 8: Photograph of the workers at the Bryant & May Match Factory, taken in the 1910s - looking east towards Church Street. Original western façade of the dining room (red arrow) and Administration building behind evident. Note form of dining room, which is square. Western elevation missing bay window that is later evident.
Source: Australia Two albums of photographs of Empire Works, 1910s, NLA via Trove.

3.2.3. Alterations and ground floor additions: 1920s

Over the 1920s, a series of alterations and construction works occurred at the Bryant & May Match Factory, including the extension of the factory and the construction of a clock tower in 1921-2. A boiler house and chimney stack were also added in 1922, tennis courts and basketball courts in 1923, and a bowling green in 1928. During this period, a considerable number of alterations were also undertaken to the Administration Building and to the site entrance.

By 1924, significant alterations and additions appear to have been undertaken to the office building and the entrance gates. By this time, an extension was constructed to the northeast of the office building along Church Street, with a new boardroom, gambrel-roofed garage, and courtyard built (see Figure 9). The new boardroom is shown at Figure 13, while the garage and courtyard are shown in Figure 11.

The dining room was extended both east and west by the depth of an additional room, now fully integrated into the Administration Building. A bay window was incorporated into the western façade. An entry porch was added to the southern façade of the Administration Building and the portion between the former dining room reconfigured.

The section of the wall between the entrance of the offices and the factory building further south was partially removed and replaced with a metal fence, and a type of kiosk or booth was built.

These works were noted in an architectural specification by Klingender & Hamilton Architects & Designers¹⁸, dated 1922, which detailed the changes to occur to the office building, which included, but were not limited to:

¹⁸ 'Australia: Revised specifications of additions to Empire Works', 1922, Records of the Bryant and May Archives (as filmed by the AJCP): [M2476-M2491] 1879-1977, NLA, pp.2-3, accessed via Trove

Boardroom and two lobbies

- New boardroom with two lobbies. Boardroom and Lobby 2 contained Tasmanian hardwood to the wall panelling and the T&G floors, general hardwood to flooring and plaster walls to Lobby 1, with three-panelled doors with Flemish glass to top panel;
- New windows to boardroom to be double-hung sashes with leaded glass;
- Chimney breast in boardroom to be clinker brick with fireplace to have hob receiving back and K. & H. grate

Offices

- Removing and rebuilding the chimney stacks with an open brick fireplace;
- New walls in brickwork and lime mortar, plastered and finished to match the existing;
- Water closet and lobby to have white tiles to the dado and coloured slip at top, and floors to be terrazzo, doors to be four-panelled;
- Windows to the entrance lobby to be double hung sashes to match existing;
- Alteration of a window, located at northwest corner, replaced with a fix glass panel door with linings, to match existing;
- Removal of a window and its replacement with a double hung sash window, as it was previously, to south of lobby;
- New partition at entrance lobby with leaded glass and maple counter;
- Office and lobby to be re-decorated to match the existing with a paper dado 4'6" high with a border; and
- All woodwork noted to be seasoned Maple, finished with one coat of raw oil satin.

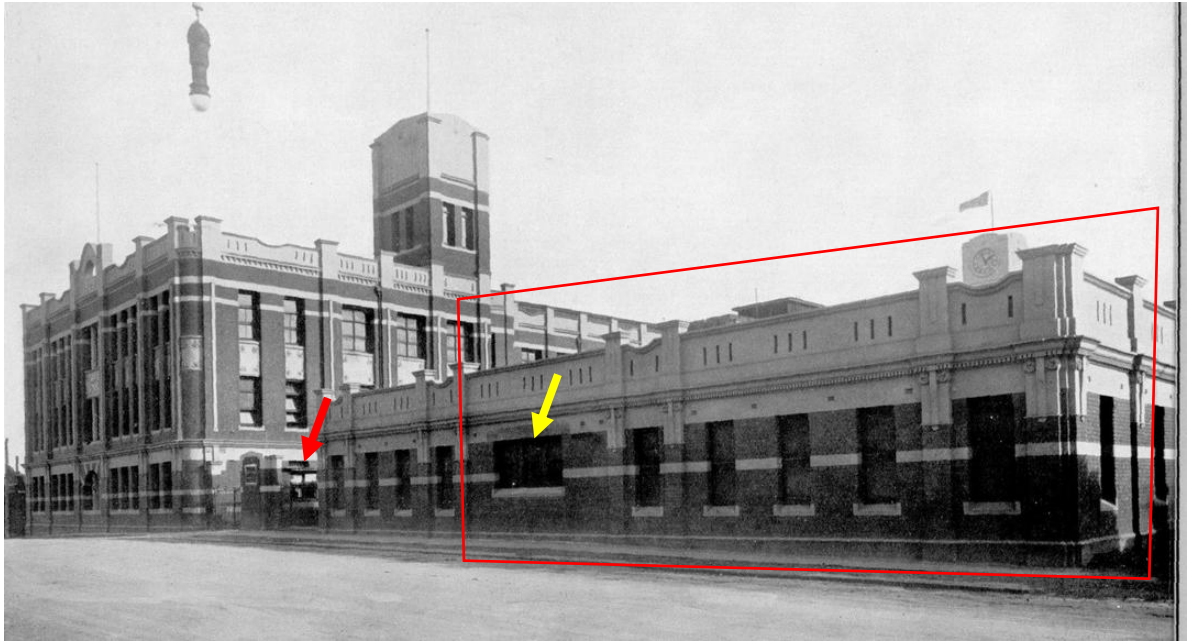


Figure 9: Image of the Bryant & May Match Factory along Church Street taken around 1924, with the Administration Building to the right of the image, with the extension shown outlined in red. The entrance, located between the offices and the three-storey factory building, was also partially removed and altered (indicated by red arrow). The location of the new boardroom is indicated by the yellow arrow (note size of window opening); the garage was located behind the rightmost portion. Source: *How They Make Matches, at Bryant & May's Wonderful Works at Richmond, Melbourne, Australia*, Bryant & May, c1924, p.3, SLV, 662.5 B84H.



Figure 10: Southern elevation of the Administration Building, showing extended dining room, new parapet between buildings, new entry porch to south east, partial removal of the brick wall at the factory entrance, and the kiosk along Church Street. Source: *Looking Towards Church Street Entrance*, c1920-6, SLV, H92.401/10.



Figure 11: Image showing the west elevation of the Administration Building, as it appeared in the early to mid- 1920s, with the courtyard, boardroom, and garage shown.
Source: Exterior View Showing Courtyard Behind Church Street Facade, 1920-6, SLV, H92.401/9

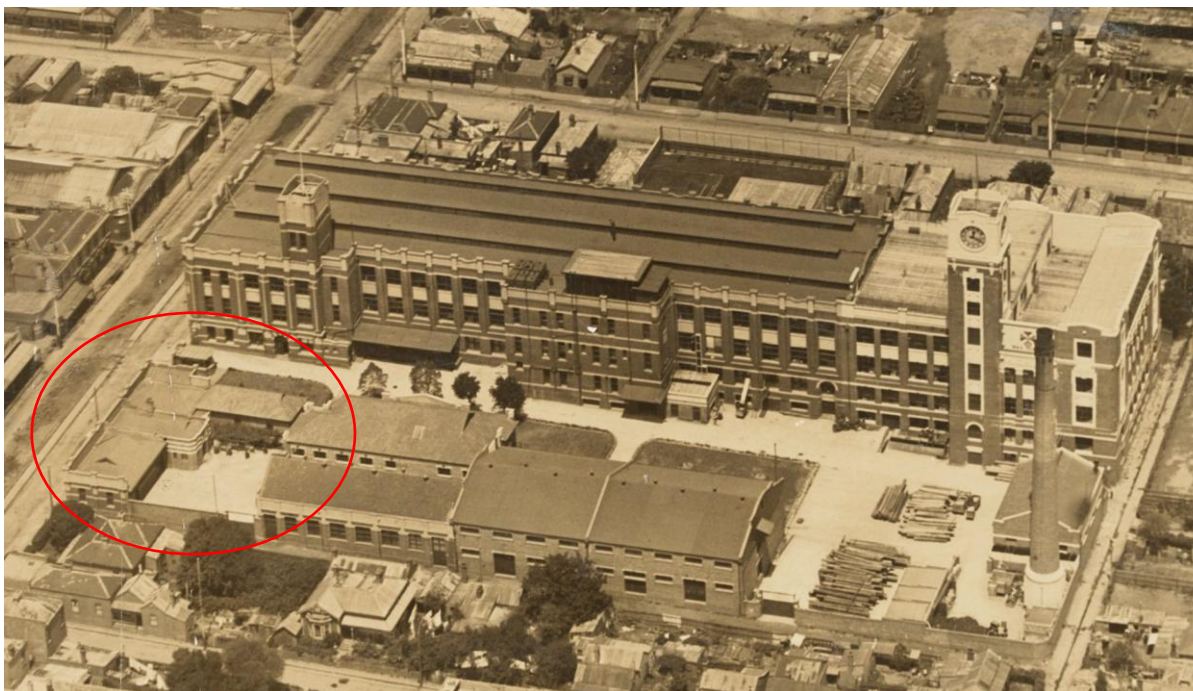


Figure 12: Early 1920s aerial of the Bryant & May Match Factory, with the offices, boardroom, former dining room, and garage circled red. (Source: Aerial View of Bryant & May Factory, 1922-24, Algernon Darge, SLV, H92.401/332)



Figure 13: Drawing of the new boardroom, which adjoined the offices.
Source: *The Matchmakers: A Story of Real Life*, Bryant & May, 1925, SLV, 662.5 B84M.



Figure 14 (left): Photograph of the boardroom, taken in the 1920s.
Source: *Australia: Various Photographs of Empire Works, Showing Workers, Processes, Facilities*, 1920s, NLA, D/B/BRY/3/2.



Figure 15 (left): Photograph of the boardroom, taken in the 1920s. Note smaller, leadlight sash windows to street front. Source: Australia: Various Photographs of Empire Works, Showing Workers, Processes, Facilities, 1920s, NLA, D/B/BRY/3/2.

Further works occurred to the Administration Building in the mid to late 1920s when part of the southern façade was extended forward and built to resemble the Church Street façade (shown in Figure 16 and Figure 17). It was possibly at this time, or earlier, that an additional room was added to the centre north of the Administration Building (shown as Room 8 on the application drawings and partially depicted to the left in Figure 22).



Figure 16: Administration Building after southern façade was extended further south. Source: Building and Garden at Factory, Possibly Bryant & May, c1910-32, SLV, H92.401/339.



Figure 17: Image of the entrance to Church Street, showing portions of the south and east elevation of the Administration Building after the façade was extended along the former dining room.
Source: Two Horses Pulling Wagon Load Of Logs into Bryant & May Richmond Picture, 1920s, SLV, H92.401/421.

By 1928, further works had occurred to the subject building when the southeastern portion of the southern façade was again extended forward (see Figure 18 and Figure 19). Between the late 1920s and the early 1930s, a gabled addition was constructed to the garage.



Figure 18: Image of the entrance and south side of the office buildings, showing further changes to this façade. The south façade appears to have been extended further across the site entrance (circled red).
Source: Inside Grounds of Bryant & May Factory, Richmond, Nov 1928, SLV, H92.401/433.



Figure 19: Image showing portions of the south and east facades of the offices (pictured right of image), with the south façade further extended and changes shown to the east façade, including the relocation of the plaque.
Source: *Looking Through Gates at Bryant & May, Richmond, to Brymay Hall, 1928*, SLV, H92.401/435.

Available images depict parts of the Administration Building internally during the 1920s (see Figure 20, Figure 21 and Figure 22). The images refer to 'offices at the Bryant & May factory'; the double-hung sash windows evident in the images suggest that they were taken of the interior of the subject building. The images show rooms with panelled ceilings, dados to the walls, decorative timber partitions with leadlight glazing (some half height), high timber skirtings, and herringbone pattern flooring (likely linoleum on top of the specified hardwood).

The decorative partition walls appear to have been located:

1. running north-south from the rear of the boardroom (identified by chimney, see Figure 20); and
2. running east-west at the entrance lobby (identified by double timber doors beyond) - forming the southern wall of offices (see Figure 21).

When compared and analysed against the phases of development map, Figure 22 seems to depict a third decoratively glazed partition wall that ran parallel to the one depicted in Figure 20, creating a corridor to the boardroom. It would, however, be unusual that this third partition isn't mentioned in the 1922 specification or photographed in the series with the other images.



Figure 20: Image of an office area at Bryant & May, likely taken c.1927 looking north in Room 10 as shown on application drawings. Source: Men at Work in Office Area of Factory, Probably Bryant & May, c1927, SLV, H92.401/342.



Figure 21: Image of an office area at Bryant & May, likely taken c.1927 looking southeast in Room 10 as shown on application drawings. Source: *Men at Work in Office Area of Factory, Probably Bryant & May, c1927*, SLV, H92.401/343.



Figure 22: Image of an office area at Bryant & May, likely taken c.1927 looking northwest in Room 9 as shown on application drawings. Source: Office Area of Factory, Probably Bryant & May, Algernon Darge, 1920-30, SLV, H92.401/345.

3.2.4. Ground and upper-level additions and façade changes: 1930s-1980s

Over the mid-twentieth century, further works were undertaken on the subject building, which was extended and enlarged. The construction of a first storey to the subject building appears to have occurred in stages.

A second storey was added to the office block in the 1930s or early 1940s, appearing on an aerial from 1942 (Figure 23); previous histories compiled on the factory noted that this storey was added in 1934 and was designed by Arthur and Hugh Peck.¹⁹ Initially, the first storey was added to only the southeastern corner of the building.

Over the mid to late twentieth century, the ground floor and the first storey of the subject building were further extended, with the ground floor extended to the south (to align with the late 1920s addition to the south façade) and the first floor extended to the west. The extension to the southwest corner of the first floor is apparent in Figure 24 which was taken c.1950. The additions are clearly evident in the 1983 aerial image at Figure 25.

¹⁹ 'Bryant & May Building', Victorian Heritage Database, <https://vhd.heritagecouncil.vic.gov.au/places/67020>



Figure 23: 1942 aerial of the Bryant & May factory, with the Administration Building circled red. Note that a first storey was added to the south-easternmost corner of the building, with a gambrel roof constructed.
Source: Run 16, Frame 72351, Geoscience.

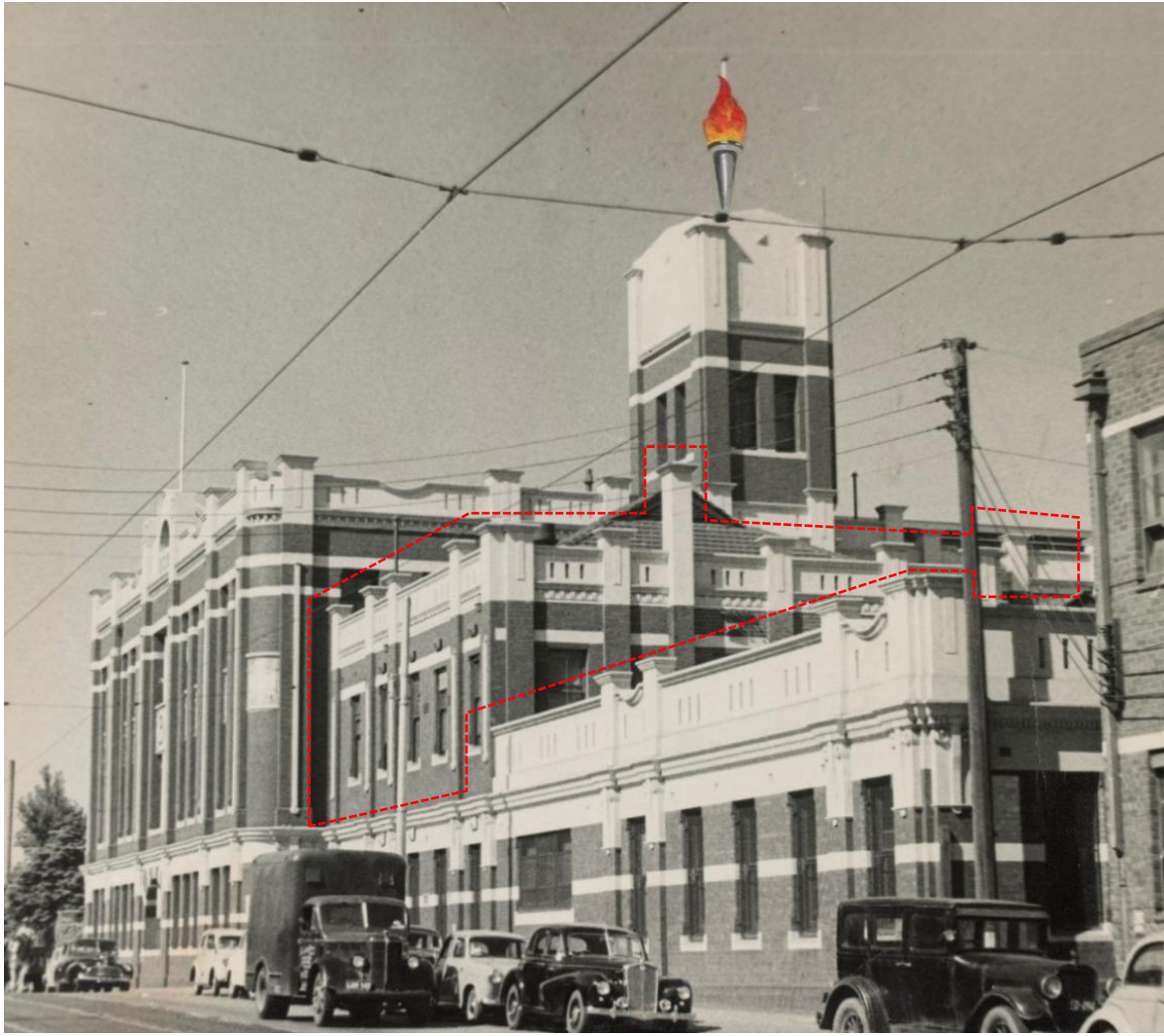


Figure 24: Image of the Bryant & May Match Factory, along Church Street, depicting first floor development. Cars indicate that image was captured in the late 1940s-early 1950's. Note that the northwest parapet is evident to the right (fourth engaged column to the right of chimney). Source: Bryant & May Factory, Richmond, Victoria, 1940-50, SLV, H2012.195/27.



Figure 25: January 1983 aerial of the Bryant & May Match Factory, with the Administration Building circled red. Note that the ground floor and the first floor have been extended to the western portion (originally the dining room). Source: Run Unknown, Frame 791, Geoscience.



Figure 26: Image of the subject building, taken in 1984, showing the façade along Church Street.
Source: Richmond Conservation Study, 1984, Building Identification form, accessed from the Victorian Heritage Database <https://vhd.heritagecouncil.vic.gov.au/places/103154>

Only one image was found that may depict an office space on level 1 of the Administration Building. Figure 27 shows a hallway and office entrance, possibly at the southwest of level 1, prior to the 1942-1950 extension. The image shows external wall vents at the rear, and a sash window on the left wall inside the office (also to the left). The depth of the wall and location of the door align with the footprint of room 18 on the application documents - though it is noted that the depth of the wall in the image is substantial, unlike the wall extant on site. It is also noted that the ceiling moulds are flatter, and the timber door is low waisted with clear glazing, which differs from those in previous images of office spaces, indicating this area was constructed at a different time than the areas in previous photographs.

The image in Figure 27 suggests that when constructed, the upper level adopted a similar design aesthetic to the ground floor: parquet patterned linoleum floors, tall timber skirtings, paper wall dados with borders and white paint above, timber or mould strapped ceilings with small cornices and pendant lights throughout.



Figure 27: Image of an office area at Bryant & May, likely taken c.1935 on level 1 looking west from room 17 on the application documents, prior to the c.1942-1950 extension.
Source: Office Area of Factory, Probably Bryant & May, 1920-30, SLV, Algernon Darge, H92.401/344.

3.2.5. Adaptive re-use: 1980s-2020s

By the mid-1980s, Bryant & May were looking to relocate to a more accessible suburb.²⁰ As it became well-known that Bryant & May would be leaving the Richmond site, moves were made to have the site heritage listed, with the factory listed on the Victorian Historic Building Register (former VHR) in 1986. As part of this process, floor plans were produced of the buildings at that time which shows the ground and first floor layout of the offices, boardroom, and garage (see Figure 28 and Figure 29). Bryant & May ceased manufacturing matches in Australia in early 1987.

²⁰ Letter from the City of Richmond to the Historic Buildings Council, 'Bryant and May Industrial Complex, Church Street', Royal Historical Society of Victoria, object number: VF 006523, accessed 13 February 2026.

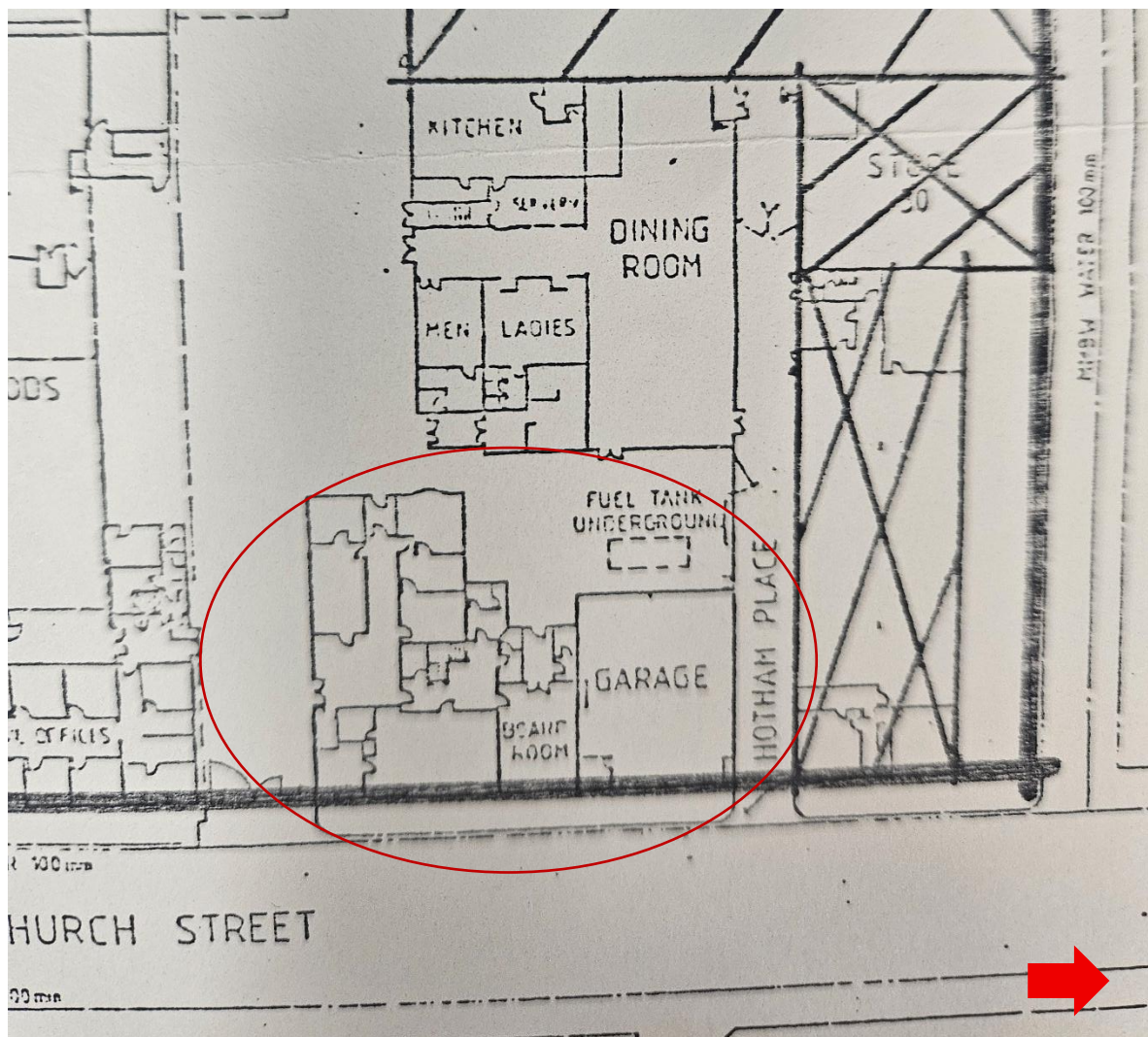


Figure 28: Drawing of the Bryant & May Match Factory, likely from the mid 1980s, showing the ground floor layout of the offices, boardroom, and garage (circled red) as they appeared at that time.
Source: Appendix A, Plan no. HB 626.1, Richmond Library, RFC 218, accessed 13 February 2026.

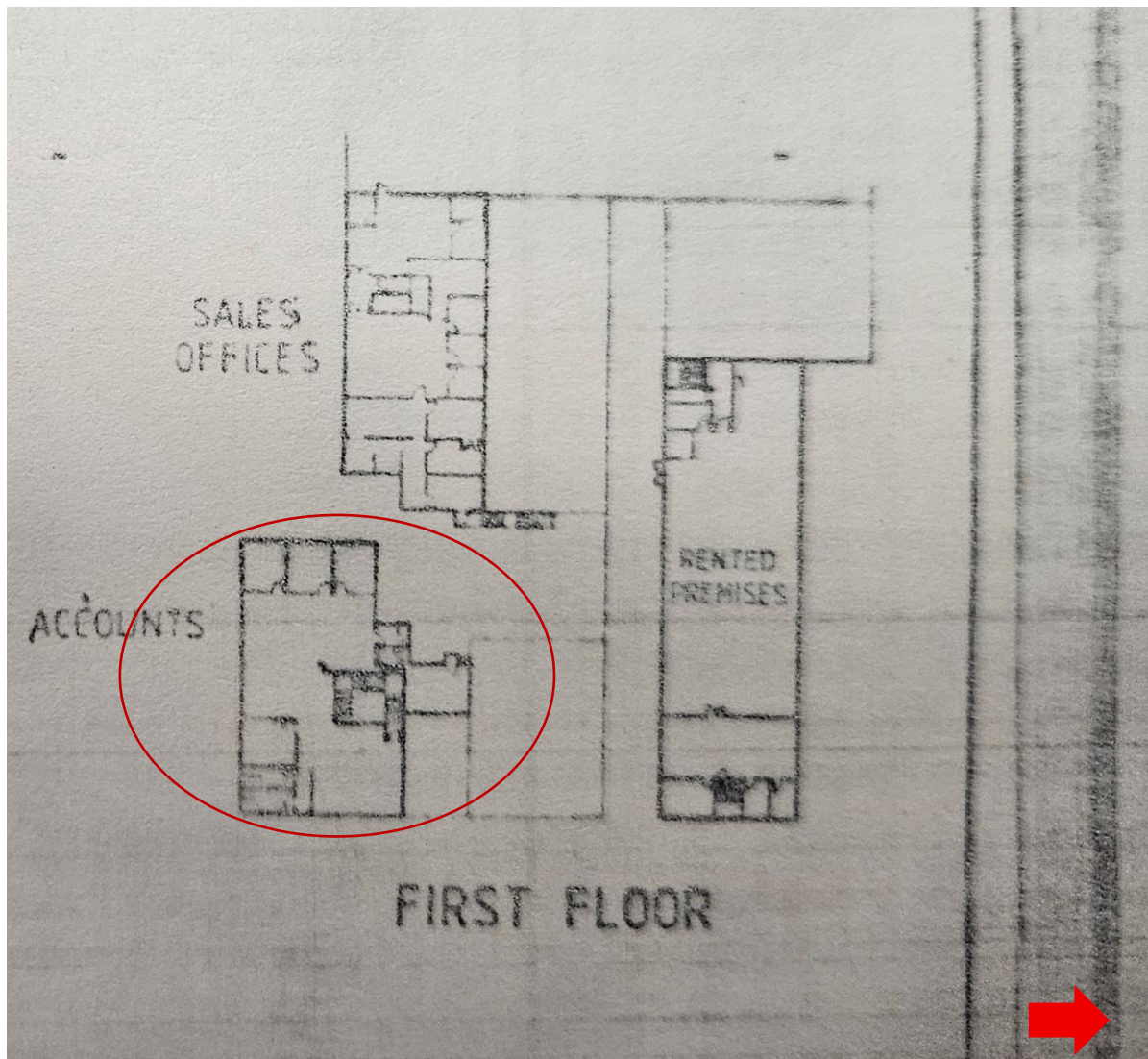


Figure 29: Drawing of the Bryant & May Match Factory, likely from the mid 1980s, showing the first floor layout of the offices (circled red) as they appeared at that time. (Source: Building Layout Richmond Site, accessed from Richmond Library, RFC 218)

Over the mid to late 1980s, a large double storey showroom was constructed over the courtyard to the north and west of the garage, appearing in a 1992 aerial with a corrugated metal roof (see Figure 30). The same aerial image appears to show a small double storey addition to the northwest façade of the Administration Building (facing the utility yard). Around this time, the roof cladding to the garage and boardroom was replaced. In 1989, the Richmond and Clock Tower buildings were refurbished, likely for the reuse of the site.²¹ Also in the late 1980s, the subject building was renovated and altered for use as a showroom and office for Porsche and Audi, who moved to the site in 1989, and which likely involved exterior and interior alterations, including the widening of openings to the front (east) façade as it faces Church Street (see Figure 31).²²

²¹ 'Richmond Landmark for Sale', *Australian Jewish News*, 1 December 1995, p.12, accessed via Trove

²² 'Advertising', *Australian Jewish News*, 11 March 1988, p.60, accessed via Trove; 'The Porsche and Audi Specialist', *Australian Jewish News*, 28 August 1992, p.8, accessed via Trove



Figure 30: October 1992 aerial of the Bryant & May Match Factory, circled red. Note that the courtyard to the west of the garage was built over, including the area to the immediate north of the offices. Source: Run 2, Frame 449, Geoscience.



Figure 31: Image of the east (front) façade of the subject building, taken in December 2007, with the alterations to the opening shown. Source: Google Street View.

Between the 1970s and 2007, the Bryant & May plaque on the subject building was removed.

In 2024, the contemporary showroom constructed to the north of the early garage was demolished, as were most of the buildings to the north of the site, shown in Figure 32 and Figure 33.

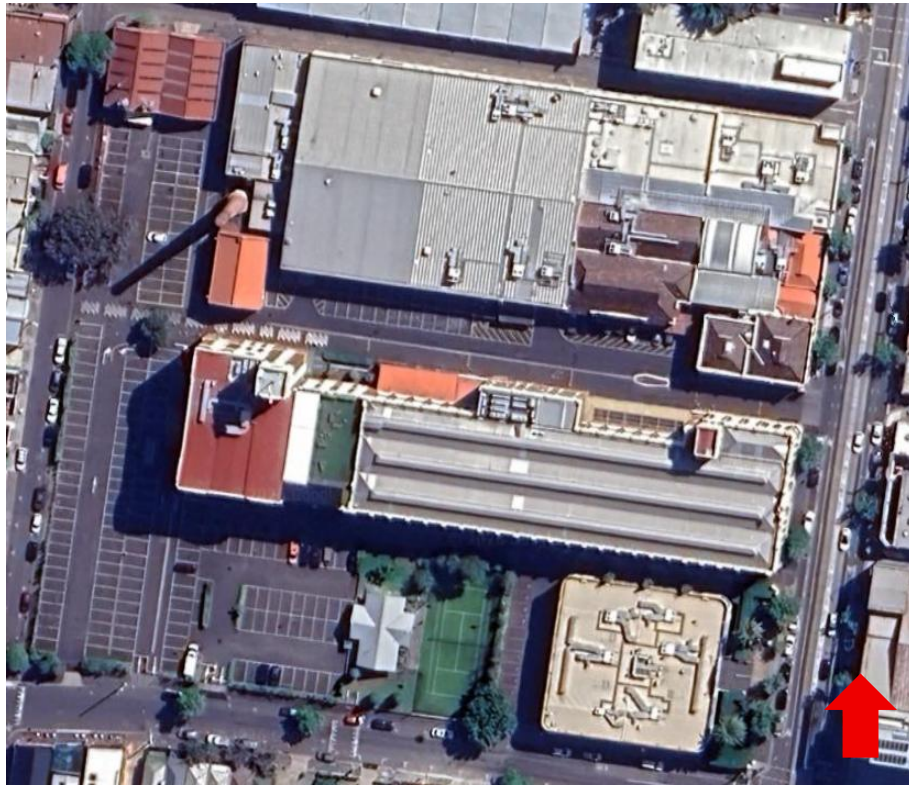


Figure 32 (left): February 2024 aerial of the former Bryant & May Match Factory, showing the site as it appeared at that time. Source: Google Earth.

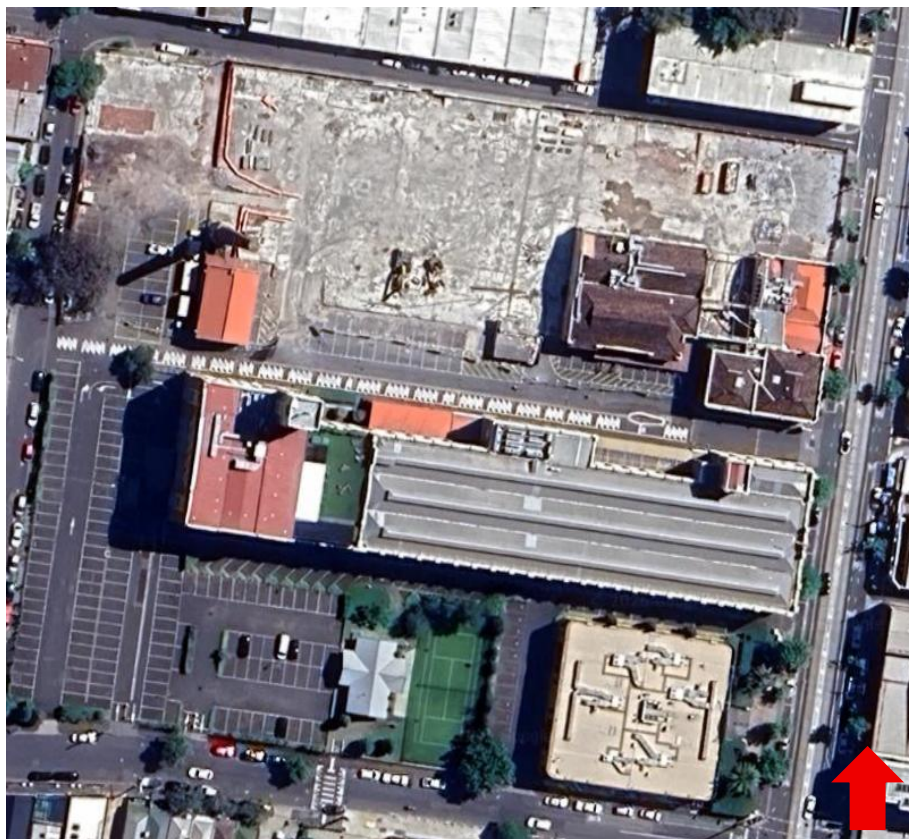


Figure 33 (left): January 2025 aerial of the former Bryant & May Match Factory site, showing the contemporary showroom to the north of the garage demolished, as well as the contemporary portion to the west of the garage and boardroom. Source: Google Earth.

Further alterations have occurred to the subject building. Services were added to the south façade, under the southeasternmost windows; it is unclear when these services were added, though they appear before 2007. It is not clear when the street facing windows to the boardroom were enlarged and decorative the glazing removed.

3.3. Summary of developmental history for former Administration Building

3.3.1. Phases of development - table

DATE	BROADER SITE DEVELOPMENT / EVENT	SUBJECT SITE DEVELOPMENT
Subject site located on the Traditional Lands of the Wurundjeri Willam people of the Kulin Nation.		
1909	December: three-storey, brick match factory; separate office building; and a staff dining room constructed to the design of William Pitt and officially opened by Prime Minister Alfred Deakin and his wife, Mrs Deakin. Factory building was located east of the former Dublin Brewery.	The Administration Building, a single storey brick building was constructed to the northwest intersection of Church Street and Russell Street (now Hotham Place), with a portion of wall extending south to the main factory building. Southern portion of Administration Building featured tall decorative parapet. Central portion smaller, much less decorative, with verandah to Church Street. See Figure 6. Dining room constructed to square form with enough room on the southern façade for one window and door only. See Figure 7 and Figure 8.
1910	Former Dublin Brewery demolished and factory extended west. Photographs of southern façade of Administration Building taken.	Former staff dining room west of Administration Building evident with gambrel roof and rectangular opening on western facade. See Figure 7 and Figure 8.
1917-1922	Factory clock tower, Dining Hall (Building F), Brymay Hall (Building F), Boiler House (Building G), and chimney stack constructed.	

1922-1924	Tennis and basketball courts constructed in 1923. Klingender & Hamilton architects specify significant changes to Administration Building.	1922 K&H specifications: <u>Boardroom and two lobbies</u> • New boardroom with two lobbies, which contained Tasmanian hardwood to the wall panelling and the flooring to the boardroom and Lobby 2, hardwood to flooring and plaster walls to Lobby 1, with three-panelled doors with Flemish glass to top panel. • New windows to boardroom to be double-hung sashes with leaded glass. • Chimney breast in boardroom to be clinker brick with fireplace to have hobe receiving back and K. & H. grate. <u>Offices</u> • Removing and rebuilding the chimney stacks with an open brick fireplace. • New walls in brickwork and lime mortar, plastered and finished to match the existing. • Water closet and lobby to have white tiles to the dado and coloured slip at top, and floors to be terrazzo, doors to be four-panelled. • Windows to the entrance lobby to be double hung sashes to match existing. • Alteration of a window, located at northwest corner, replaced with a fix glass panel door with linings, to match existing. • Removal of a window and its replacement with a double hung sash window, as it was previously, to south of lobby. • New partition at entrance lobby with leaded glass and cabinets. • Office and lobby to be re-decorated to match the existing with a paper dado 4'6" high with a border; and • All woodwork noted to be seasoned Maple, finished with one coat of raw oil satin.
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DATE	BROADER SITE DEVELOPMENT / EVENT	SUBJECT SITE DEVELOPMENT
c.1924	Image of the Bryant & May Industrial Complex as seen from Church Street taken. See Figure 9.	Partial demolition of wall between Administration Building and factory to south evident. Extensive modifications to northern end of Administration Building, with large decorative parapet extended north and large windows to former Boardroom evident on Church Street elevation.
c.1924-1926	Image of the southern elevation of Administration Building and former dining room taken. See Figure 10.	Partial demolition of wall between Administration Building and factory evident. Projected porch addition evident to the east. Former dining room extended by one room to both the east and west to merge with offices. Roof reconstructed and bay window added to western elevation. Compare Figure 7 with Figure 10.
c.1924-1926	Images of the western (rear) elevation of Administration Building taken. See Figure 11 and Figure 12.	Image shows western (rear) elevation of single-storey Administration Building with garage to the north, deco-style boardroom in the centre, and the rear of the former dining room to the southwest. Entire area concreted and not landscaped.
1925-1928	Image of southern elevation taken c.1910-1932. See Figure 16.	Southern façade of Administration Building extended south and west (incorporating former dining room) to same design as Church Street façade. Grassed lawn and garden established south of façade, between Administration Building and entrance to factory complex from Church Street. See also Figure 17.
	Bowling green constructed in 1928.	
	Image of southern façade of Administration Building taken in 1928. See Figure 18.	By this time southern façade of Administration Building is significantly redesigned. Façade in the two easternmost bays is extended south (again), and arched entrance extant today is visible. Garden south of Administration Building replaced with concrete roads. Wall between Administration Building and factory demolished and replaced with entrance gates. See also Figure 19.

DATE	BROADER SITE DEVELOPMENT / EVENT	SUBJECT SITE DEVELOPMENT
1934-1935		Ground floor garage extended west. First floor added to the southeast corner of the Administration Building.
1942-1950	Aerial image taken in 1942 (Figure 23) and photograph of Administration Building as seen from Church Street taken c.1950 (Figure 24).	Ground floor façade extended south (again), and first floor extended to the west by Arthur and Hugh Peck. 1942 aerial image shows southwest corner as <i>single</i> storey. However, by 1950 the <i>double</i> storey parapet to southwest corner is evident in Figure 24.
1986	Bryant and May Factory Complex included in state heritage register (then known as Register of Historic Buildings). In anticipation of registration, building plans prepared of internal layout c.1980s.	When compared to the current floor plan (2026), the 1980s ground and first floor plans - and the mapped phases of development at Figure 34 and Figure 35 - confirm that interior of the Administration Building has been subjected to multiple internal fitouts, alterations and additions from 1909-2026.
1987	Bryant & May ceased manufacturing matches in Australia.	
Late 1980s-early 1990's	Porsche and Audi, move to subject site in 1989. Aerial images of subject site captured in 1992.	Small extension to central north-west of the first floor, and a large new showroom constructed to the northwest by 1992. Roof cladding to the garage and boardroom replaced. Part of subject site renovated and altered for use as a showroom and office for Porsche and Audi, which likely involved exterior and interior alterations, including the widening of openings to the front (east) façade (see Figure 31).

DATE	BROADER SITE DEVELOPMENT / EVENT	SUBJECT SITE DEVELOPMENT
		Between the 1970s and 2007, the Bryant & May plaque on the subject building was removed. In 2024, the contemporary showroom constructed to the north of the early garage was demolished, as was most of the buildings to the north of the site, shown in Figure 32 and Figure 33 as part of the approval for P37853.

3.3.2. Phases of development - plans

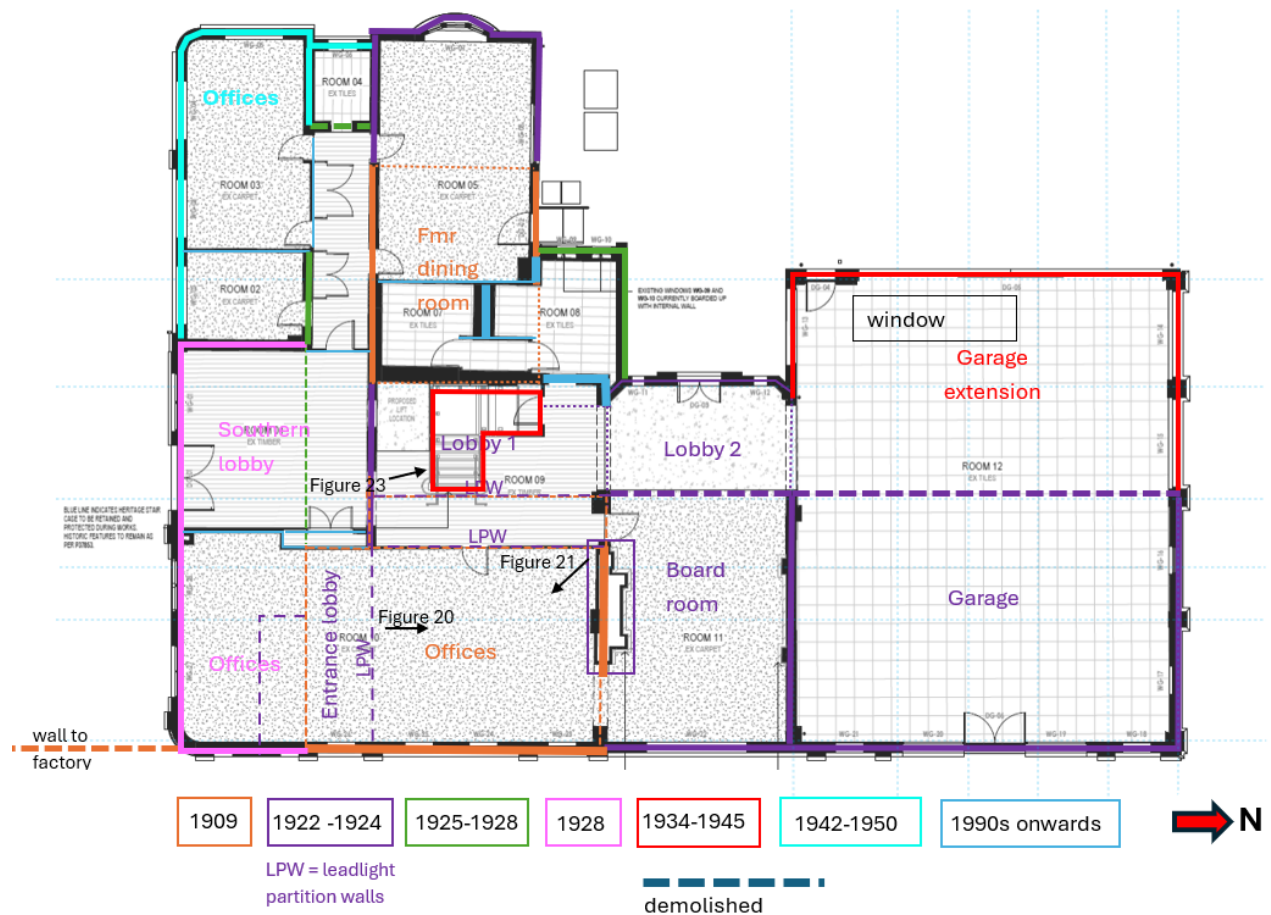


Figure 34: Phases of development at the former Administration Building - Ground Floor.

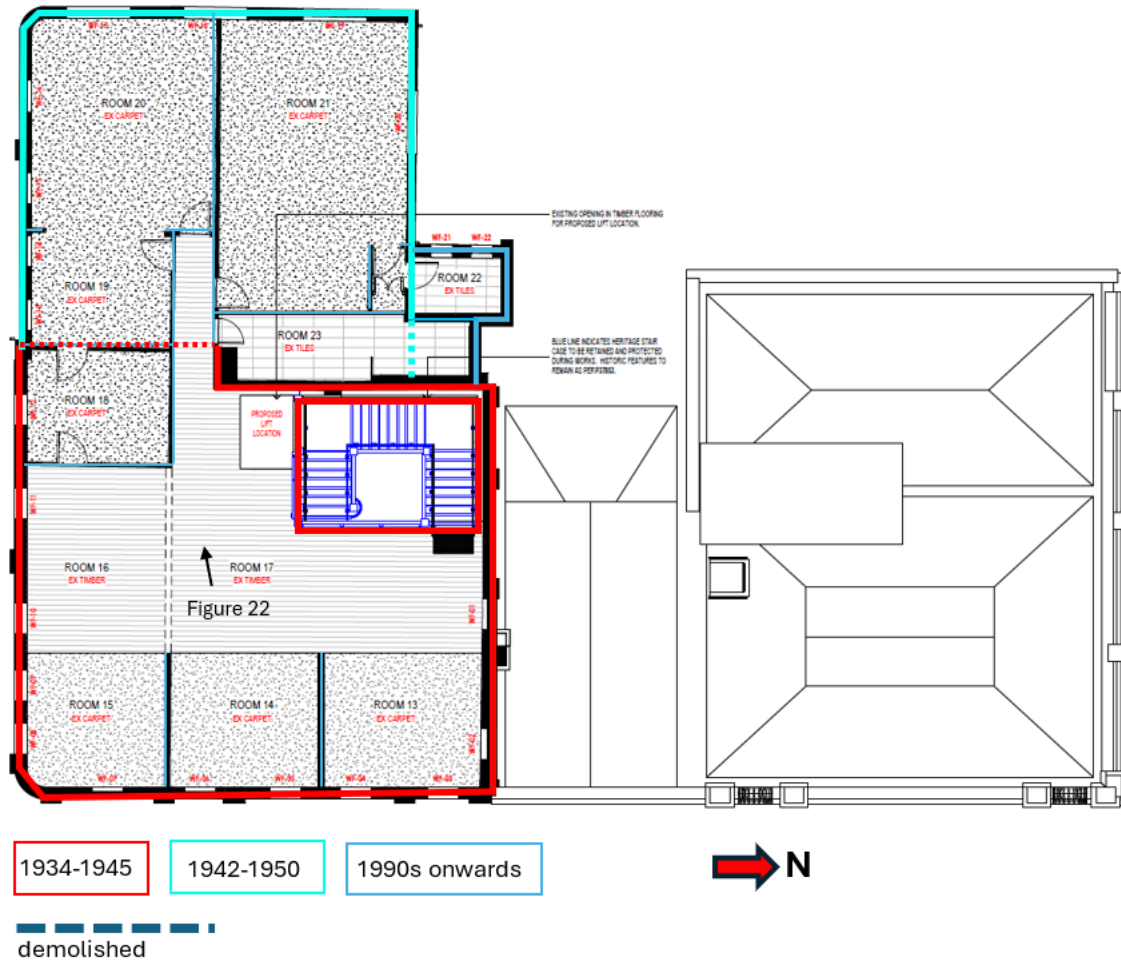


Figure 35: Phases of development at the former Administration Building - First Floor.

3.3.4. Aerial image and elevations



Figure 36: Phases of development at the former Administration Building - 2026 aerial image.
Source: NearMap with RRCD overlays.

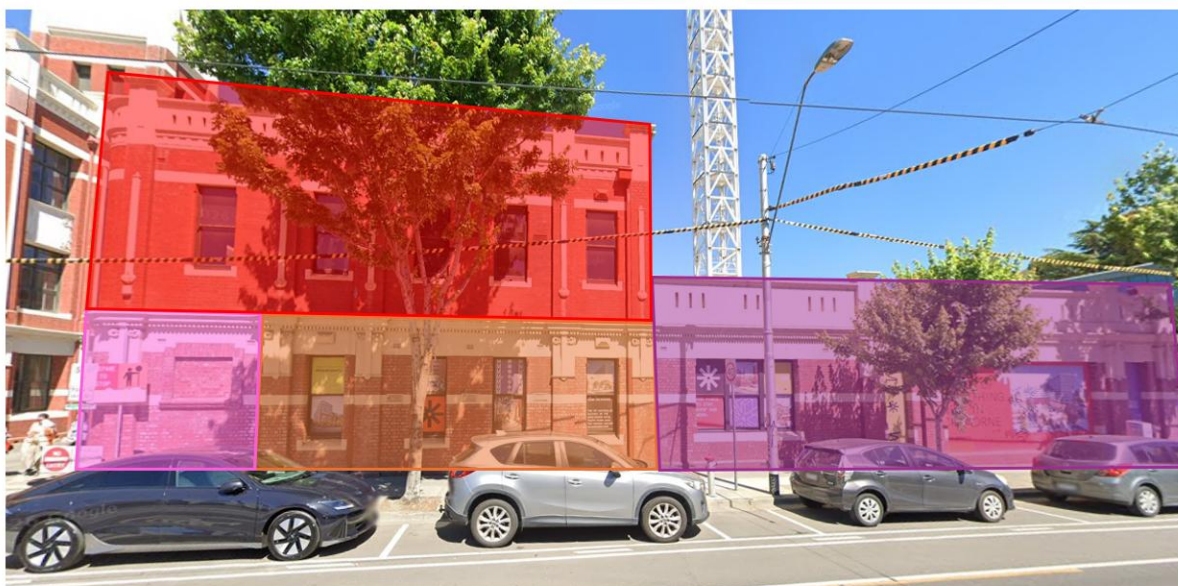


Figure 37: Phases of development at the former Administration Building - Eastern (Church Street) elevation.
Source: Google Streetview with RRCD overlays.



Figure 38: Phases of development at the former Administration Building - Southern (Hotham Place) elevation.



1909	1922 -1924	1925-1928	1928	1934-1945	1942-1950	1990s onwards
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Figure 39: Phases of development at the former Administration Building - Western elevation.

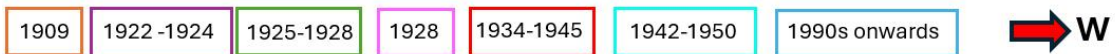


Figure 40: Phases of development at the former Administration Building - Northern elevation of offices and former dining room. Partially demolished boardroom to left of image with garage beyond.

4. Description of former Administration Building

4.1. Exterior

The former Administration Building is a one and two-storey building, being single storey to its northeast and double storey to the south. The Administration Building encompasses the former dining room (west), offices (southeast), boardroom (centre east) and garage (north). The building is constructed of red brick laid in an English bond (stretcher bond to a portion of the south, west, and east facades) with rendered elements and detailing. The roof comprises two gambrel roof forms, clad in tiles to the south; a corrugated metal gable roof over the central boardroom, and a hipped roof over the garage. The main frontage of the building is to its eastern elevation, which fronts Church Street, with the main arched entrance to its south elevation accessed from Hotham Place. The building has rounded corners to its southeast and southwest corners.

The building was constructed in stages and was originally a single-storey structure, with the alterations and additions built over the early to mid-twentieth century to replicate the style of the original 1909 portion (south east).

There is a rendered parapet with moulding, widely spaced dentils, and capped projecting columns that extend the full length of the façades. Separating the ground and first floors (and formerly part of the ground floor parapet), is a moulded string course and rendered band with capped projecting columns, dentils, moulding, and Art Nouveau motifs.

The windows are timber-framed, double-hung sash windows, with rendering to the lintels and sills. The windows to the west elevation, part of the north façade, and the ground floor of the south elevation are paired. There is also a bay window to the west façade. The openings to the northeastern most part of the building, behind which the garage was originally located, have been altered (likely in the late twentieth century) to have full-length glazing. There are small fixed-pane windows to the small addition located to the north elevation.

On the east elevation of the ground floor is a red brick plaque setting; the plaque has been removed.

A portion of the building has been demolished to the north.



Figure 41: Church Street (eastern) façade of Administration Building showing double storey offices to left, single storey boardroom in centre and garage to the right.



Figure 42: Southern elevation of Administration Building as seen from the southeast in Hotham Place.



Figure 43: Southern elevation of Administration Building as seen from the southwest in Hotham Place.



Figure 44: Western elevation of Administration Building.



Figure 45: North elevation of the Administration Building showing boardroom to the left and garage beyond.

4.2. Internal layout

The main entrance to the Administration Building is from the south, through a double-leaf door with an arched lintel and a toplight with lead lighting. The entrance leads to a central lobby, with hallway to the west, from which there are several smaller, flanking rooms. East of the central lobby is a large room, separated from the entry by non-original, decorative partition walls.

To the north is a second lobby with early timber staircase, providing access to the first floor. Further north is the former boardroom and garage beyond. The original western wall to the boardroom was recently demolished.

The first floor includes a large open room to the east, with a hallway to the west and several flanking rooms.

Available evidence indicates that the layout of the ground and first floors has been altered since the site was included on the Victorian Heritage Register in the mid-1980s, with several walls removed and added. The layout of the first floor has undergone a considerable amount of alteration, with little walls extant. Figure 46 and Figure 47 below show extant early (1909-1950) and later walls.

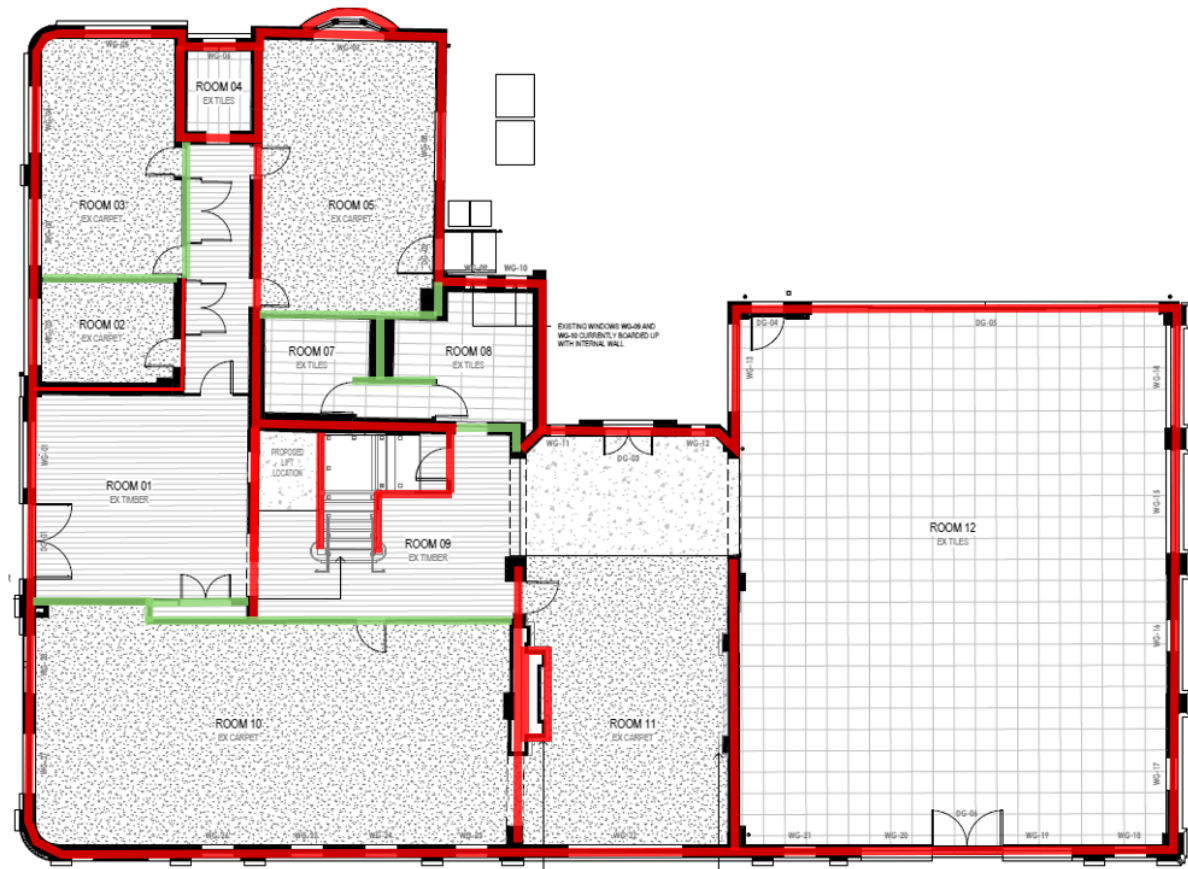


Figure 46: Existing ground floor plan showing layout of early or original walls in red (1909-1950), and later additions in green.

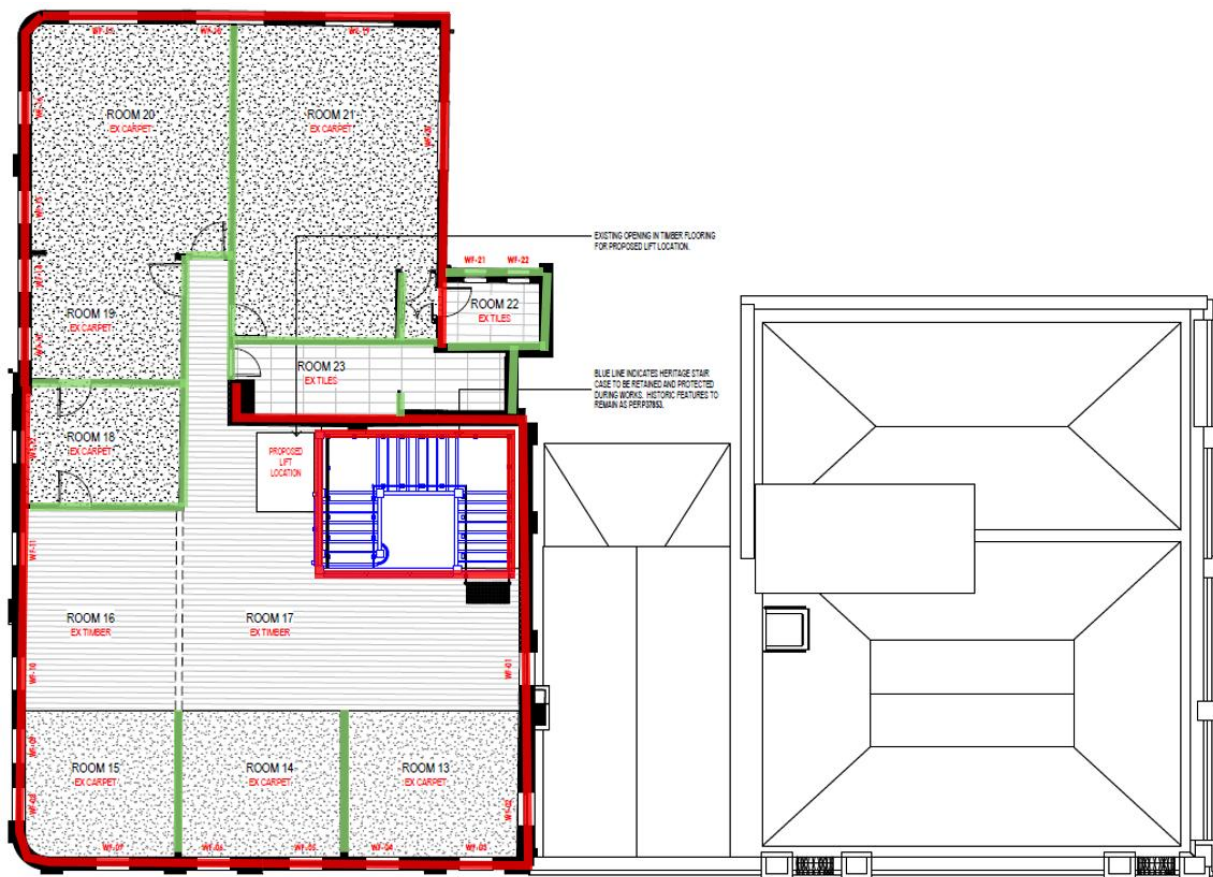


Figure 47: Existing first floor plan showing layout of early or original walls in red (1909-1950), and later additions in green.

4.3. Internal fabric

4.3.1. 1922 building specification

The 1922²³ specification describes features depicted in available photographs from the 1920s. For ease of reference, the following extracted text is summarised by area (not in the same sequence as original specification). Where possible, rooms referenced in the specification have been added (in purple) to the *phases of development plan* in Figure 34. It is not known where bathrooms and lavatories were located - likely west of Lobby 1 in the former dining room.

New boardroom and lobby 2

Chimney stack and breast 4'6" high with open brick fireplace with hobs and K. & H. grate. Hearth to be similar raised 2" above floor with 4" x 3" bevelled blackwood kerb round same and quadrant round same on floor. Lime mortar walls on concrete footings.

Board-room chimney breast to be built up in clinker brick 4'6" high and 9" on face of jambs. Fireplace to have hobs receding back and K. & H. grate, raised hearth kerb etc. as before. Panelling to be carried over same and fix 9" x 1" mantel shelf on brackets to detail. Face of jambs to be panelled and put 1½" x 1 ½" brass angle secured with square head screws to angles of opening.

²³ 'Australia: Revised specifications of additions to Empire Works', 1922, Records of the Bryant and May Archives (as filmed by the AJCP): [M2476-M2491] 1879-1977, NLA, pp.2-3, accessed via Trove.



Figure 48: Extract from photograph showing fireplace in boardroom c. 1924. (Source: Australia: Various Photographs of Empire Works, Showing Workers, Processes, Facilities, 1920s, NLA, D/B/BRY/3/2)

In Board-room form mock beams. 2 running north and south to be 10" x 8" built up of 1" stuff and 2 east and west to be 8" x 6". Cover joints forming panels about 6' x 3' with 3" x 2" mock joists. Finish against wall with 9" x 1" fascia and 1" quadrant in angle with strap against wall.

Lobby 2 ceiling to have similar 3" x 2" mock joists covering joints of plasterboard.

Wall panelling in board-room and lobby 2 to be 1" framed seasoned Tasmanian Hardwood. Finish at top with ½" necking bead and 3" x 1" capping and bead under. New door between General Office and boardroom to be 6'10" x 2'10" Tasmanian Hardwood to match panelling and fitted with furniture.



Figure 49: Photograph of the boardroom, taken in the 1920s. (Source: Australia: Various Photographs of Empire Works, Showing Workers, Processes, Facilities, 1920s, NLA, D/B/BRY/3/2)



Figure 50: Drawing of the new boardroom, which adjoined the offices. (Source: *The Matchmakers: A Story of Real Life*, Bryant & May, 1925, SLV, 662.5 B84M)

Cover boardroom and lobby 2 floors with 4" x 7/8" T. & G. Crown brand Tasmanian Hardwood traversed and sanded smooth stained an oiled 1 coat and wax polished.

Colour plaster walls and ceiling to board-room and Lobby 2 coats F.C paint stippled. Finish all woodwork to lavatory, W.Cs.

All woodwork to Board-room and Lobby 2 to be fumed Tasmanian hardwood.

Lobby external door to be 6'10" x 3'0" x 2" 3-panel Tasmanian Hardwood. Top panel in leaded glass.



Figure 51 (Left): extract from photograph showing external door to Lobby2. Source: Exterior View Showing Courtyard Behind Church Street Facade, 1920-6, SLV, H92.401/9)

Bathrooms and Lobby 1

Lavatories and W.C to have terrazzo floors on 4" concrete and tile dado as before specified.

Lobby 1 to have hardwood floor and walls plastered and painted. Door between Lavatory and Lobby 1 to be 6'8" x 2'8" x 1¾" 3-panel. Top panel in Flemish glass.



Figure 52: Extract from photograph (likely in the office) showing same details as specified Lobby 1 door. Source: Office Area of Factory, Probably Bryant & May, Algernon Darge, 1920-30, SLV, H92.401/345.

W.C. and Lobby to have tiled 5'0" dado in white tiles and coloured slip at top and floors to be terrazzo. Paint walls above tiling in White Ricksha and to all woodwork new and existing. New doors to W.C. and Lobby to be 4 panel 1½" x 6'6" x 2'6" in jamb linings with square 4" x 1" architraves.

Entrance lobby

Provide and fix new partition at Entrance Lobby with 4" x 2" Oregon studs and plates and 4" x 3" to door opening. Line front up to counter 3'6" high with 1" framed Queensland maple panelling with 1" quadrant at floor and 2" mold under projection of 1½" Queensland Maple. Counter 2'0" wide. Fill in under counter with No.1 shelf and 1½" panelled sliding doors with ball bearing runners flush grips tracks etc. and false floor. Above counter in centre fill in double hung box frame window with 1¾" sashed and furniture in Queensland Maple boxes. Provide swing door - top panel to be glazed. Case all Oregon with ¾" Queensland Maple and glaze whole partition including door and window with leaded glass. All woodwork to be seasoned Maple and finished with 1 coat raw oil stain and wax finish.



Figure 53: Extract from image of the office area showing partition at entrance lobby c.1927. (Source: Men at Work in Office Area of Factory, Probably Bryant & May, c1927, SLV, H92.401/343)

Redecorate General Office and Lobby to match existing work and put paper dado 4'6" high with border.



Figure 54: Image of the office area taken 1920s likely looking southeast towards the early entrance lobby. (Source: Men at Work in Office Area of Factory, Probably Bryant & May, c1927, SLV, H92.401/343)



Figure 55: Image of the office area at Bryant & May, c.1922-1924 likely looking north towards the rear of Boardroom. (Source: Men at Work in Office Area of Factory, Probably Bryant & May, c1927, SLV, H92.401/342)

4.3.2. Internal fabric - extant

Unfortunately, no documentary evidence of the interior finishes post the early 1920's was found in the research for this report.

The exterior of the Administration Building retains high integrity to its early to mid-20th century fabric - particularly south of the garage. However, based on the documentary evidence in this report and site inspections, original or early fabric extant within the Administration Building internally appears to be limited to:

- some structural walls (not including finishes).
- Tasmanian hardwood wall panels on the north and south walls of the former boardroom.
- fireplace and surrounds on southern wall of the former boardroom.
- tongue and groove hardwood floorboards in boardroom (potentially early but non-original, as narrower than original specification).
- 1930's timber staircase (possibly excluding balusters which appear to be later infills).

Hardwood timber floors are found in sections - including around the staircase, but generally throughout the building floors have been replaced or spot repaired and reclad in carpet tiles. Floorboards in the former boardroom appear to be Tasmanian hardwood, but narrower (84mm) than the original 4" (100mm) boards specified. Carpet and ceramic floor tiles are extant throughout the building, under which timber floorboards and concrete slabs are evident at ground and first floor.

All ceilings have been significantly altered. The boardroom retains rough interpretations of the original mock beams but there is no evidence of original fabric. Internal ceiling spaces were inspected for signs of the early vents/skylights, but they have been removed.

The decorative leadlight partition walls in the entrance and stair lobbies (rooms 10 and 9 respectively) are likely to have been installed as an interpretive measure after the place was registered. The fabric does not match historic images (Figure 22, Figure 53 and Figure 55).

Door hardware on the one remaining door in the boardroom does not match historic images, but the door itself appears to be original. Other doors throughout the building - being 3 panelled with leaded glazing above, or solid 6 panelled doors - are not original and were likely constructed along with the interpretive partition walls post registration. Similarly, the timber wall panels in the entrance lobby and rooms on Level 1 are not original, but rather interpretations of the wall panelling which was likely restricted to the boardroom and lobby 2 (former room west of boardroom).

The former garage is the most altered space of all both internally and externally. Internally original ceilings were removed mid-late 1980's to create a mezzanine level, original windows removed, plaster stripped off walls and floors covered with tiles. Apart from some brick walls, little original fabric remains in this area.

Based on early photographs, original and early finishes within the Administration Building would have included:

- offices: Plaster strapped ceilings. Lime plastered walls with paper dados up to 137cm with a ribbon and white paint above. Hardwood timber floorboards covered with parquetry linoleum.
- boardroom: mock beam ceiling with ceiling vents/skylight, Tasmanian hardwood wall panels, chimney breast and fireplace as extant with white painted plaster above, 84mm wide timber T&G flooring.
- lightweight partition walls: Queensland maple panelling, seasoned and raw oil stained with wax finish. Decorative leadlight in sliding sash frames in top panels.

- bathrooms: terrazzo floors, white tiled walls up to 5'0" (1.52metres) with coloured slip at top, white painted plaster above tiles, white painted windows, 4 panelled timber doors.

4.3.3. Internal site photos

Photos taken by RRCD on 28 January 2026.

No access to former garage. Please refer to P37853 Condition 13 response - photographic survey for details.

4.3.4. Ground floor



Figure 56: Rm 01 looking east.



Figure 57: Rm 01 looking south.



Figure 58: Rm 01 looking northwest.



Figure 59: Rm 09 looking northeast.



Figure 60: Rm 09 looking north.



Figure 61: Rm 09 looking south.



Figure 62: Rm 10 looking southwest.

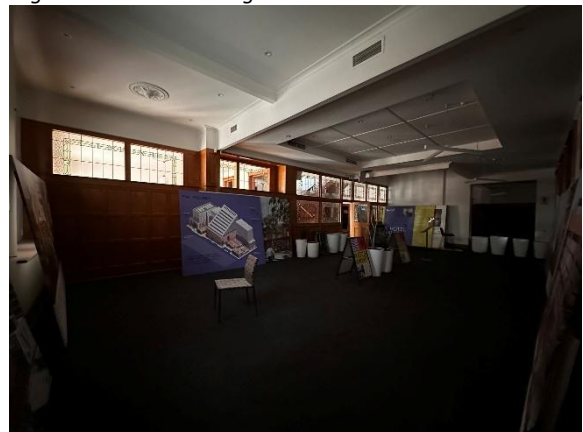


Figure 63: Rm 10 looking northwest.



Figure 64: Rm 11 looking south.



Figure 65: Rm 11 looking northeast.



Figure 66: corridor looking southeast towards rm 01 to the left and rm 02 to the right.



Figure 67: Rm 03 looking south.



Figure 68
(left):
Rm 04
looking
west.



Figure 69: Rm 05 looking southwest.

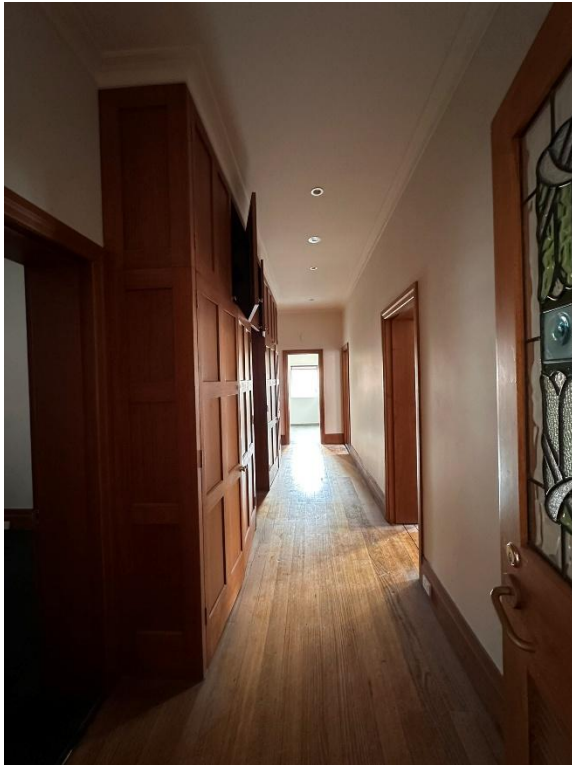


Figure 70: corridor looking west towards rm 4 at the end.

4.3.5. First floor



Figure 71: Stair landing looking south-east.



Figure 72: Stair landing level 1 looking south.



Figure 73: Stair landing level 1 looking south-east.



Figure 74: Corridor rm 17 looking east.



Figure 75: corridor rm 17 looking south west.



Figure 76: corridor rm 17 looking west.



Figure 77: Rm 19 looking west.



Figure 78: Rm 18 looking east.

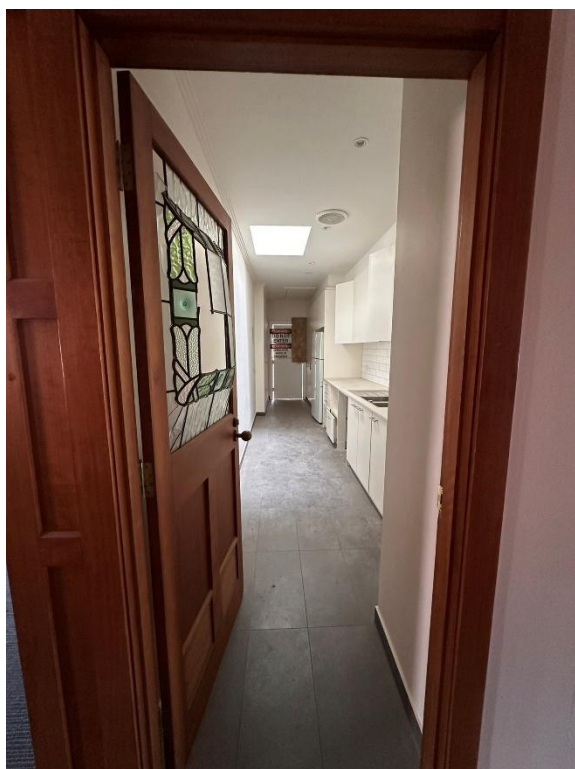


Figure 79: Rm 23 looking north.



Figure 80: Rm 22 looking northeast.

5. Proposed works and impact on fabric

The proposal seeks partial demolition internally, for the interior fitout of the Administration Building to create an indoor recreational golf venue at ground and first floor (former offices, boardroom and rear of former garage); and a soft shell for a retail component to the street facing portion of the former garage.

5.1. Demolition

Demolition of original or early fabric is restricted to small sections of early walls in rooms 3, 5 and 4 to accommodate new doors. The walls in room 3 and 5 would only be demolished up to door height (to match existing), and approximately 1metre wide. Existing openings would be filled in or doors fixed. The nib walls in room 4 would be removed entirely.

The proposed bathrooms are located within the former 1909 dining room to the north, and the c.1942-1950 office to the south.

Whilst partial removal of original and early fabric is not ideal, the existing fabric is utilitarian having contemporary plaster and timber finishes. Importantly, the original wall alignment would be retained and remain interpretable above the door openings.

Accordingly, the impact of the proposed removal of original and early fabric is very low and is not considered harmful to the historical, architectural or social significance of the place.



Figure 81: Room 5 - former dining room extension (1922-1924) - looking southwest.



Figure 82: Room 4 - looking east towards c.1925-1928 wall. Source: Alfasi Property Group, photographic survey for P37853, 2024.



Figure 83: Room 3 - c.1942-1950 office addition - looking north.

The proposal also seeks to demolish non-original, lightweight stud walls that were installed after the late 1980's when the place was registered. Advice was sought during the pre-application process about whether the walls were constructed as part of a previous permit condition. The HV officer confirmed that no previous permit for interpretation or a management plan exists. Accordingly, demolition of the lightweight walls is supportable under the general exemptions.

The only two non-contributory walls that align with historic walls include:

- part of the decorative glazed timber panelling on the ground floor in room 10; and
- the north and east walls of room 18 on the first floor, which may align with an earlier office.

The impact of removing these walls is minor, particularly given the removed context of surrounding office structures such as:

- the cabinetry associated with the decorative glazing that adorned the original entrance

- the adjoining decoratively glazed, half height partition wall that likely created a corridor to the boardroom from lobby 1 and the offices.
- the now demolished west and north walls depicted on the first floor in Figure 27.

Some of the decorative partition walls in the main lobby are proposed to be relocated to the western side of the former boardroom, with timber panelling below. The proposal would recreate a wall where recently demolished. The re-use of the decorative partitions in this zone is an acceptable, temporary conservation measure that will reinstate the boardroom to an enclosed space - an important element for understanding the significance of this area. There is enough documentary evidence obtained and recorded to understand that this wall is not original, leaving the option for restoration in the future.

The proposal seeks to relocate 6-panelled timber doors from rooms 3 and 5 on the ground level. Unless the ED is aware of original boardroom doors having been securely stored, it is recommended that the doors from rooms 3 and 5 be relocated to the western wall of the proposed members lounge, as they are closer in design to the original doors than the glazed ones extant in the decorative partition wall.



Figure 84: Photograph of the boardroom, taken in the 1920s, showing original western wall. Source: Australia: Various Photographs of Empire Works, Showing Workers, Processes, Facilities, 1920s, NLA, D/B/BRY/3/2.



Figure 85: Western wall of former Boardroom in 2024. Source: Alfasi Property Group, photographic survey for P37853, 2024.



Figure 86: Decorative partition walls as extant.



Figure 87: Extract from application documents showing proposed reinstated western wall of former boardroom.

Whilst not original, timber wall panelling on lightweight partition walls will be retained for re-use throughout the building, and where required new panels will be manufactured to match existing (see proposed wall covering plans on A01.009 and A01.010 of the application documents). Whilst an existing condition, there is no evidence that office walls were timber panelled beyond the boardroom. The only historic images sourced, and the 1922 specification - depict paper dado walls with painted walls above in most offices. Nevertheless, the timber panelled walls is a harmless interpretation strategy that is easily reversed in the future if a more pointed conservation effort is required.

The proposal only seeks to remove later floor finishes which mostly relate to carpet tiles and contemporary tiles in bathrooms. None of the floor finishes proposed to be removed are original or early fabric. Where extant, timber flooring (early or late) is to be retained. Skirtings and architraves are to be retained and matched throughout.

None of the existing ceilings appear to be original or early fabric. The proposed works will 'make good' ceilings and add decorative moulds in keeping with the character of the building.

5.2. Alterations

At ground floor the proposal seeks to:

- Convert parts of rooms 3 and 5 into bathrooms (former dining room and offices)
- Convert parts of rooms 7 and 8 into a kitchen and storerooms (former offices and possibly bathrooms)
- Retain the southern entrance lobby as a foyer
- Create lounge spaces and a bar in room 10 (former offices) and a members lounge in room 11 (former boardroom)
- Convert the former garage into a retail space to the east (street facing) and recreational areas to the west (rear).

At level 1 the proposal seeks to:

- Install a bar, lounge and recreational area to the east
- Recreation bays to the west; and
- Bathrooms in the centre behind the stairs.

The proposed lift location was approved as part of the previous permit, and the existing staircase will be conserved and utilised.

All existing walls, floors and especially ceilings throughout the building have been significantly altered in previous fit outs and no evidence of early or original ceilings have been identified.

All new walls will be lightweight and removable in the future without damaging significant fabric. Where possible existing services (such as plumbing) will be utilised, and mechanical services will be run through ceilings, for both conservation and practical reasons. Where new services are required, intervention will be kept to a minimum and undertaken with caution.

All proposed bathroom and kitchen windows (WG-04, WG-05, WG-07, WG-08, WG-09 and WG-10 on the ground floor; and WF-21 and WF-22 on the first floor) will receive a removable opaque privacy film. The biggest impact would be to windows WG-04, WG-05 and WG-07 which are public realm (south and west) facing windows. However, the opaque film will not have any more visual impact than internal window furnishing. As per existing conditions, the reflective glass in these windows will simply

reflect the surrounding industrial complex and the opaque film will have limited impact on the external appearance of the building.

Whilst an internal wall is proposed across half of WG-08, and across both WG-09 and WG-10, these windows face out to a utility / bin storage area. The wall in front of WG-09 and WG-10 is also an existing condition.



Figure 88: Subject site as seen from the northwest showing affected windows. Note that existing window between WG-22 and WG-08 has been approved under previous permit for conversion into door.



Figure 89: Subject site as seen from the west showing affected windows.



Figure 90: Subject site as seen from the south showing affected window.

Together with the works approved in the previous permit, the proposed fitout will enhance the presentation of the former garage area which has been subject to extensive unsympathetic alterations in previous fit outs.

5.3. Summary

As evidenced by the finishes schedules and artist's impressions provided in the application documents, the proposal seeks to install sympathetic fixtures, finishes and joinery that complement the early Edwardian and inter-war character of the place. Timber wall panels will be retained and reinstated in some areas with painted walls above; floors will be refinished with parquet flooring, terrazzo floor tiles, and new carpet; and walls and ceilings repaired, repainted and finished with sympathetic moulds.

Whilst not reconstruction based on evidence, the proposed sympathetic interpretations of original or early spaces will be respectful of the cultural heritage significance of the Administration Building, providing a new opportunity to activate the site for another generation to enjoy.

As with any fitout, the proposed works to the bathroom and kitchen areas will have the biggest impact on the fabric. However, given the significant amount of change already experienced within the building - especially to existing floors, walls and ceilings, the proposed bathrooms and kitchen areas will have limited impact on the structural fabric. All other lightweight partition walls and finishes, including the opaque film on windows, can be installed and removed in the future without harming the cultural heritage significance of the place.

6. Impact on the cultural heritage significance of the registered place

In making a determination under subsection (1) of the *Heritage Act 2017*, the Executive Director of Heritage Victoria (the ED) must consider, along with other considerations, the following:

- the extent to which the application, if approved, would affect the cultural heritage significance of the registered place or registered object.

If the ED refuses an application on grounds that the proposed works would unacceptably affect the cultural heritage significance of the registered place, then the ED must also consider:

- the extent to which the application, if refused, would affect the reasonable or economic use of the registered place or registered object.

6.1. Effect of the proposed works on the cultural heritage significance of the registered place

The Statement of Significance for H0626 - Bryant and May Industrial Complex states:

- The former Bryant and May Industrial Complex is of *historical, architectural and social significance* to the State of Victoria.

Impact on historical significance

The former Administration Building is a significant building within the complex which demonstrates through its built form numerous phases of development that co-occurred at the subject site with the development of the broader complex - but most importantly, during the early 20th century. The phases of development between 1909 and 1950 are of *primary* significance, and the phase up to 1987 (when Bryant & May ceased manufacturing at the site) is of *secondary* significance.

The proposal includes minor demolition of walls associated with the primary historical significance of the place. However, the demolition relates to the relocation of door openings and would maintain the original wall alignment, allowing continued interpretation of the early layout. It is also noted that prior

to this application there was no (known) available evidence of the early layout, but in seeking to ensure a sensitive approach, the applicant has invested significantly in identifying the primary phases of development and associated fabric. In direct response to receiving this information the applicant has designed, and altered when advised, the proposal to ensure the proposed works not only conserve but enhance the historical significance of the place.

Impact on architectural significance

The architectural significance of the subject site relates primarily to the building's external Edwardian character, the design of which originated with William Pitt, before being extended and altered numerous times - including going from single to double storey c.1934, in complementary forms. Internally, the Administration Building retains the original 1922 Boardroom fireplace and timber wall panelling, the 1935 central staircase, and timber fenestration throughout. Documentary evidence identifies early twentieth-century fabric and finishes; however, apart from the elements noted above, these features do not appear to survive.

The proposed works would not have any adverse impact on the architectural significance of the place. The proposed fitout, whilst contemporary, has been influenced by Edwardian and inter-war features of the subject site, and interpretive elements such as timber wall panelling, terrazzo floor tiles, and the reuse of the glazed partitions is incorporated throughout. The only works that may be visible externally would be the temporary opaque film applied to to eight (8) windows, five (5) of which would be facing a utility waste area at the rear. The impact on the other three windows would be no greater than internal window furnishing and as the film would be applied internally, the glass would continue to reflect the industrial surroundings.

Impact on social significance

The former Bryant and May Industrial Complex has social significance to the State of Victoria as an important long-term feature of the Richmond and inner Melbourne landscape. Initially important as a large employer in working class Richmond, over the years the site has also become a prominent landmark. The proposal seeks to repurpose the Administration Building for use as a recreation and entertainment venue for Richmond residents and Victorians more broadly. The proposed use represents a positive adaptation that will activate the site, draw locals within the Bryant and May Complex and provide opportunities to enjoy and engage with the cultural heritage aspects of the site. In this regard the application would have no adverse impact on the social significance of the site.

7. Conclusion

The proposed Pitch Golf fitout for the Administration Building, located within the former Bryant and May Industrial Complex, represents a sympathetic opportunity to reactive the site. With little information available, the applicant has invested in researching the historical development of the site and has designed their proposal accordingly.

Internally the Administration Building has previously been subjected to extensive changes and what historic fabric is known to be extant will be conserved and protected. In fact, the proposal seeks to retain a significant amount of extant, resulting in a relatively 'light touch' approach. Removal of original fabric is limited to the relocation of door openings, with walls above retained and filled in to maintain the alignment of original walls. Where required mechanical and plumbing services will utilise existing infrastructure or will only require minor penetrations into already significantly altered fabric.

The overall fitout has been designed around the early Edwardian and inter-war character of the place, including the incorporation of existing interpretive materials. All works are reversible and could be removed in the future without damaging significant fabric, thereby preserving the opportunity for future restoration or reconstruction if additional evidence of original features is found.

The proposed Pitch Golf fitout represents a sympathetic and thoughtful approach to adaptive re-use of the former Administration Building - one that would conserve and enhance the cultural heritage significance of the site. Approval of the application is recommended.

- END OF REPORT -