

M E M O

To: Ann Gove Heritage Officer (Permits), Heritage Victoria.
 ann.gove@transport.vic.gov.au

Re: Permit Application P41725 -RFI
 328 – 330 King Street Melbourne. Former Shop and Residence H0465
 RFI response

Date: 9 June 2026

Attached: Drawings Set H00 to H13, dated 090626, MTA&H
 Preliminary structural design, Sheerforce
 Archaeological monitoring advice update, Archlink 3 June 2026
 Written advice/email from Tony Tai, TT Global 29 April 2026, addressing s101(2)(b) of the Act regarding reasonable and economic use of the heritage place

Copy: Yan Qiu, yanxqiu@outlook.com
 Rod Skeggs, Jones RE. rod.skeggs@jonesre.com.au
 Tont Tai, TT Global, tonytai@ttglobal.com.au

Dear Ann,

thanks for HV's RFI dated 16 April 2026, responses are schedule below and information is attached.

RFI dot point no.	Response	Other/Attachment
<i>1.0-Please confirm whether any conservation works are proposed for the existing stairs.</i>	Confirming conservation works are proposed for the existing stair, there have been no works to the stair as part of the Stage 1 Structural stabilisation project.	Refer sheet H08 MTA&H (attached)
<i>2.0-Room 4 is proposed to be repurposed as amenities, including an ambulant toilet, a standard toilet, and a basin to meet building compliance requirements. Clarification is requested as to whether this area requires conservation works, including any new subfloor structure.</i>	It is anticipated that Room 4 will require requires introduction new and supplementary framing roof, wall and floor framing, corrugated roof and wall claddings, flashings and downpipe. It is recommended that conservation works be scope and approved as a pre-commencement condition of permit.	

3.0 - Please confirm whether the toilet fit-out forms part of the current scope of works and provide details of all proposed changes within this room and any conservation works.	The toilet fit out is proposed as part of the Stage 2 application P 41725. Structural conservation works to timber framing is noted above. The internal floors walls and ceilings are expected to require new resilient linings and coved skirtings to meet current standard for water proofing in buildings and MCC cleaning codes for commercial premises.	
Dot point 4.0-Further documentation is required to support assessment of the proposal, including: 4.1 Preliminary structural drawings	Preliminary design for new stair and landing is attached. Structural design for and room 4 roof wall and floor framing to be carried out as investigative works under a permit condition.	Refer attached preliminary design for stair and landing by Sheerforce engineers
4.2 Details of any air conditioning impacts	Wall mounted inverter ac units are proposed with: condensers located externally on the proposed landing, surface mounted mech pipe work and with top hat covers, condensate drains to sewer.	Refer drawings H09 & H10, Elec and mech services
4.3 Dimensioned plans and elevations		See attached dwg set H03 to H07 MTA&H 090626.
4.4 Preliminary civil drawings		See attached dwg H13 MTA&H 90626
4.5 A scope of Conservation Works		Refer scope if stair conservation works drawing H08, MT&AH.
4.6 Landscaping Works		Refer: H04 brick paving and fence plan H08 fence elevations.
5.0 It is recommended that the replacement fence be more sympathetic to the character of the building, such as a timber paling fence or a mini orb (ripple iron) style fence. You may	A plain, contemporary style metal picket palisade fence is proposed as traditional fence typology which addresses contemporary security, safety and operational/ maintenance considerations, namely:	

<p>wish to address this in your response.</p>	<ul style="list-style-type: none"> • Surveillance- clear visual surveillance from rear areas at this site which has been broken into, damaged many times. • Safety and OH&S- for staff, patron and visitors to have clear line of sight between the rear open area and Eagle Lane. • Maintenance and cleaning- The palisade fence offers little to no opportunity/real estate for illegal bill posters or graffiti which has been a persistent maintenance problem at this corner site. 	
<p><i>6.0 An Historical Archaeology Assessment should be undertaken at this stage by a suitably qualified historical archaeologist to form part of the application documentation. This assessment should determine whether the proposed new stair, stormwater and drainage works, or any other subsurface works have the potential to impact historical archaeological remains. It should also provide recommendations for any further investigation and/or monitoring that may be required.</i></p>	<p>A HAA has been previously prepared by Archlink. The HAA and proposed Stage 2 scope has been reviewed by Sarah Myers, Archlink, written advice is attached.</p>	<p>See attached advice, Archlink 3 June 2026.</p>
<p><i>7- Your application has limited information addressing s101(2)(b) of the Act regarding reasonable and economic use of the heritage place. It is a mandatory requirement for the Executive Director to consider the extent to which the application, if refused, would affect the reasonable or economic use of the registered place.</i></p>	<p>Please refer attached advice from Tony Tai, Director, TT Global regarding economic and reasonable use.</p> <p>New stair- a new compliant stair is required to meet the NCC, relevant Australian standards and legal Duty of Care standards for any non-private residential use.</p> <p>The original and current stair doesn't comply with any contemporary statutory requirements.</p>	<p>Refer attached advice from Tony Tai, TT Global.</p> <p>Refer figures 5 & 6 In HIS 2 April 2026.</p>

<p><i>You may wish to provide information to assist with this consideration. If you do not wish to provide further information regarding reasonable or economic use, you must advise of this in your response to this request.</i></p> <p><i>In particular it would be useful to understand why the works proposed in the removal of window W14 and the introduction of new external stairs are necessary to meet relevant codes for commercial occupation of the place, and how they are the least impactful option for achieving that.</i></p>	<p>A new external stair is proposed as the least impactful on the building's internal fabric and interior spaces, please refer figures 5 and 6 in the application HIS which includes two schematic layouts for internal stairs. The schematics show an internal stair is highly obtrusive in the floor space, functionality and appearance of rooms across both level.</p> <p>Window W14 is not being removed, the opening is being adapted for use as a door providing internal access via the proposed staircase. The proposed adaptation doesn't prevent reinstatement of W14 to current detail in the future.</p>	
<p>End of table</p>		

Please contact me if you have any queries or require additional information.

Yours sincerely



Michael Taylor
 Director MTA&H
 Heritage Adviser, Architect ARBV Reg No. 14847

Heritage Victoria

3 June 2026

RE: Update and Addendum to the Archaeology Assessment for 328-330 King Street, Melbourne from 2024

To whom it concerns,

This letter is provided as an update and addendum to the archaeology assessment report provided to Heritage Victoria in January 2024 regarding proposed works to 328-330 King Street, Melbourne.

The site is currently subject to Stage 1 stabilization works responding to a "Show Cause" order under the Heritage Act Section 154. I understand that a Permit is now being sought for Stage 2 works involving the installation of toilets, sewer, fencing, paving and other details. The original recommendations and management plan included in the archaeology assessment report are still valid and appropriate and should continue to be followed for the Stage 2 works. The recommendations called for monitoring of all ground disturbing work.

Update: Archaeological monitoring was successfully undertaken (according to Recommendation 2) for the tree removal work in 2024 and a report provided to Heritage Victoria. Most recently, a site inspection was undertaken (according to Recommendation 3) to assess underfloor sediments and artefacts that had been exposed by the builders during Stage 1 stabilisation works inside the building. A discussion was held with Jeremy Smith from Heritage Victoria on appropriate actions to take in response to the finds - a letter report to Heritage Victoria is in preparation. Unfortunately, ground disturbing work associated with stabilization work on the western and southern footings bordering Rooms 1 and 2 was not monitored as the requirement for this was overlooked in that instance.

Addendum: Given the presence of archaeological deposits, albeit disturbed, have been demonstrated during Stage 1 works, further specific recommendations are deemed appropriate for the Stage 2 works.

Recommendation 4: *Given that the proposed Stage 2 works within Room 4 are likely to disturb the ground beneath the floor and there is the potential for an underfloor deposit to be present, the following recommendation must be followed;*

Prior to the works in Room 4, there must be a preliminary archaeology investigation of the ground under the flooring of Room 4 by a suitably qualified archaeologist. Flooring materials may first be removed by the builder, but no disturbance is allowed to any loose or compact deposits that are exposed beneath until the archaeologist has investigated. If an underfloor deposit is present, an archaeology excavation must be undertaken to the depth of that deposit or the impact of works, whichever comes first.

Recommendation 5: *Given that the proposed Stage 2 sewer and stormwater drainage works within the external areas of the property are likely to cause considerable ground disturbance and that there is the potential for 19th century pavements, surfaces, subsurface refuse pits and cesspits to be exposed within the footprint of the property, these works must be monitored by a suitably qualified archaeologist. If significant features are exposed during the monitoring, the archaeologist must be given adequate time to consult Heritage Victoria and to investigate and excavate the feature if required.*

Kind regards,



FOUNDER & CEO



ArchLink

Archaeologists and Heritage Advisors

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archlink.com.au
ABN: 89 162 024 811

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(Email from Tony Tai, TT Global 29 April 2026, addressing s101(2)(b) of the Act regarding reasonable and economic use of the heritage place)

Dear Michael,

RE : 328-330 KING STREET MELBOURNE

We are delighted to see that the restoration of the above Premises is finally coming along and the end is in sight.

In reference to the proposed Stage 2 works, which includes external stairs from rear court yard to upper floor and new toilets in the courtyard, we have the following comments:

Upon completion of the restoration, the Owner plans to lease the property out to prospective new Tenants. Our opinion is that the best and highest use, and most interest, will be from the Food and Beverage sector;

- As the footprint of the Premises is quite small already, it is imperative that the Net Lettable Area is maximised so as to achieve a commercially viable return for the Owner. To which the upper floor of the Premises must be usable and accessible by staff and patrons in a safe and unhindered manner;
- Our opinion is that the installation of the Stage 2 external stairs is imperative given that the current internal stairs is too steep, non-compliant and unsafe;
- Given the size of the restored Premises, we are also of the opinion that there needs to be a minimum of 2 toilets in order to provide a practical and desired ratio of toilets versus occupants for the Premises.

Please feel free to contact me at anytime for further information or assistance.

Yours Sincerely

TONY TAI

TT GLOBAL Pty Ltd

Level 8, 167 Queen Street

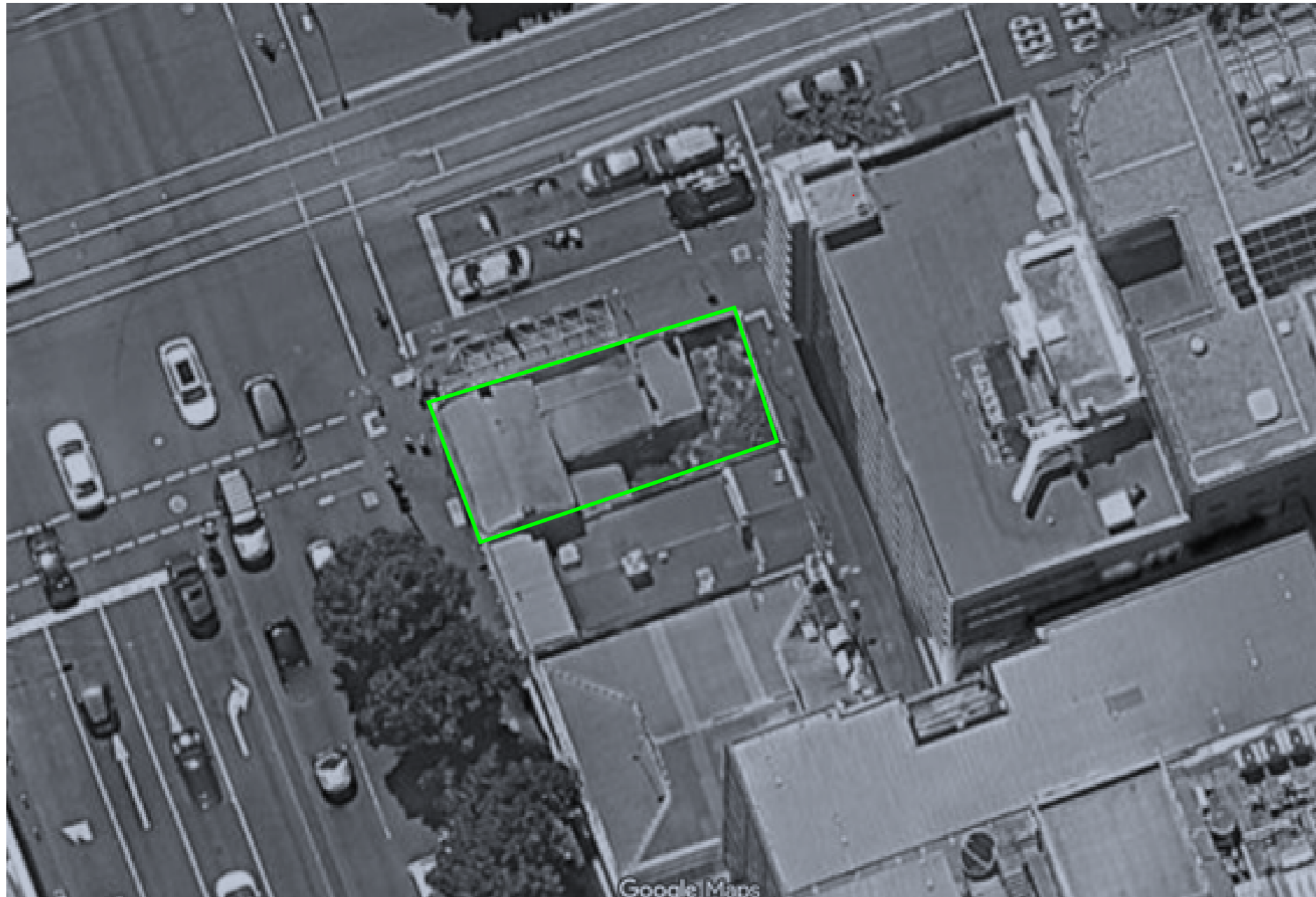
Melbourne Vic 3000

M: 0418 333 081

E: tonytai@ttglobal.com.au

330 KING STREET ESTAGE 2

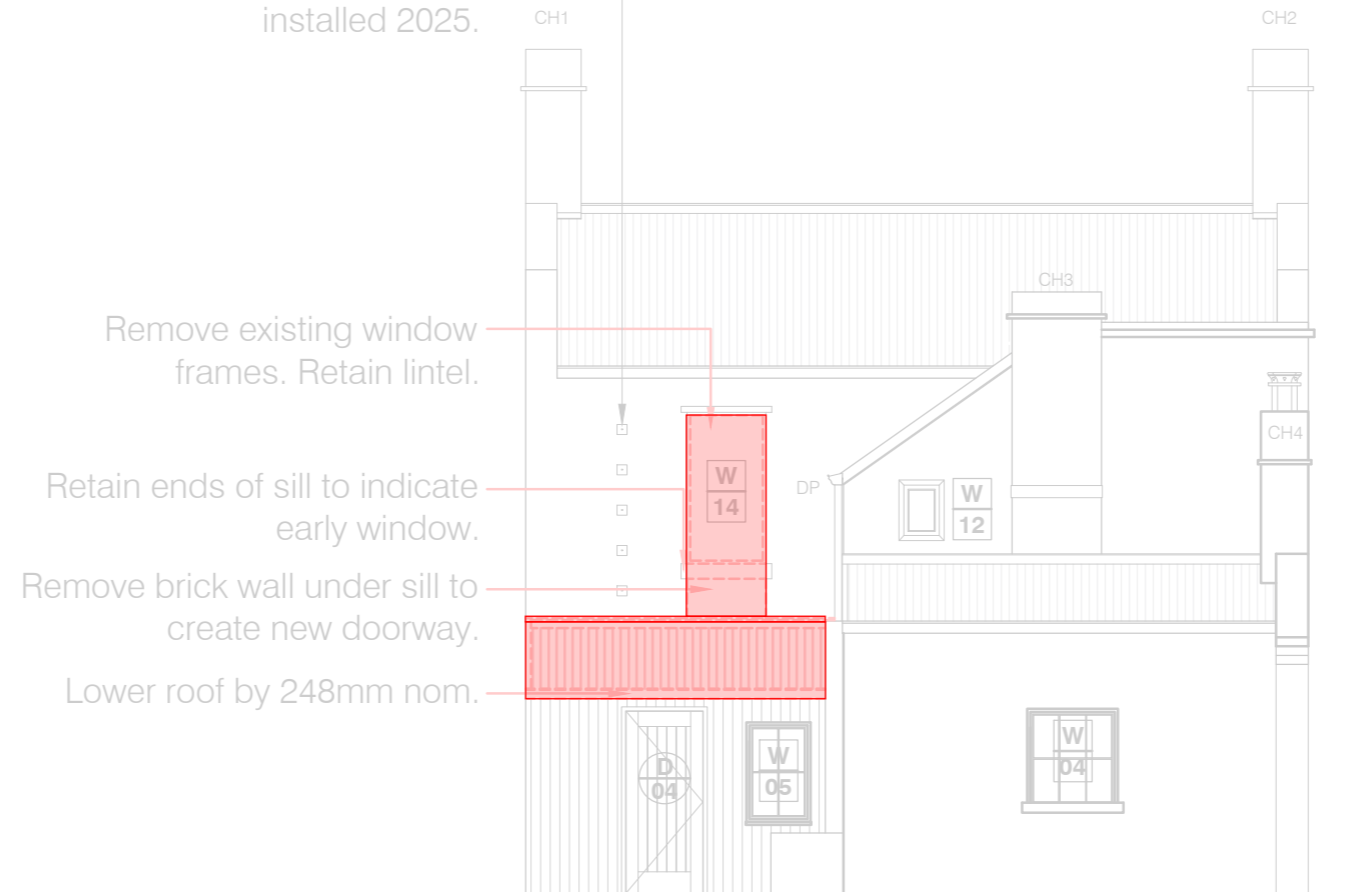
STRUCTURAL DRAWINGS



NO.	DRAWING TITLE
S-01	TITLE AND DRAWING INDEX
S-05	FIRST FLOOR DEMOLITION PLAN
S-06	EAST ELEVATION DEMOLITION PLAN
S-10	FOOTING PLAN
S-15	FIRST FLOOR FRAMING PLAN

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				 Level 6/114 Flinders Lane, Melbourne Victoria ABN: 92 665 743 251E: admin@SheerForceEng.com				330 KING STREET STAGE 2				TITLE AND DRAWING INDEX			
A	PRELIMINARY	22/05/26						Client	Sheet Size	Scale	Drawn	Checked	Project No.	Drawing No.	Revision
Rev.	Amendment	Date						MICHAEL TAYLOR A&H	A3	1:75	VC	QS	326119	S-01	A

Retain existing 'SP1' 100 x 5 MS tie installed 2025.



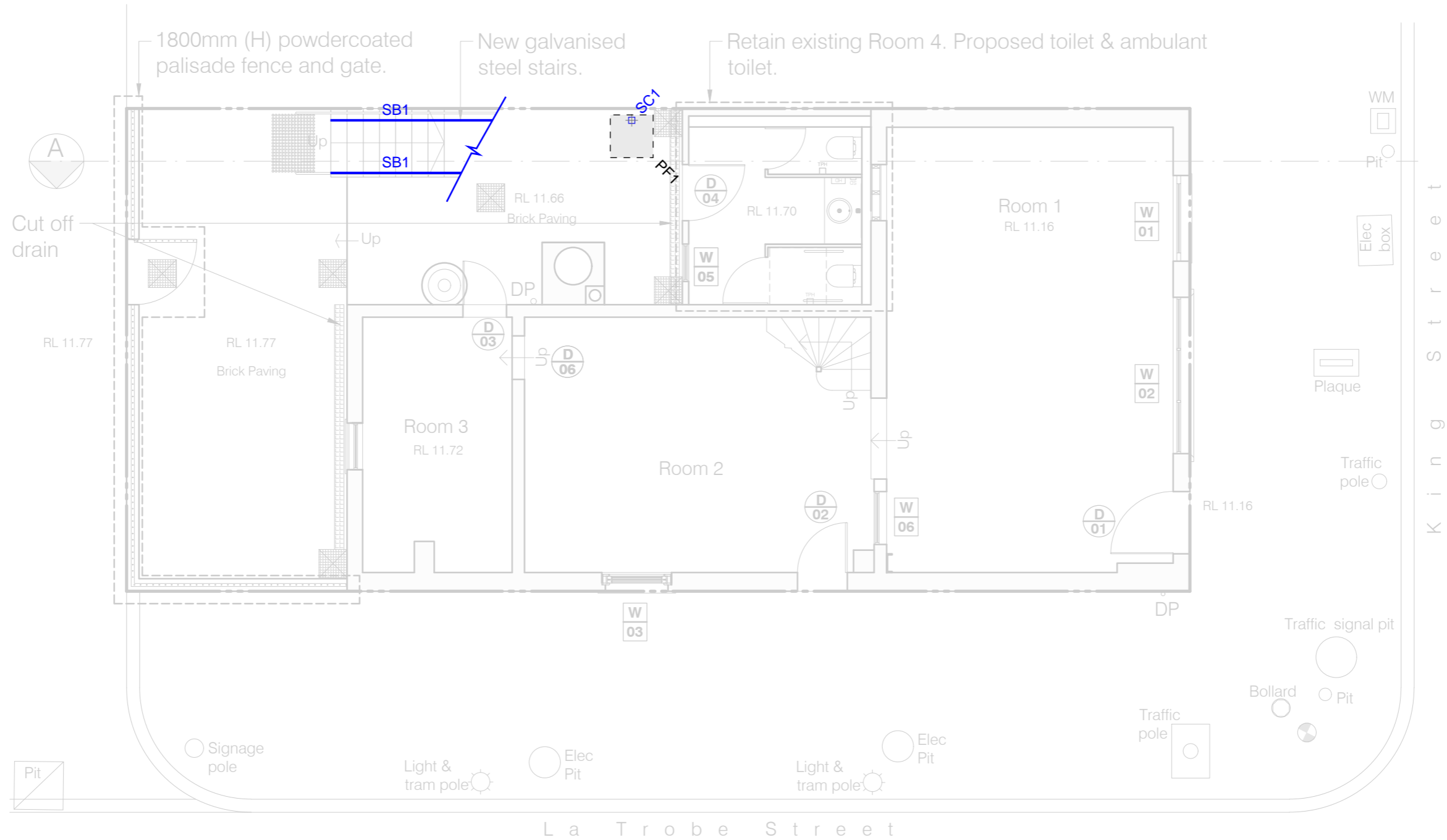
Remove existing window frames. Retain lintel.

Retain ends of sill to indicate early window.

Remove brick wall under sill to create new doorway.

Lower roof by 248mm nom.

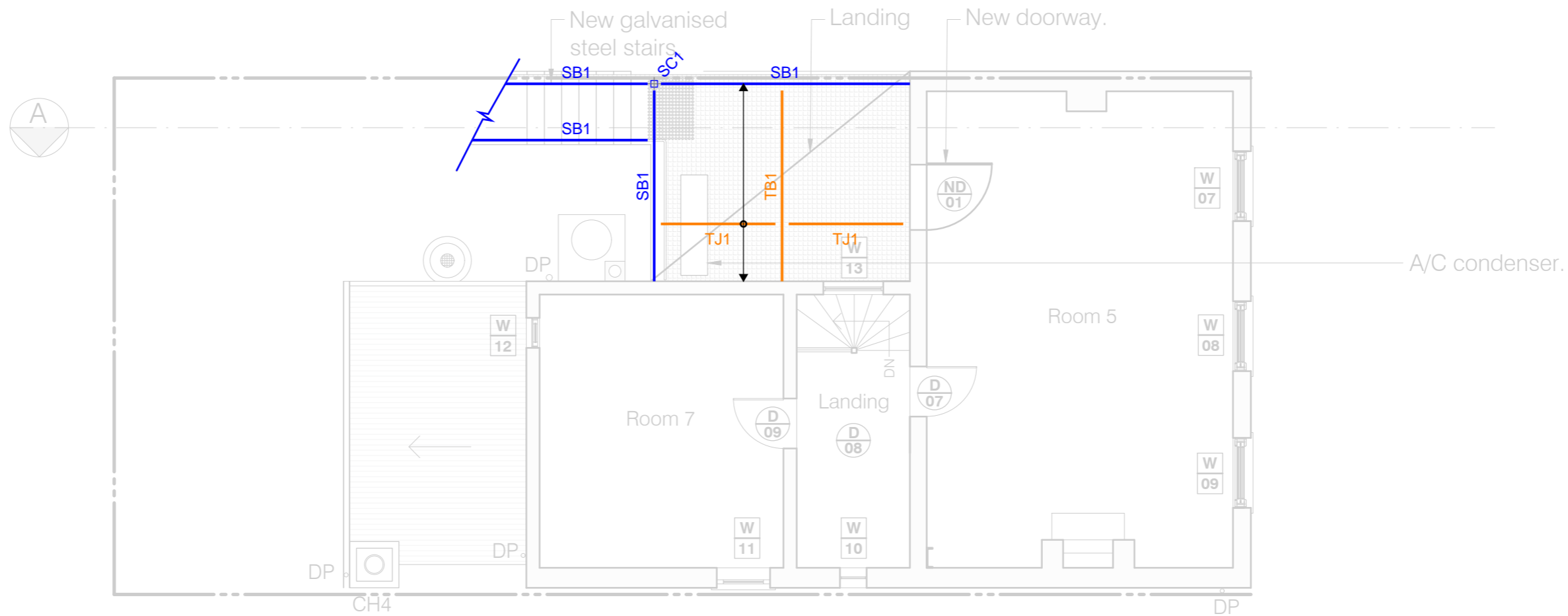
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Rev.	Amendment	Date		Client	Sheet Size	Scale	Drawn	Checked	Project No.	Drawing No.	Revision				
A	PRELIMINARY	22/05/26		MICHAEL TAYLOR A&H	A3	1:75	CC	QS	326119	S-06	A				



FOOTING SCHEDULE

TAG	SIZE	REINFORCEMENT	NOTES
PF1	600x600x300D	N12-250 E.W.	PAD FOOTING

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								330 KING STREET STAGE 2				FOOTING PLAN											
A PRELIMINARY		22/05/26						Level 6/114 Flinders Lane, Melbourne Victoria ABN: 92 665 743 251E: admin@SheerForceEng.com		Client		Sheet Size		Scale		Drawn		Checked		Project No.		Drawing No.	
Rev. Amendment		Date						MICHAEL TAYLOR A&H		A3		1:75		CC		QS		326119		S-10		A	



MEMBER SCHEDULE

TAG	SIZE	COMMENTS
TJ1	190x35 MGP10	TIMBER JOIST 450 CTS.
TB1	2/240x45 MGP10	TIMBER BEARER
SB1	150x75 PFC	STEEL BEAM
SC1	89x3.5 SHS	STEEL COLUMN

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Rev.	Amendment	Date	22/05/26	Client	MICHAEL TAYLOR A&H	Sheet Size	A3	Scale	1:75	Drawn	CC	Checked	QS	Project No.	326119	Drawing No.	S-15	Revision	A

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M E L B O U R N E

F i r s t F l o o r A c c e s s , A m e n i t i e s &
L a n d s c a p i n g P r o j e c t

H e r i t a g e A c t P e r m i t A p p l i c a t i o n
P 4 1 7 2 5 - R F I R e s p o n s e

D R A W I N G S C H E D U L E

No. Description

H00 Cover Page

H01 Demolition Ground Floor & First Floor Plan

H02 Demolition Roof Plan

H03 Demolition East Elevation

H04 Proposed Ground Floor & First Floor Plan

H05 Proposed Roof Plan

H06 Proposed North & East Elevation

H07 Proposed Section A

H08 Existing Stairs Conservation Works

H09 Services Layout Plan (Electrical & Mech Works) - Ground Floor

H10 Services Layout Plan (Electrical & Mech Works) - First Floor


H11 Services Layout Plan (Hydraulic Works) - Ground Floor

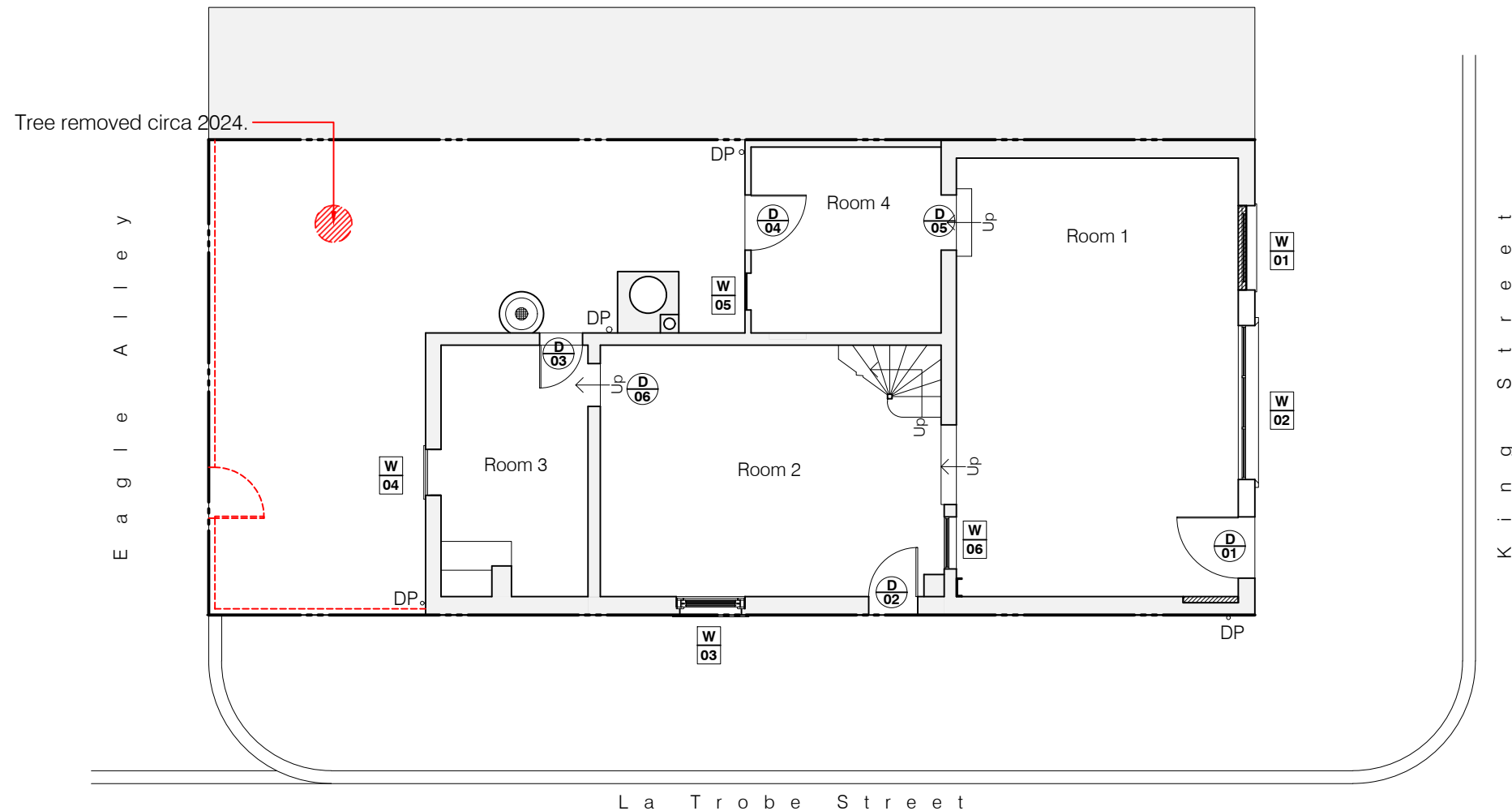
H12 Services Layout Plan (Hydraulic Works) - First Floor

H13 Civil Works Layout Plan

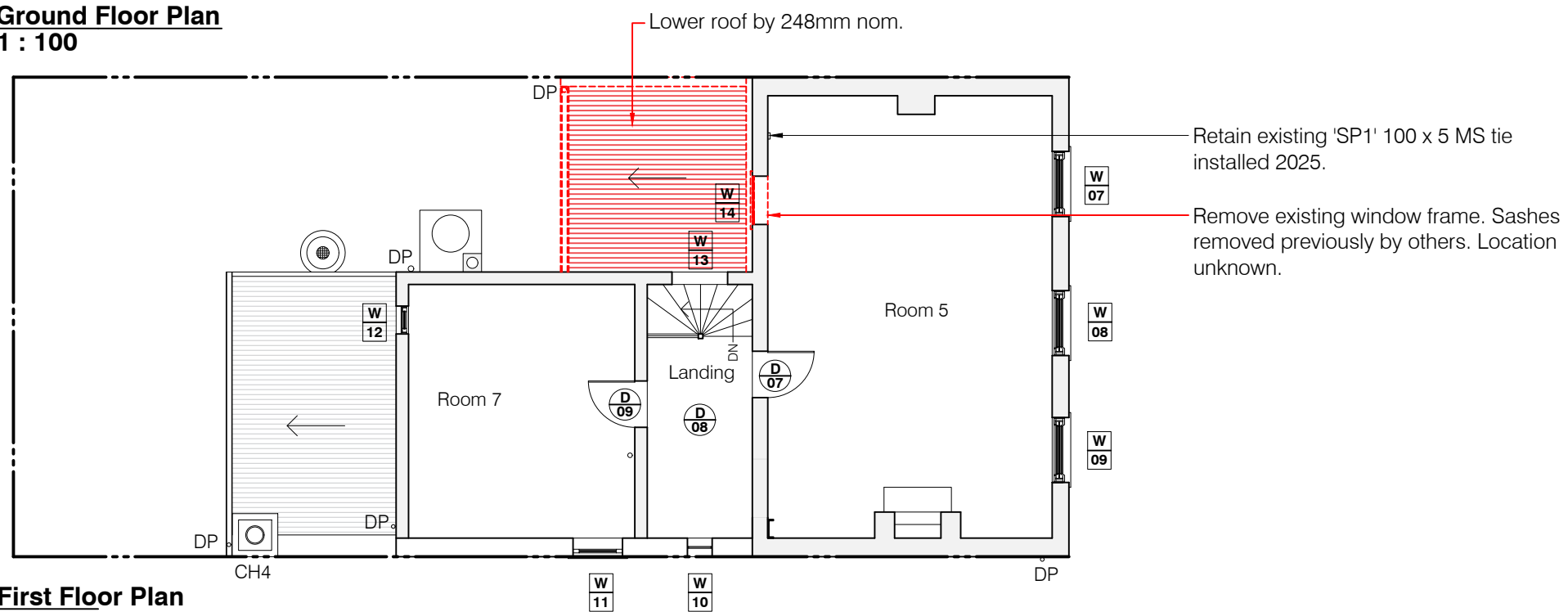


330 King Street Photo - November 2023

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01 Ground Floor Plan
01 1 : 100



01 First Floor Plan
01 1 : 100

MICHAEL TAYLOR
 ARCHITECTURE
 & HERITAGE

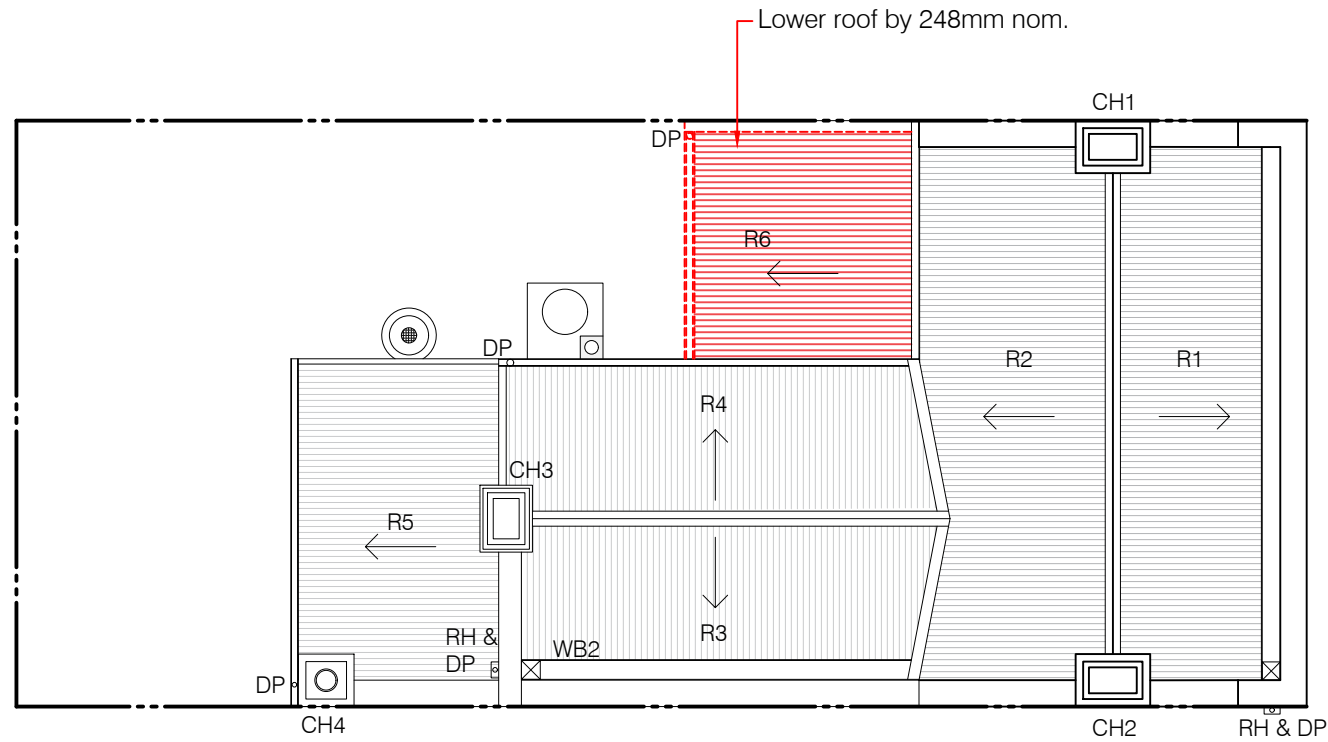
PROJECT
330 King Street Stage 2 Works
 LOCATION
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TITLE
Demolition Plans

NORTH

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DATE 09/06/2026
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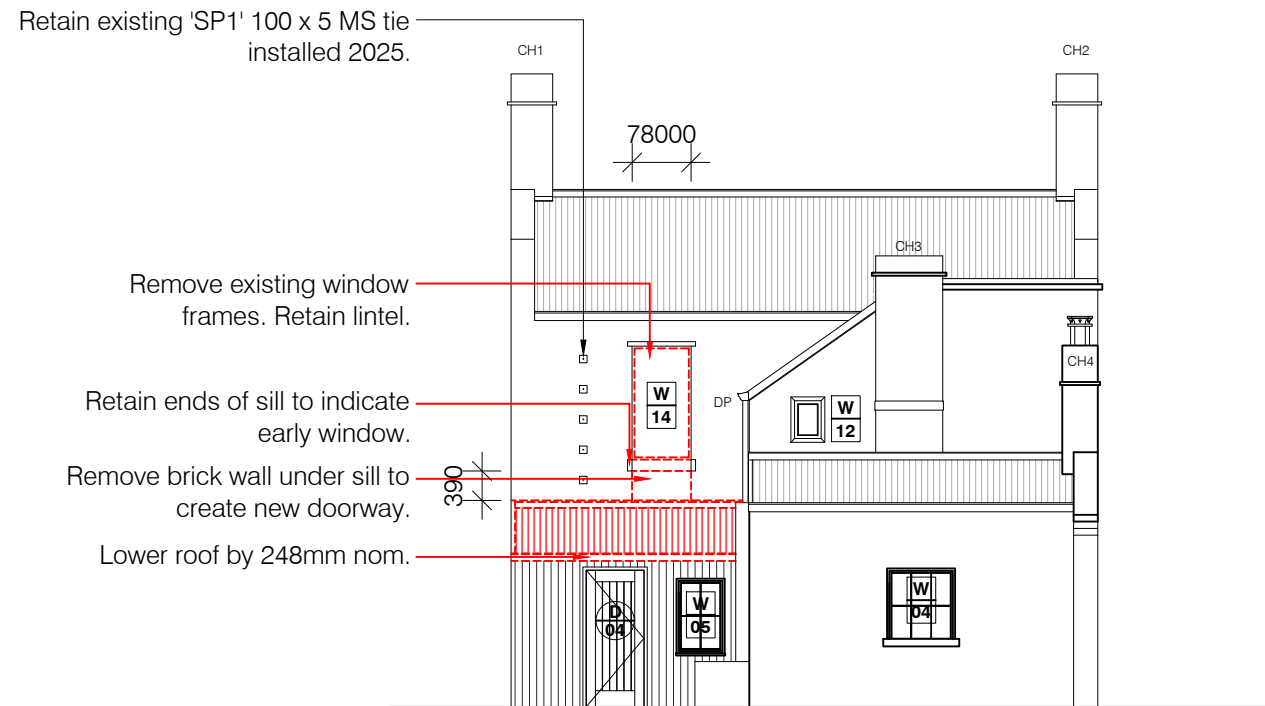


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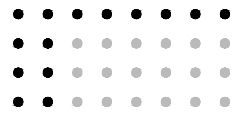

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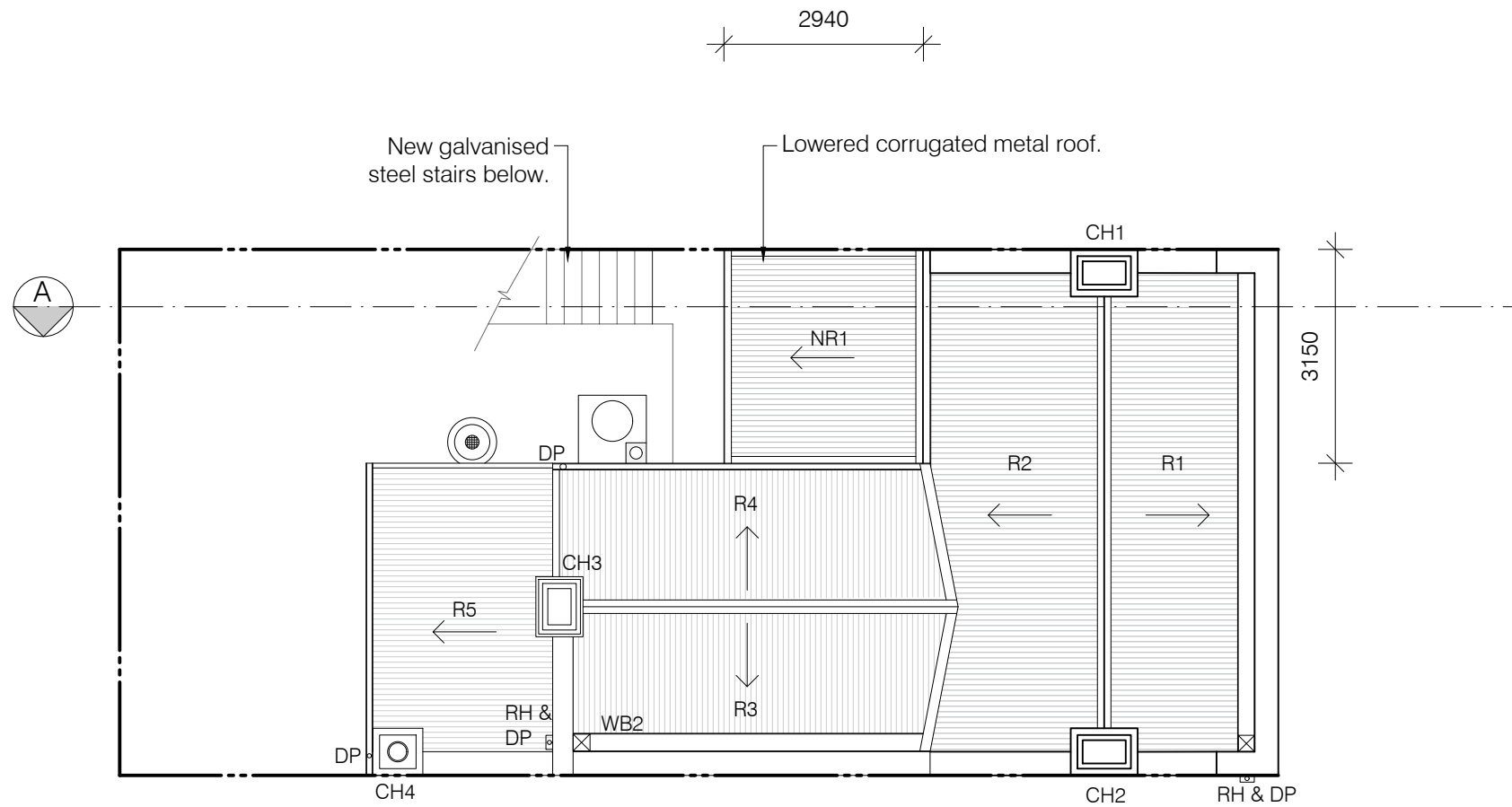
01 Roof Plan
02 1 : 100

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01 East Elevation
03 1 : 100

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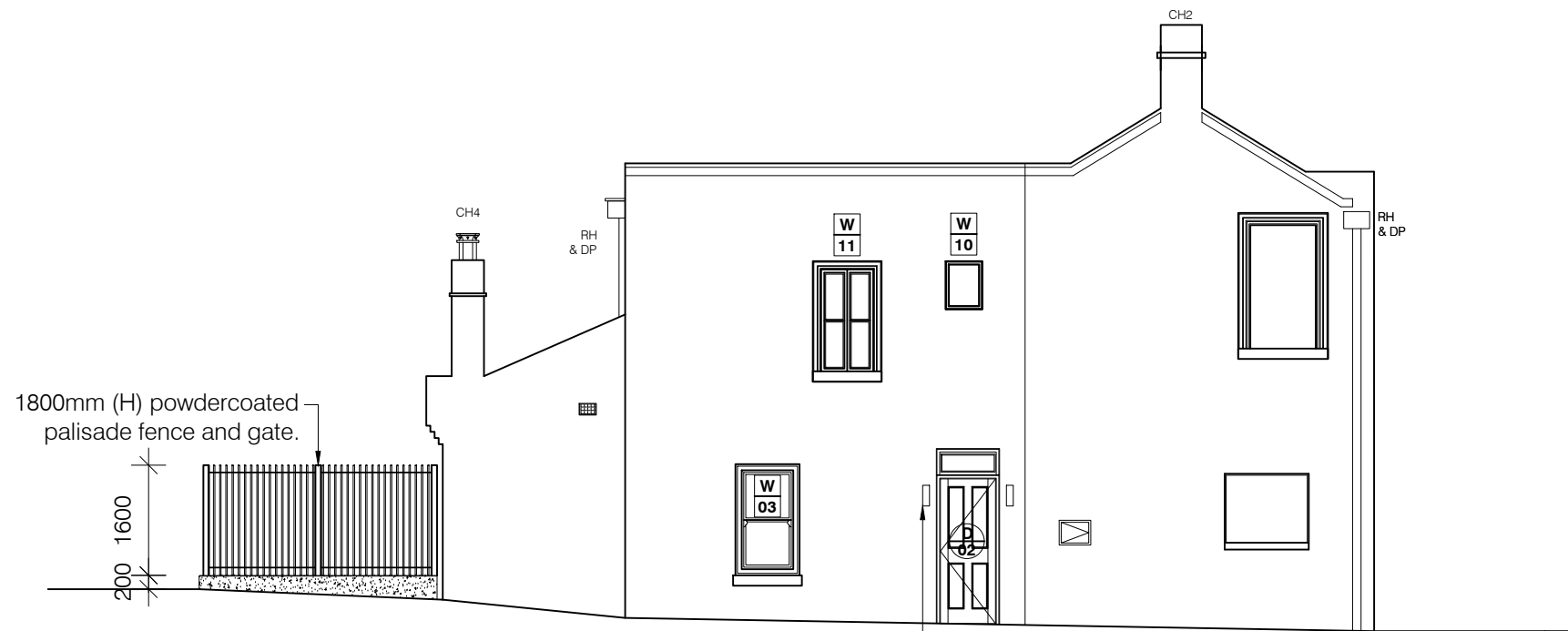


01 Roof Plan
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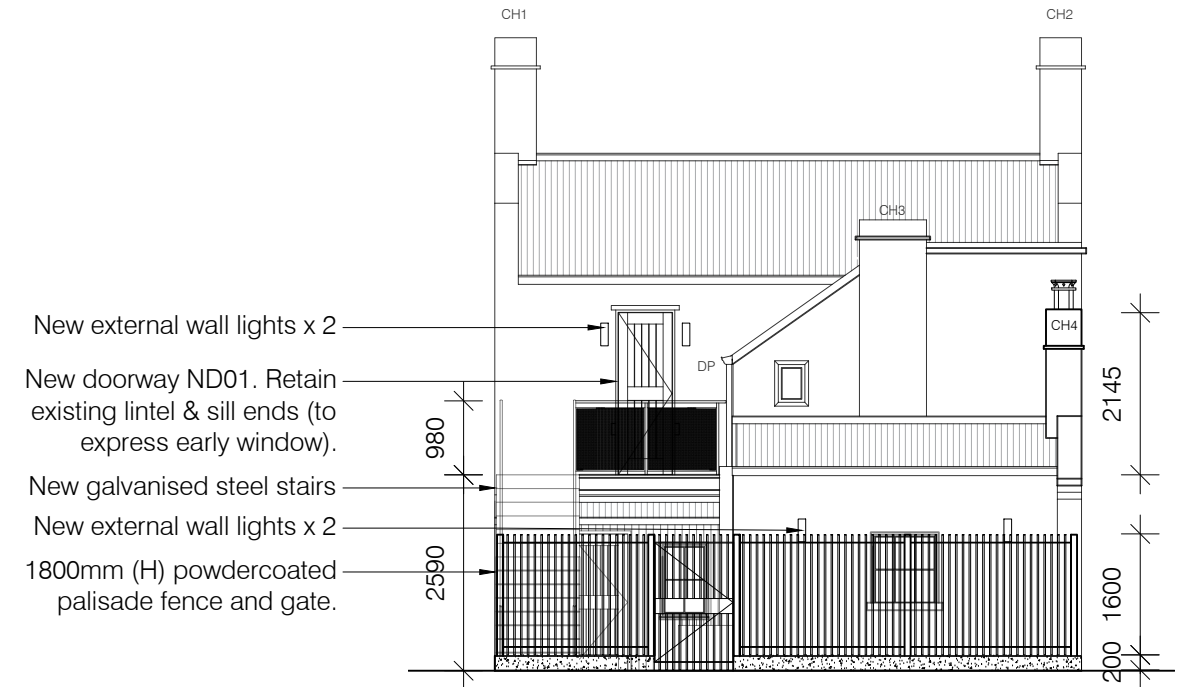
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01 West Elevation
06 1 : 100

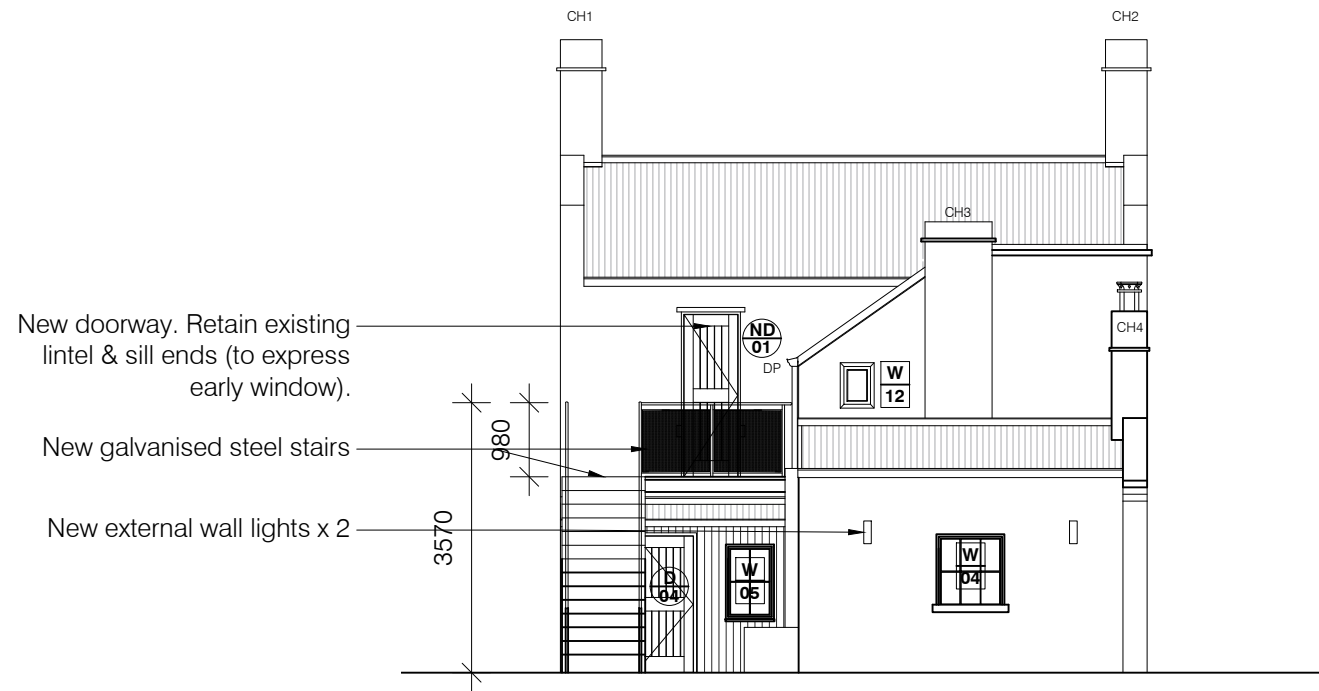


02 North Elevation
06 1 : 100

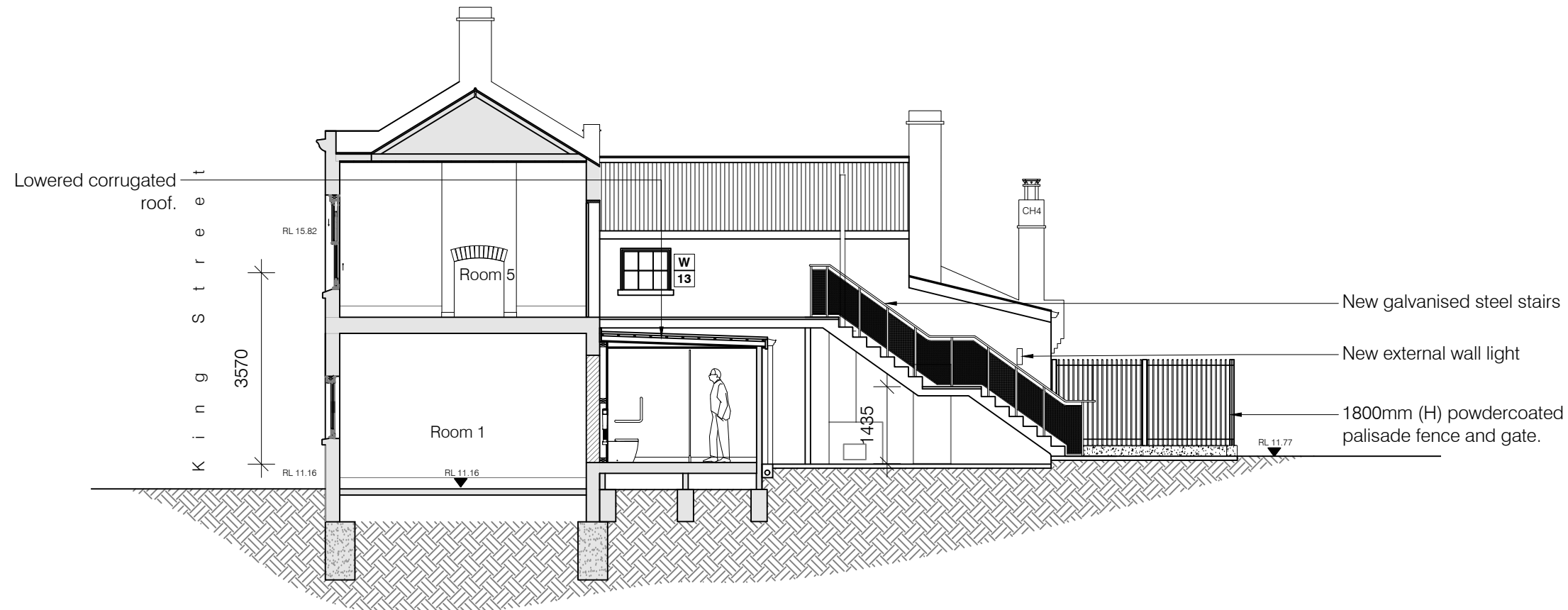


03 East Elevation
06 1 : 100

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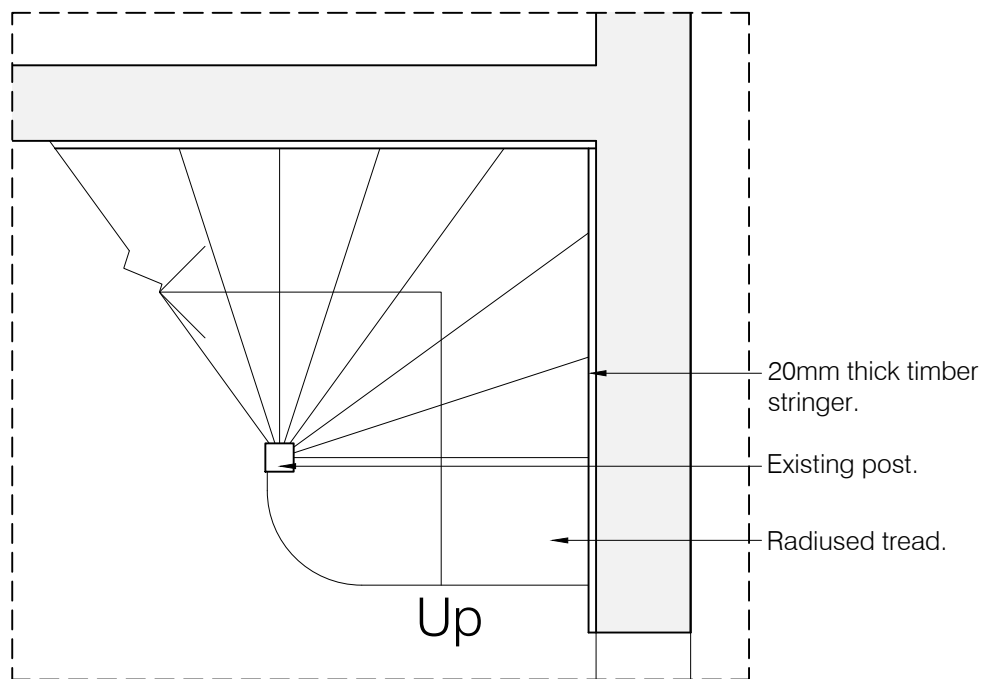


01 East Elevation
07 1 : 100

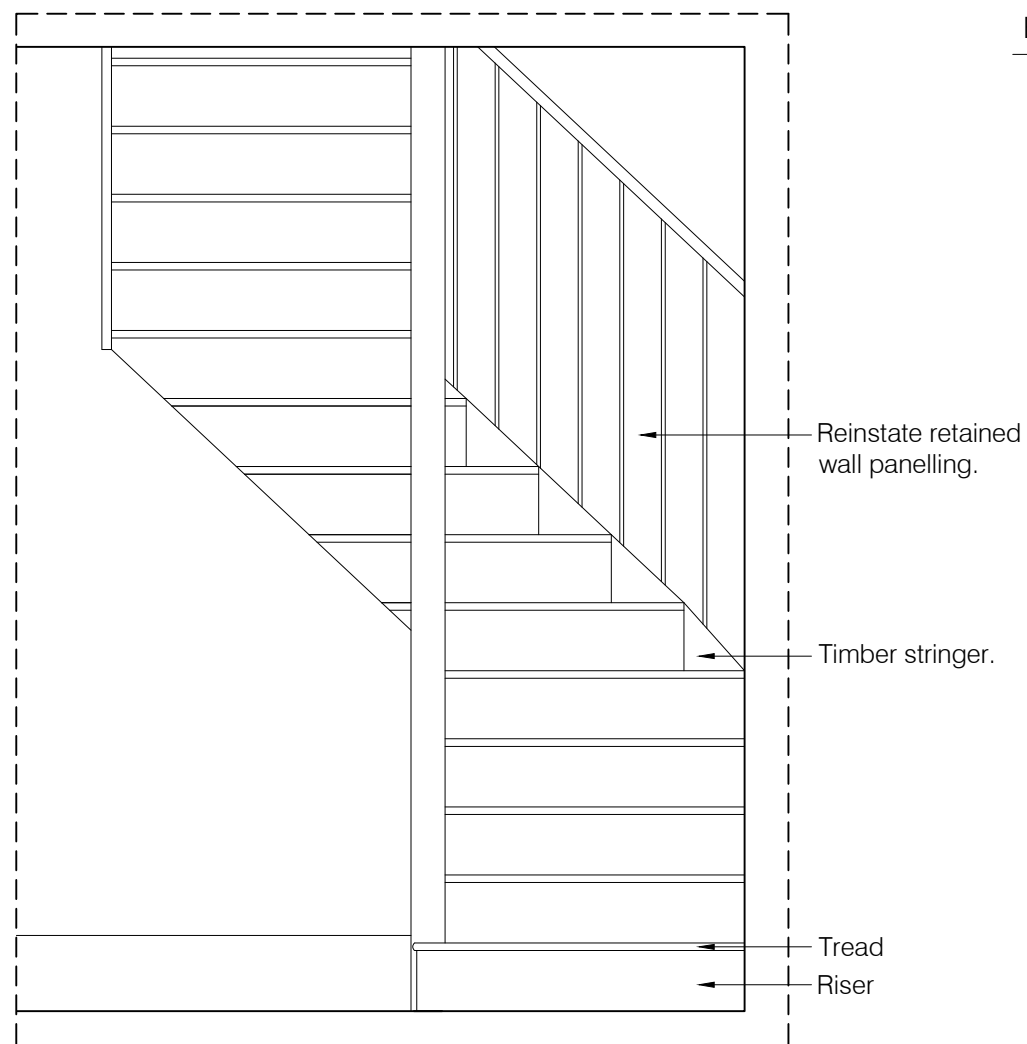


02 Section A
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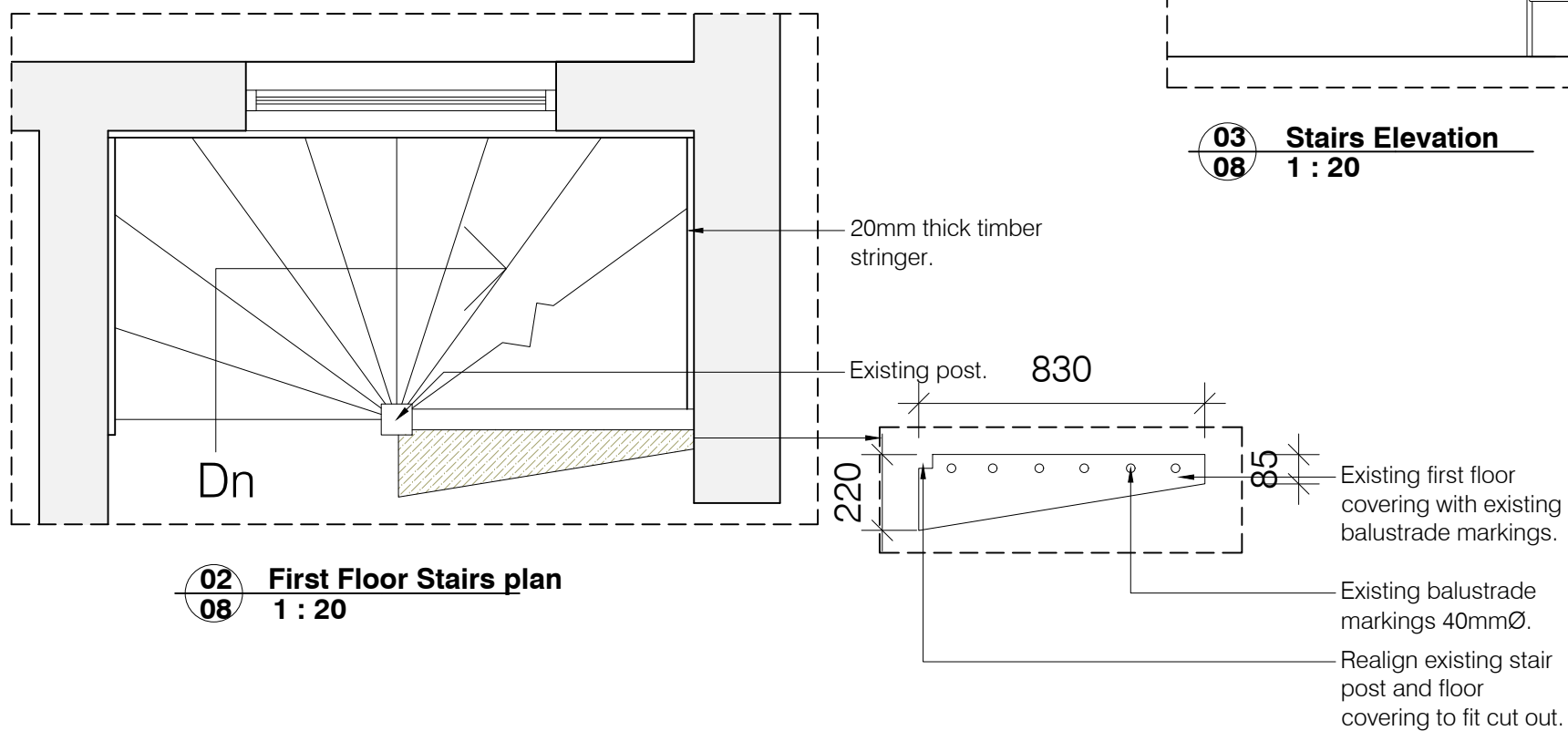
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01
08 **Ground Floor stairs plan**
1 : 20



03
08 **Stairs Elevation**
1 : 20



02
08 **First Floor Stairs plan**
1 : 20

Existing Stairs Conservation Scope

- 1) Remove flaky paint.
- 2) Realign existing stair post, treads and risers.
- 3) Reinstate existing wall panelling.
- 4) Prep and sand existing timber surfaces. Bog and fill where required. Sand all surfaces. Prep and paint.
- 5) Retain first floor existing timber floor covering with baluster markings.
- 6) Install new turn timber balusters (x 6) to match existing markings (40mm Ø) on first floor covering.
- 7) Install new KD timber handrail to first floor.

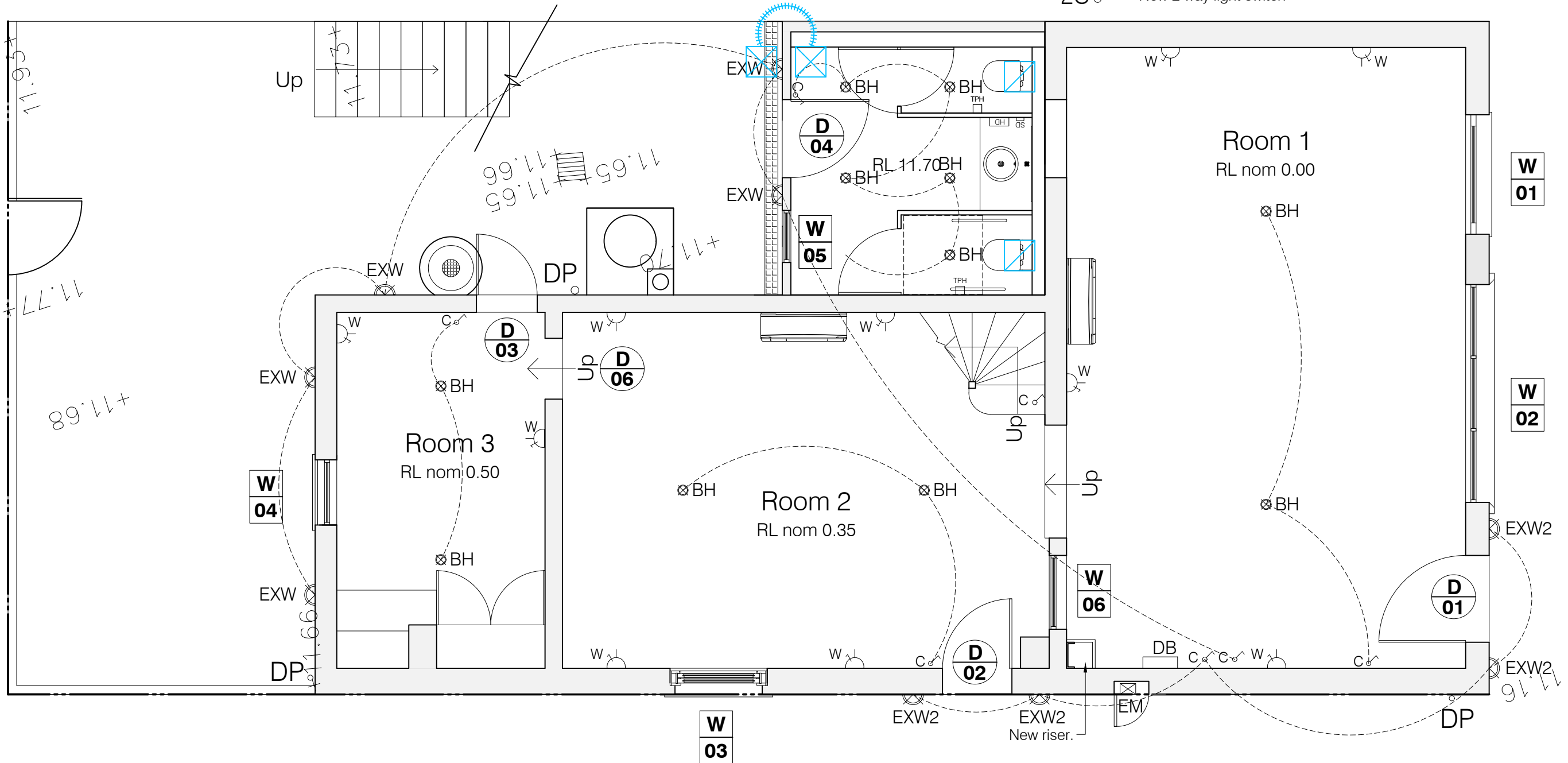
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	<p>LOCATION 328 - 330 King Street Melbourne VIC 3000</p>				SCALE @A3

Note

- Upgrade existing supply to 3 phase (up to 83 Amps).
- Install & relocate new distribution board.
- Remove existing electric supply meter.
- Remove redundant boards & meters.

Legend

- Ductwork extract riser
- Extraction grille and ductwork
- New double GPO (wall mounted)
- New light switch
- New 2 way light switch
- BH New surface mounted LED downlights
- EXW New external wall lights
- EXW2 New external wall lights (up down lights)
- EM Electric meter



L a T r o b e S t r e e t

01 Services Layout Plan (Ground Floor)
09 1 : 50

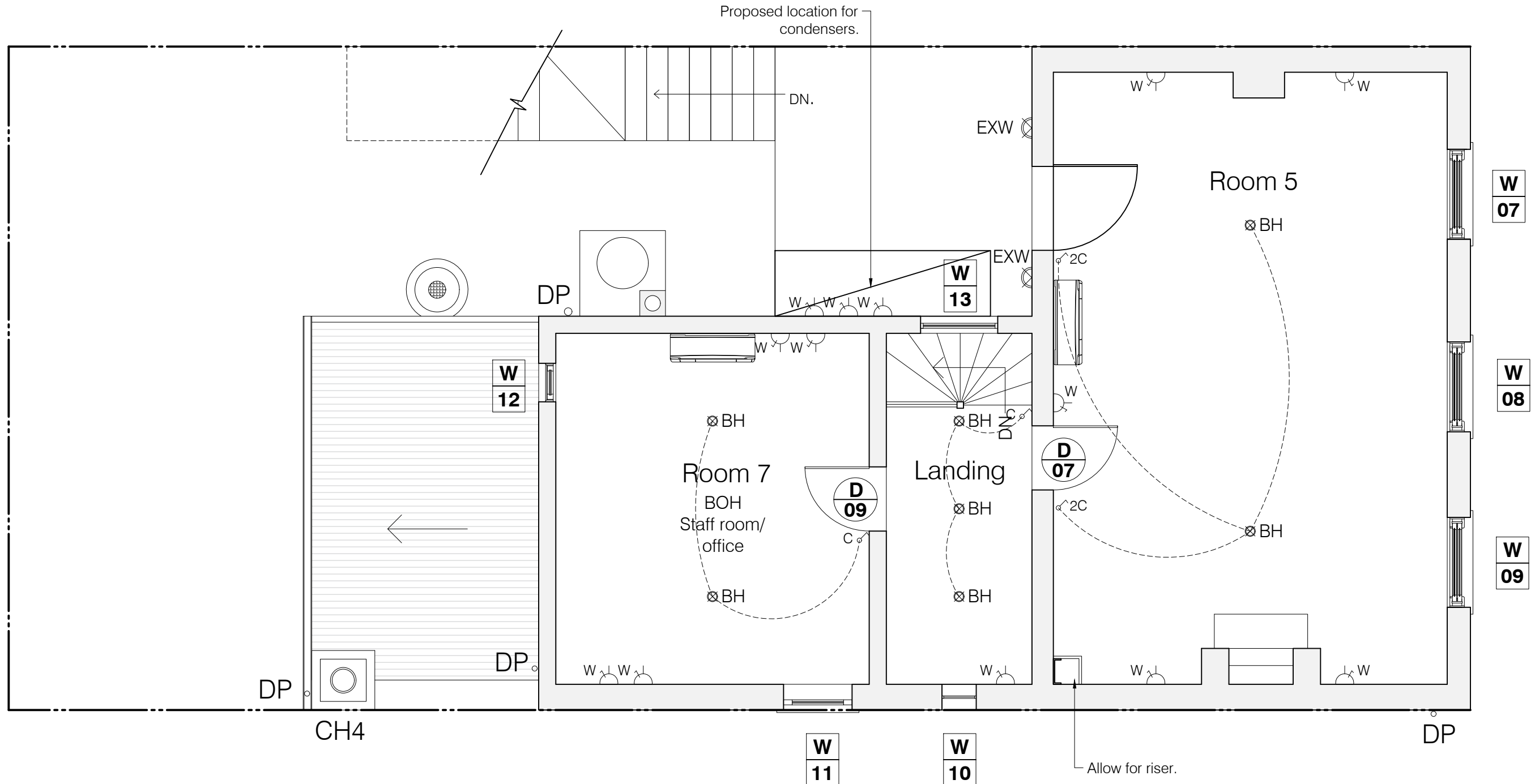
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Note

- Upgrade existing supply to 3 phase (up to 62 Amps).
- Install & relocate new distribution board.
- Remove existing electric supply meter.
- Remove redundant boards & meters.

Legend










- Ductwork extract riser
- Extraction grille and ductwork
- New double GPO (wall mounted)
- New light switch
- New 2 way light switch
- BH New surface mounted LED downlights
- EXW New external wall lights
- EXW2 New external wall lights (up down lights)
- EM Electric meters x 2
- 3P New 3 Phase distribution board

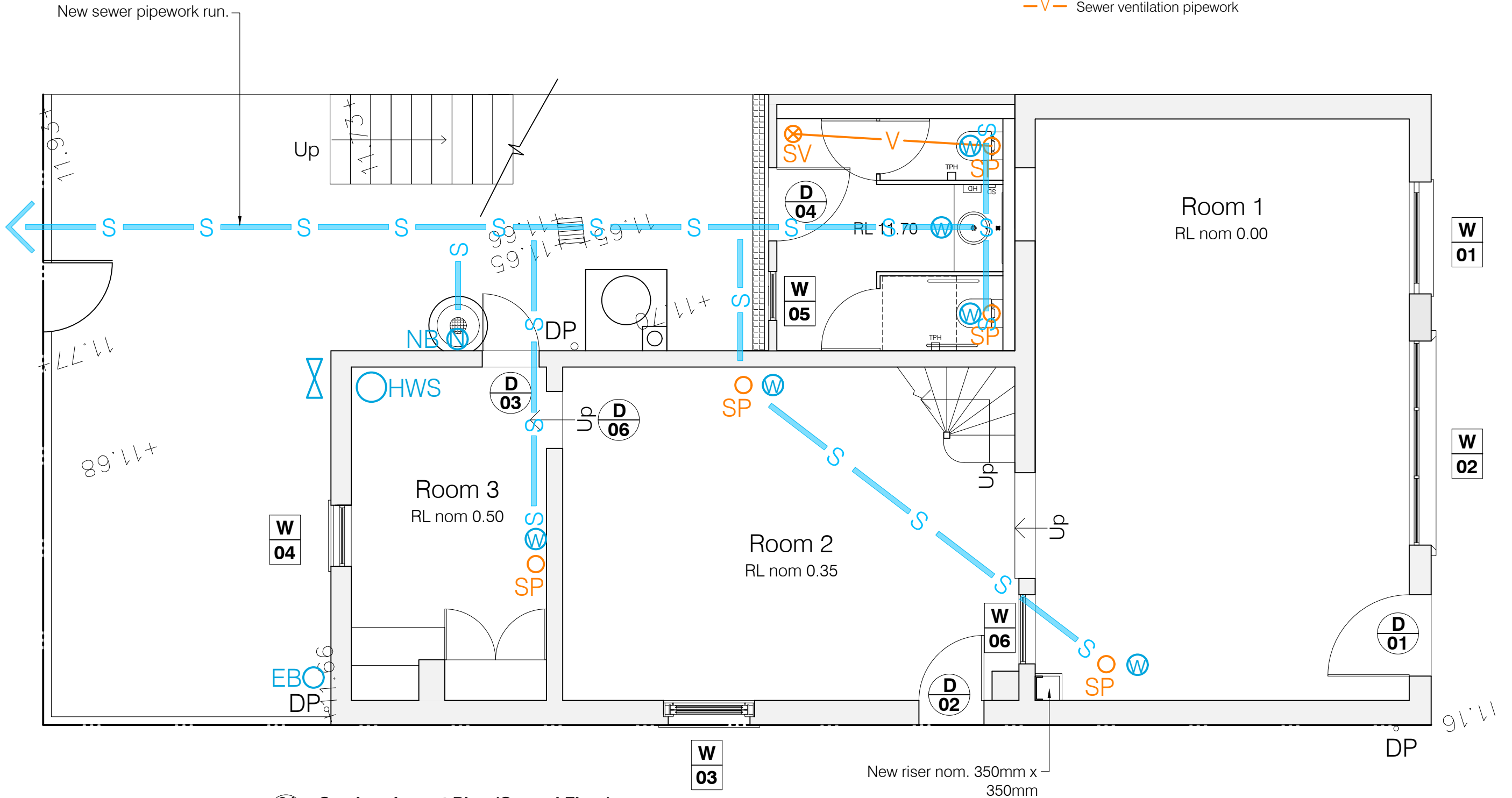


01
10 Services Layout Plan (First Floor)
1 : 50

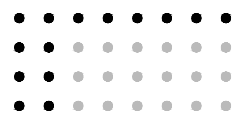

<p>MICHAEL TAYLOR ARCHITECTURE & HERITAGE</p>	<p>PROJECT 330 King Street Stage 2 Works</p>	<p>TITLE Proposed Services Layout Electrical Works</p>	<p>NORTH</p>	<p>DO NOT SCALE DRAWINGS. COPYRIGHT: MICHAEL TAYLOR ARCHITECT AND CONSERVATION CONSULTANT pty ltd</p>	<p>DATE 09/06/2026</p>
	<p>LOCATION 328 - 330 King Street Melbourne VIC 3000</p>	<p>SCALE @A3</p>			<p>DRAWN SG</p>

Legend









- HWS  Electric Hot Water System (120 Litres)
- SP  Sewer point
-  Valve
- EB  Existing bib tap
-  Water supply (hot & cold)
- NB  New bib tap
- SV  Sewer ventilation
-  Sewer line
-  Sewer ventilation pipework

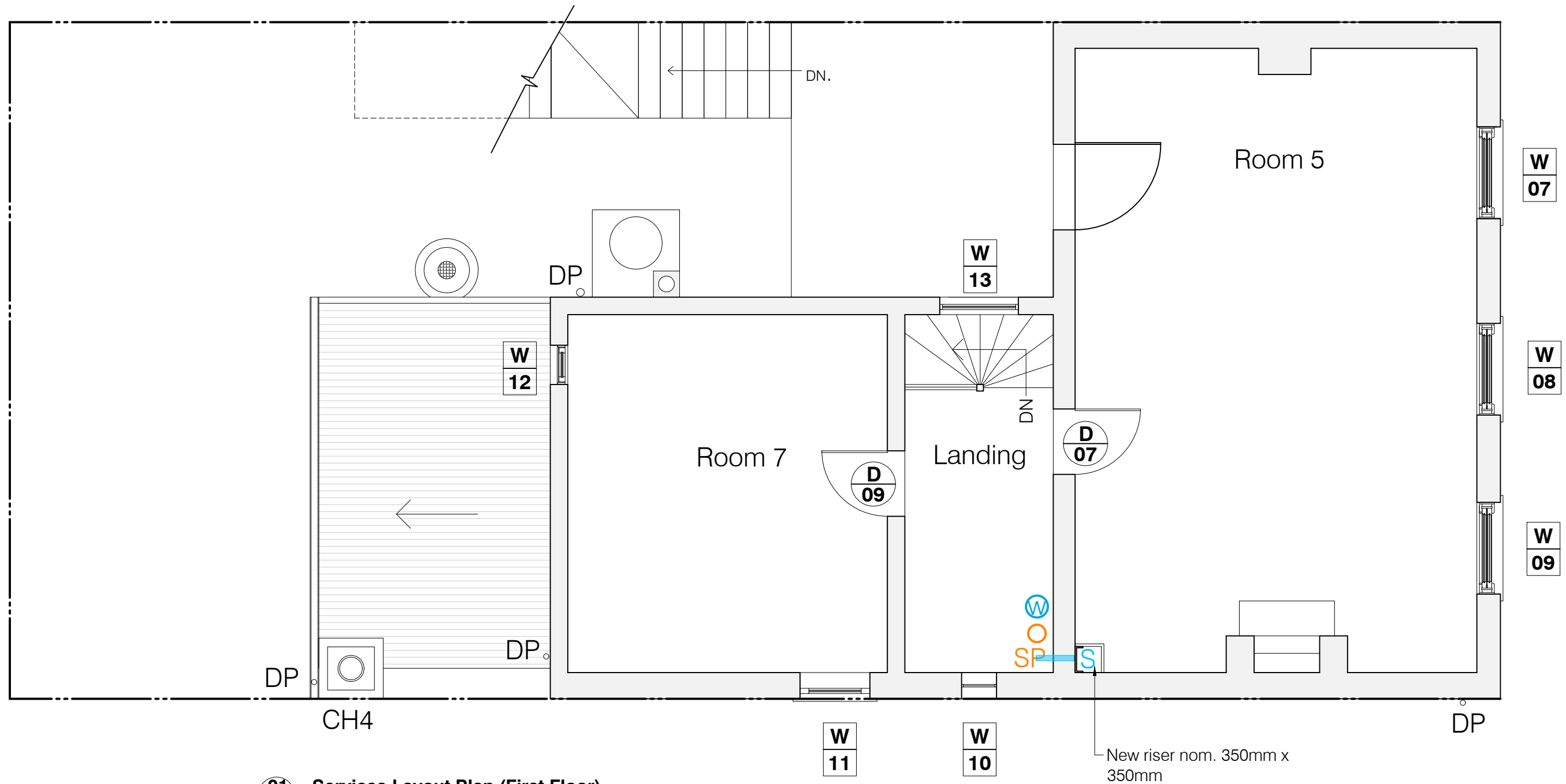


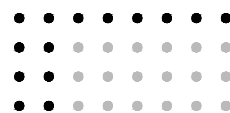

01
11 Services Layout Plan (Ground Floor)
1 : 50

 <p>MICHAEL TAYLOR ARCHITECTURE & HERITAGE</p>	<p>PROJECT 330 King Street Stage 2 Works</p> <p>LOCATION 328 - 330 King Street Melbourne VIC 3000</p>	<p>TITLE Proposed Services Layout Hydraulics & sewer</p>	<p style="text-align: center;"> NORTH</p>	<p>DATE 09/06/2026</p> <p>SCALE @A3</p> <p>DRAWN SG</p> <p>DRAWING NO. H11</p>
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Legend

- HWS  Electric Hot Water System (120 Litres)
-  Sewer point
-  Valve
-  Existing bib tap
-  Water supply (hot & cold)
-  Sewer line
-  Sewer ventilation
-  Sewer ventilation pipework

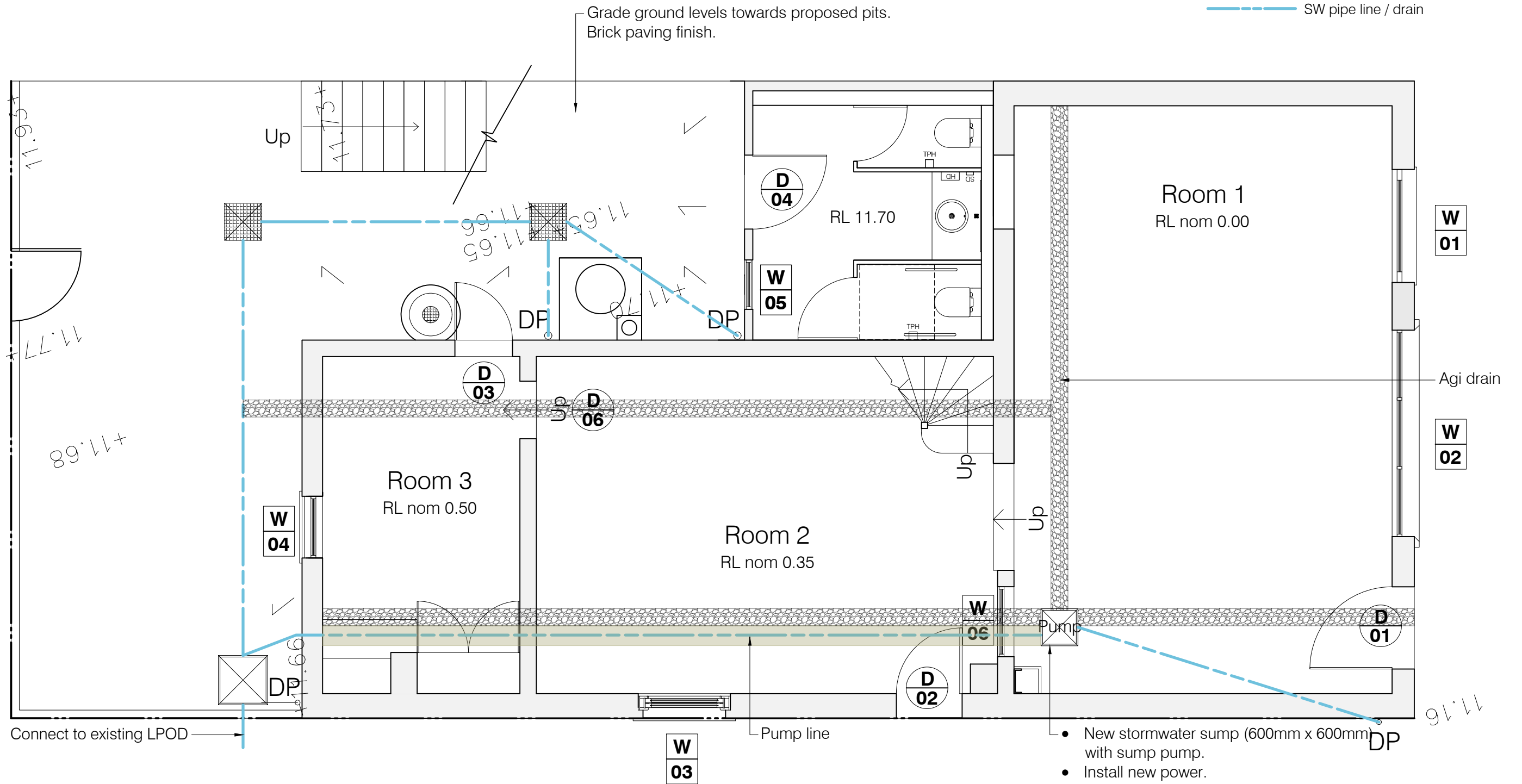


 <p>MICHAEL TAYLOR ARCHITECTURE & HERITAGE</p>	<p>PROJECT 330 King Street Stage 2 Works</p>	<p>TITLE Proposed Services Layout Hydraulics & sewer</p>	 NORTH	<p>DATE 09/06/2026</p> <p>SCALE @A3</p> <p>DRAWN SG</p> <p>DRAWING NO.</p>
	<p>LOCATION 328 - 330 King Street Melbourne VIC 3000</p>	<p>H12</p>	<p>DO NOT SCALE DRAWINGS. COPYRIGHT: MICHAEL TAYLOR ARCHITECT AND CONSERVATION CONSULTANT pty ltd</p>	

Legend

-  450mm x 450mm SW pit
-  600mm x 600mm SW pit
-  SW sump with pump

 SW pipe line / drain



- New stormwater sump (600mm x 600mm) with sump pump.
- Install new power.
- Drain to new SW at East side / courtyard.
- Provide removable access panel above sump (600mm x 600mm).

01 Civil Layout Plan (Ground Floor)
13 1 : 50

 <p>MICHAEL TAYLOR ARCHITECTURE & HERITAGE</p>	<p>PROJECT 330 King Street Stage 2 Works</p> <p>LOCATION 328 - 330 King Street Melbourne VIC 3000</p>	<p>TITLE Proposed Layout Stormwater</p>	 NORTH	<p>DO NOT SCALE DRAWINGS. COPYRIGHT: MICHAEL TAYLOR ARCHITECT AND CONSERVATION CONSULTANT pty ltd</p>	<p>DATE 09/06/2026</p> <p>SCALE @A3</p> <p>DRAWN SG</p> <p>DRAWING NO. H13</p>
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