



ALL MEASUREMENTS ARE NOMINAL AND MAY BE
SUBJECT TO CHANGE TO SUIT SITE CONDITIONS

THESE DRAWINGS TO BE READ IN CONJUNCTION
WITH THE SIGNED SPECIFICATION OF WORKS.
SPECIFICATION OF WORKS TAKES PRECEDENCE
OVER THESE DRAWINGS.

THESE ARE THE DRAWINGS
REFERRED TO IN THE CONTRACT.
DATED:/...../2024

.....OWNER
.....OWNER
.....BUILDER
...../...../2024 DATE

1/173-181 Rooks Road, Vermont, Victoria 3133
ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884
P 8873 7800 E improve@spacemaker.com.au
www.spacemaker.com.au



DATE	AMENDMENT	SHEETS

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*PROPOSED ADDITIONS &
ALTERATIONS FOR:*
Franco & Jess Muser
25 St Vincent Place South,
Albert Park, Vic 3206

TOWN PLANNING DRAWINGS			
DESIGN:	TH	JOB No:	S905
DRAWN:	M. WATERS	EST:	SH
DATE:	02/07/2025	SHEET ...1... OF ...41	
SCALE:			

3D VIEW

NEIGHBOURHOOD DESCRIPTION

- No. 11 ST VINCENT PLACE SOUTH: DOUBLE STOREY RENDERED BRICK DWELLING WITH SLATE TILED PITCHED HIP ROOF
- No. 13 ST VINCENT PLACE SOUTH: DOUBLE STOREY RENDERED BRICK DWELLING WITH SLATE TILED PITCHED HIP ROOF
- No. 15 ST VINCENT PLACE SOUTH: DOUBLE STOREY RENDERED BRICK DWELLING WITH SLATE TILED PITCHED HIP ROOF
- No. 17 ST VINCENT PLACE SOUTH: DOUBLE STOREY RENDERED BRICK DWELLING WITH SLATE TILED PITCHED HIP ROOF
- No. 19 ST VINCENT PLACE SOUTH: DOUBLE STOREY RENDERED BRICK DWELLING WITH SLATE TILED PITCHED HIP ROOF
- No. 21 ST VINCENT PLACE SOUTH: DOUBLE STOREY RENDERED BRICK DWELLING WITH SLATE TILED PITCHED HIP ROOF
- No. 23 ST VINCENT PLACE SOUTH: DOUBLE STOREY RENDERED BRICK DWELLING WITH SLATE TILED PITCHED HIP ROOF

No. 25 ST VINCENT PLACE SOUTH: DOUBLE STOREY RENDERED BRICK DWELLING WITH SLATE TILED PITCHED HIP ROOF

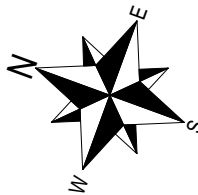
- No. 27 ST VINCENT PLACE SOUTH: DOUBLE STOREY RENDERED BRICK DWELLING WITH SLATE TILED PITCHED HIP ROOF
- No. 29 ST VINCENT PLACE SOUTH: SINGLE STOREY RENDERED DWELLING WITH SLATE TILED PITCHED HIP ROOF
- No. 31 ST VINCENT PLACE SOUTH: SINGLE STOREY RENDERED DWELLING WITH ZINC SHEET PITCHED HIP & GABLE ROOF
- No. 33 ST VINCENT PLACE SOUTH: DOUBLE STOREY RENDERED BRICK DWELLING WITH SLATE TILED PITCHED HIP ROOF
- No. 35 ST VINCENT PLACE SOUTH: DOUBLE STOREY RENDERED BRICK DWELLING WITH SLATE TILED PITCHED HIP ROOF
- No. 37 ST VINCENT PLACE SOUTH: DOUBLE STOREY RENDERED BRICK DWELLING WITH SLATE TILED PITCHED HIP ROOF
- No. 39 ST VINCENT PLACE SOUTH: DOUBLE STOREY RENDERED BRICK DWELLING WITH SLATE TILED PITCHED HIP ROOF

- No. 37 BEVAN STREET: DOUBLE STOREY CONCRETE BLOCK DWELLING WITH SLATE TILED PITCHED HIP ROOF
- No. 33 BEVAN STREET: DOUBLE STOREY BRICK DWELLING WITH TERRA COTTA TILED PITCHED HIP ROOF
- No. 29 BEVAN STREET: DOUBLE STOREY BRICK DWELLING WITH METAL FLAT ROOF
- No. 27 BEVAN STREET: SINGLE STOREY TIMBER BLOCK DWELLING WITH ZINC SHEET PITCHED HIP ROOF
- No. 23 BEVAN STREET: DOUBLE STOREY RENDERED DWELLING WITH CONCRETE TILED PITCHED HIP ROOF
- No. 19 BEVAN STREET: DOUBLE STOREY RENDERED DWELLING WITH METAL FLAT ROOF

- No. 90 BRIDPORT STREET: DOUBLE STOREY RENDERED DWELLING WITH SLATE TILED GABLE & HIP ROOF
- No. 92 BRIDPORT STREET: DOUBLE STOREY RENDERED DWELLING WITH SLATE TILED GABLE & HIP ROOF
- No. 94 BRIDPORT STREET: DOUBLE STOREY RENDERED DWELLING WITH SLATE TILED GABLE & HIP ROOF
- No. 96 BRIDPORT STREET: DOUBLE STOREY RENDERED DWELLING WITH ZINC SHEET PITCHED GABLE & HIP ROOF
- No. 98 BRIDPORT STREET: DOUBLE STOREY RENDERED DWELLING WITH ZINC SHEET PITCHED GABLE & HIP ROOF
- No. 100 BRIDPORT STREET: DOUBLE STOREY RENDERED DWELLING WITH SLATE TILED GABLE & HIP ROOF
- No. 102 BRIDPORT STREET: DOUBLE STOREY RENDERED DWELLING WITH ZINC SHEET PITCHED HIP ROOF
- No. 104 BRIDPORT STREET: DOUBLE STOREY RENDERED DWELLING WITH ZINC SHEET PITCHED HIP ROOF
- No. 106 BRIDPORT STREET: DOUBLE STOREY RENDERED DWELLING WITH ZINC SHEET PITCHED HIP ROOF
- No. 108 BRIDPORT STREET: DOUBLE STOREY RENDERED SHOP & DWELLING WITH ZINC SHEET PITCHED HIP ROOF
- No. 110 BRIDPORT STREET: DOUBLE STOREY RENDERED RETAIL BUILDING WITH METAL FLAT ROOF
- No. 114 BRIDPORT STREET: DOUBLE STOREY RENDERED SHOP & DWELLING WITH ZINC SHEET PITCHED HIP & GABLE ROOF
- No. 116 BRIDPORT STREET: DOUBLE STOREY RENDERED SHOP & DWELLING WITH ZINC SHEET PITCHED HIP & GABLE ROOF
- No. 118 BRIDPORT STREET: DOUBLE STOREY RENDERED SHOP & DWELLING WITH ZINC SHEET PITCHED HIP & GABLE ROOF
- No. 120 BRIDPORT STREET: DOUBLE STOREY RENDERED OFFICE WITH METAL FLAT ROOF



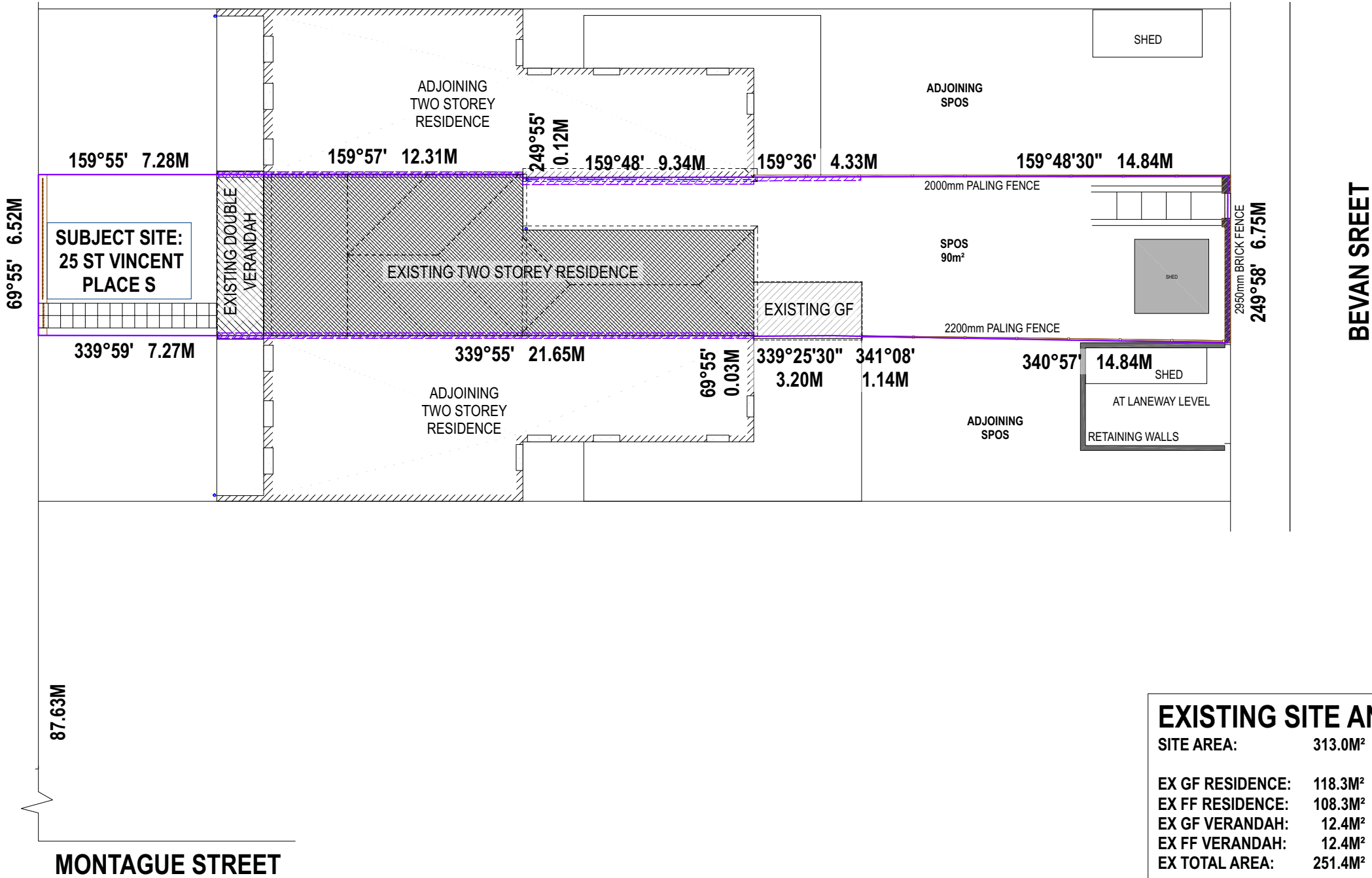
NEIGHBOURHOOD PLAN



NEIGHBOURHOOD DESCRIPTION NOTES

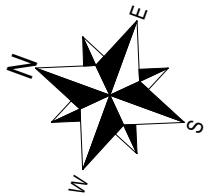
ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS				NEIGHBOURHOOD CONTEXT PLAN						
THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE SIGNED SPECIFICATION OF WORKS. SPECIFICATION OF WORKS TAKES PRECEDENCE OVER THESE DRAWINGS.	.....OWNER	1/173-181 Rooks Road, Vermont, Victoria 3133	DATE	AMENDMENT	SHEETS	© THESE PLANS REMAIN THE PROPERTY OF SPACEMAKER HOME EXTENSIONS AND ARE SUBJECT TO COPYRIGHT.				
	.....OWNER	ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884 P 8873 7800 E improve@spacemaker.com.au								
	.....BUILDER	www.spacemaker.com.au				PROPOSED ADDITIONS & ALTERATIONS FOR: Franco & Jess Muser 25 St Vincent Place South, Albert Park, Vic 3206				
	...../...../2024 DATE	spacemaker home extensions								
							TOWN PLANNING DRAWINGS			
							DESIGN:	TH	JOB No:	S905
							DRAWN:	M. WATERS	EST:	SH
							DATE:	02/07/2025	SHEET ...2... OF ...41	
							SCALE:	1:100		

ST VINCENT PLACE SOUTH



EXISTING SITE PLAN

EXISTING SITE ANALYSIS	
SITE AREA:	313.0M²
EX GF RESIDENCE:	118.3M²
EX FF RESIDENCE:	108.3M²
EX GF VERANDAH:	12.4M²
EX FF VERANDAH:	12.4M²
EX TOTAL AREA:	251.4M²
TOTAL BUILDING FOOTPRINT:	130.7M²
SITE COVERAGE:	41.8%
TOTAL HARD PAVING AREA:	16.2M²
TOTAL IMPERMEABLE AREA:	146.9M² = 46.9%
TOTAL PERMEABLE AREA:	166.1M² = 53.1%
TOTAL GARDEN AREA:	166.1M² = 53.1%
S.P.O.S. AREA:	90M²
TOTAL P.O.S. AREA:	180M²



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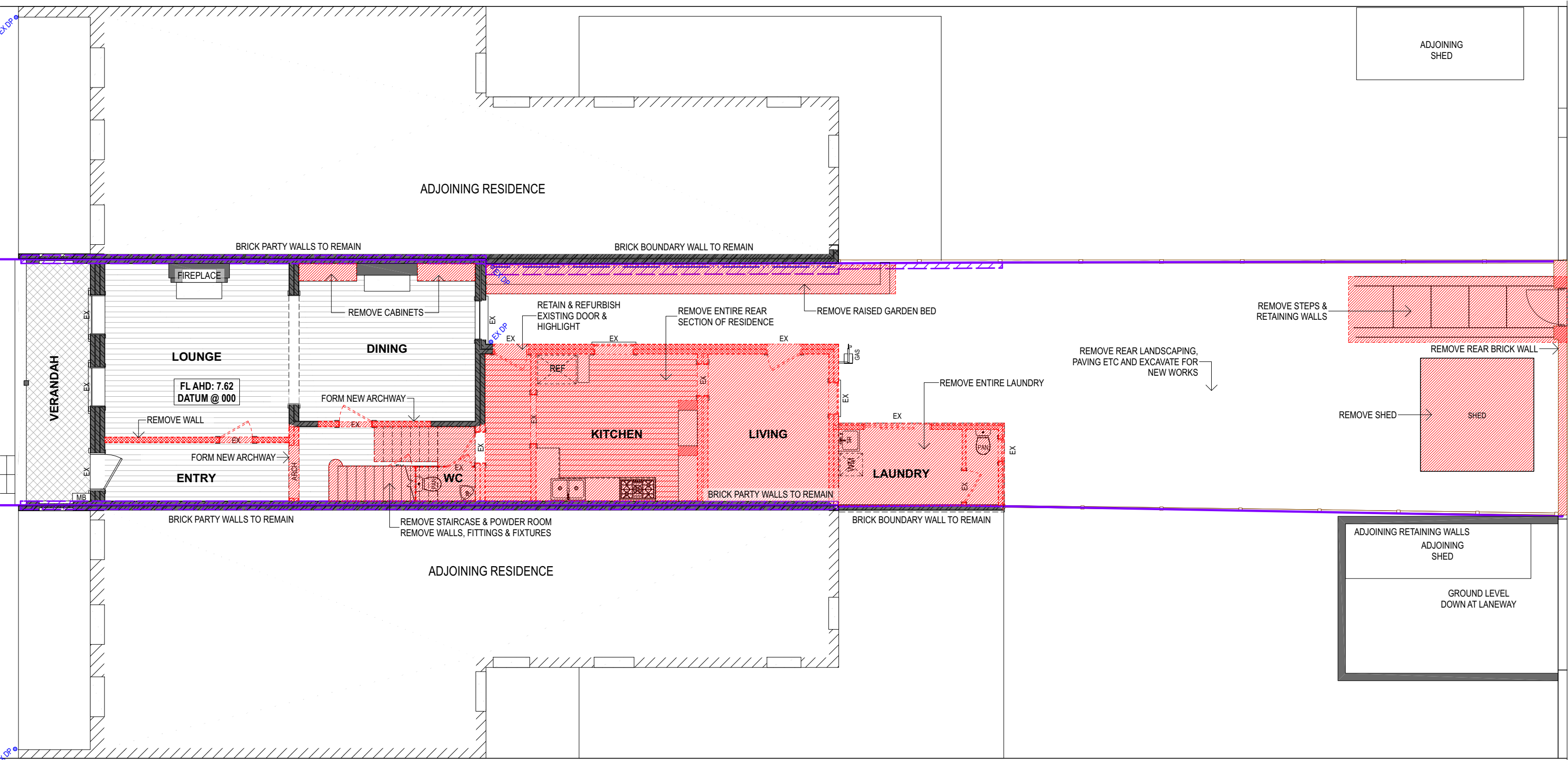
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PROPOSED ADDITIONS & ALTERATIONS FOR:
Franco & Jess Muser
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Albert Park, Vic 3206

TOWN PLANNING DRAWINGS			
DESIGN:	TH	JOB No:	S905
DRAWN:	M. WATERS	EST:	SH
DATE:	02/07/2025	SHEET ...3... OF ...41	
SCALE:	1:100		



Notes:

OWNER TO ENSURE THAT SMOKE ALARMS TO THE EXISTING REMAINING DWELLING CONFORM TO BUILDING REGULATIONS

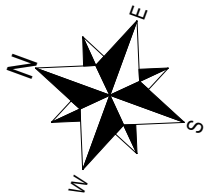
EXISTING ENERGY CONDITIONS:

- *INSULATION:
 - FLOOR: NONE
 - WALLS: NONE-WEATHERBAORD
 - CEILING: 2TBC?
- *WINDOWS ARE TIMBER FRAMED DOUBLE HUNG SINGLE GLAZED UNLESS NOTED OTHERWISE
- *NO DOWNLIGHTS

DEMOLITION:

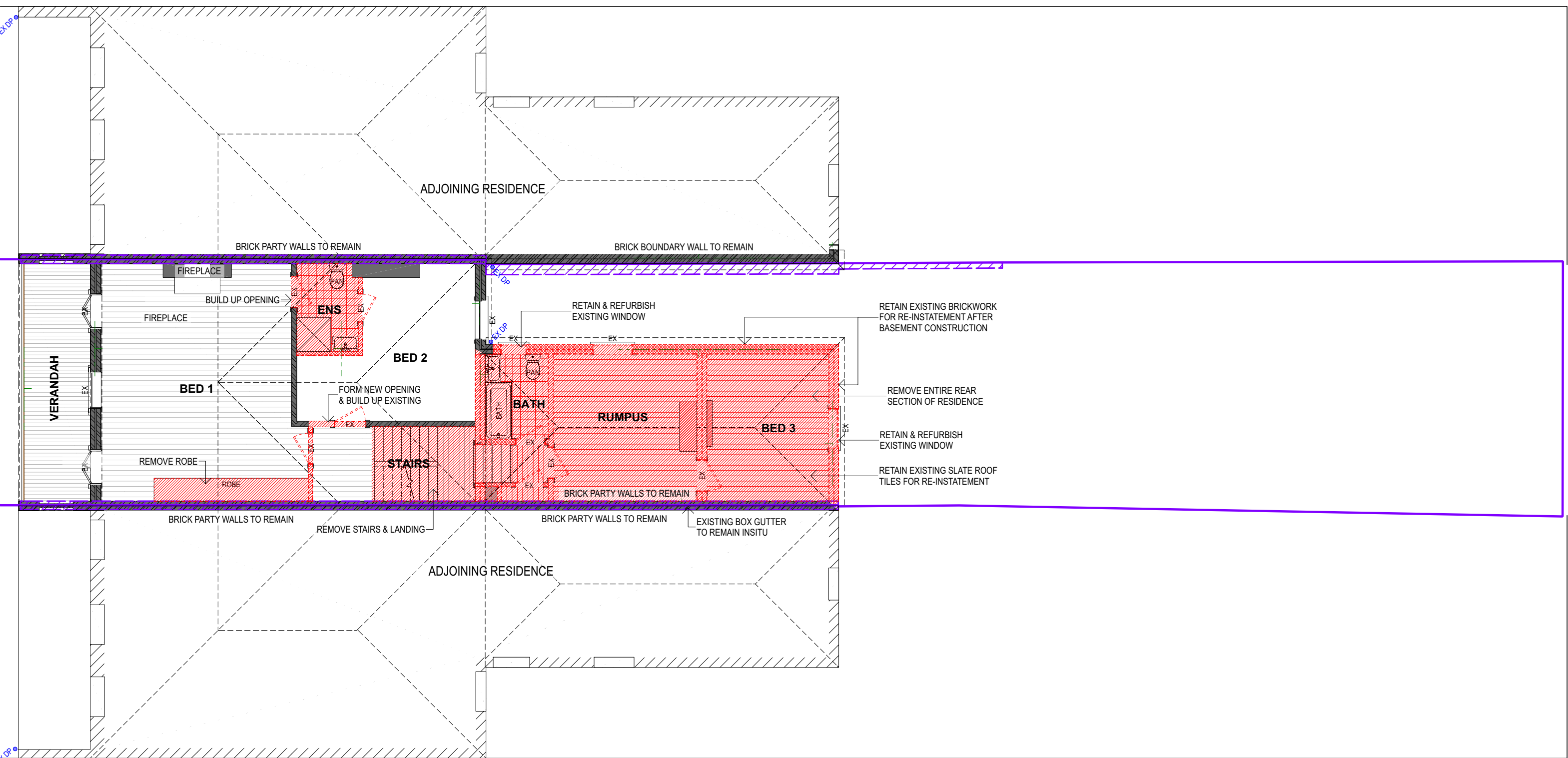
-AN ASSUMPTION HAS BEEN MADE THAT THE EXISTING STRUCTURE HAS BEEN BUILT IN ACCORDANCE WITH BUILDING REGULATIONS AND TOLERANCES. WHEN REMOVAL OF WALLS BETWEEN ROOMS IS REQUIRED, THE CONTRACT ALLOWANCE ASSUMES THAT BOTH CEILINGS AND FLOORS ARE LEVEL.
-BUILDER TO TERMINATE / CAP / ISOLATE ELECTRICAL, GAS, WATER AND SEWER CONNECTIONS AS REQUIRED PRIOR TO ANY DEMOLITION WORK COMMENCING
-NO ALLOWANCE TO REMOVE ASBESTOS
-BUILDER IS TO PROVIDE TEMPORARY SUPPORT TO THE EXISTING STRUCTURE AS REQUIRED FOR THE DEMOLITION WORKS.

DEMOLITION/EXISTING GROUND FLOOR PLAN



DEMOLITION/EXISTING GF PLAN

ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS		AS REQUIRED FOR THE DEMOLITION WORKS.		DEMOLITION/EXISTING GF PLAN							
THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE SIGNED SPECIFICATION OF WORKS. SPECIFICATION OF WORKS TAKES PRECEDENCE OVER THESE DRAWINGS.	.....OWNER	1/173-181 Rooks Road, Vermont, Victoria 3133	DATE	AMENDMENT	SHEETS	© THESE PLANS REMAIN THE PROPERTY OF SPACEMAKER HOME EXTENSIONS AND ARE SUBJECT TO COPYRIGHT.	TOWN PLANNING DRAWINGS			
	.....OWNER	ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884 P 8873 7800 E improve@spacemaker.com.au					DESIGN:	TH	JOB No:	S905
	.....BUILDER	www.spacemaker.com.au					DRAWN:	M. WATERS	EST:	SH
	...../...../2024 DATE						DATE:	02/07/2025	SHEET ...4... OF ...41	
THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED: ...../...../2024						<p><i>PROPOSED ADDITIONS & ALTERATIONS FOR:</i> Franco & Jess Muser 25 St Vincent Place South, Albert Park, Vic 3206</p>	SCALE:	1:100			

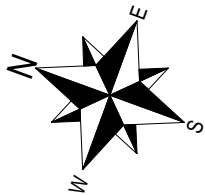


Notes:
OWNER TO ENSURE THAT SMOKE ALARMS TO THE EXISTING REMAINING DWELLING CONFORM TO BUILDING REGULATIONS

EXISTING ENERGY CONDITIONS:
*INSULATION:
-FLOOR: NONE
-WALLS: NONE-WEATHERBAORD
-CEILING: 2TBC?
*WINDOWS ARE TIMBER FRAMED DOUBLE HUNG SINGLE GLAZED UNLESS NOTED OTHERWISE
*NO DOWNLIGHTS

DEMOLITION:
-AN ASSUMPTION HAS BEEN MADE THAT THE EXISTING STRUCTURE HAS BEEN BUILT IN ACCORDANCE WITH BUILDING REGULATIONS AND TOLERANCES. WHEN REMOVAL OF WALLS BETWEEN ROOMS IS REQUIRED, THE CONTRACT ALLOWANCE ASSUMES THAT BOTH CEILINGS AND FLOORS ARE LEVEL.
-BUILDER TO TERMINATE / CAP / ISOLATE ELECTRICAL, GAS, WATER AND SEWER CONNECTIONS AS REQUIRED PRIOR TO ANY DEMOLITION WORK COMMENCING
-NO ALLOWANCE TO REMOVE ASBESTOS
-BUILDER IS TO PROVIDE TEMPORARY SUPPORT TO THE EXISTING STRUCTURE AS REQUIRED FOR THE DEMOLITION WORKS.

DEMOLITION/EXISTING FIRST FLOOR PLAN



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.....OWNER
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...../...../2024 DATE

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ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884
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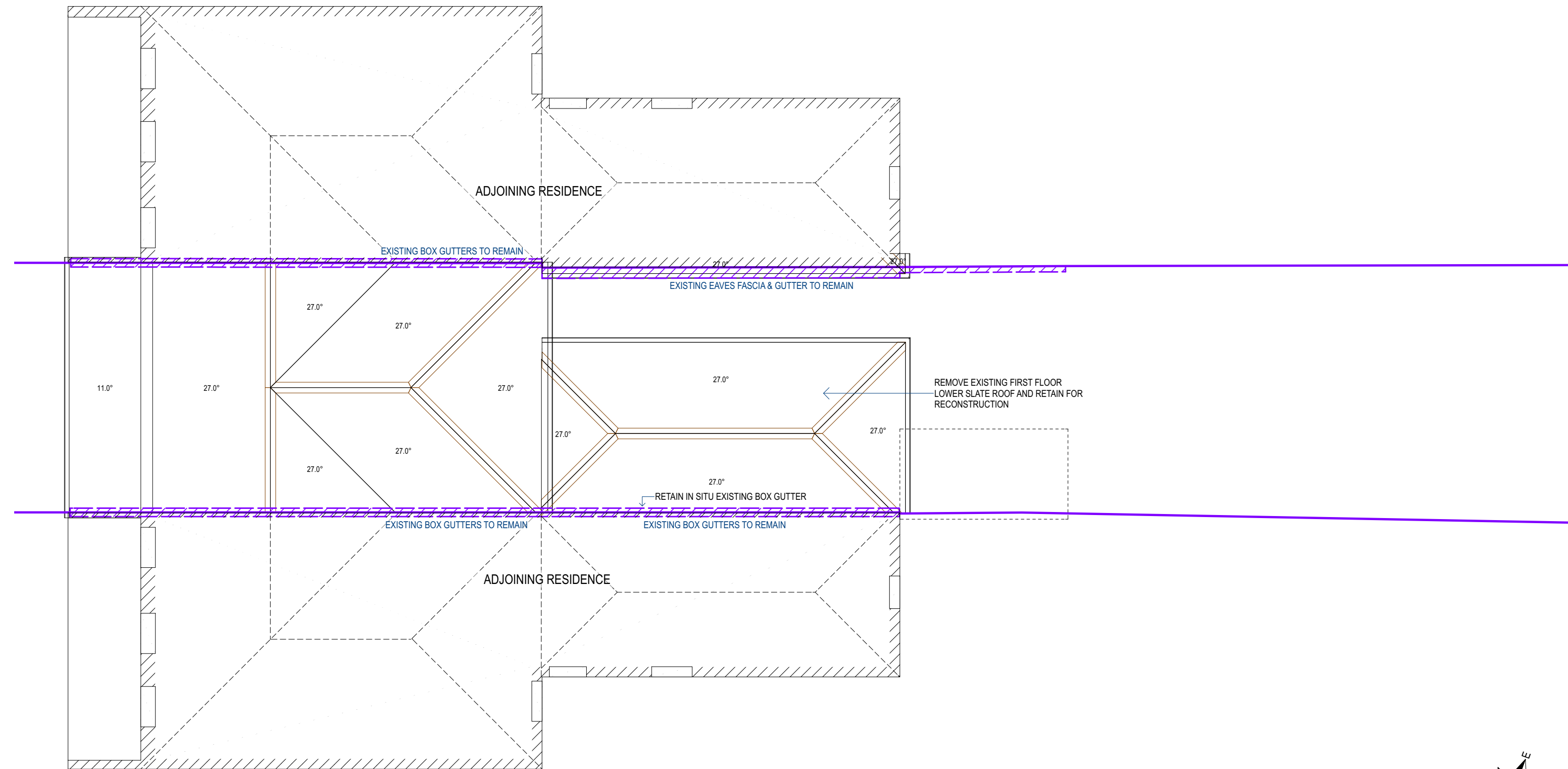
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DATE	AMENDMENT	SHEETS

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PROPOSED ADDITIONS & ALTERATIONS FOR:
Franco & Jess Muser
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Albert Park, Vic 3206

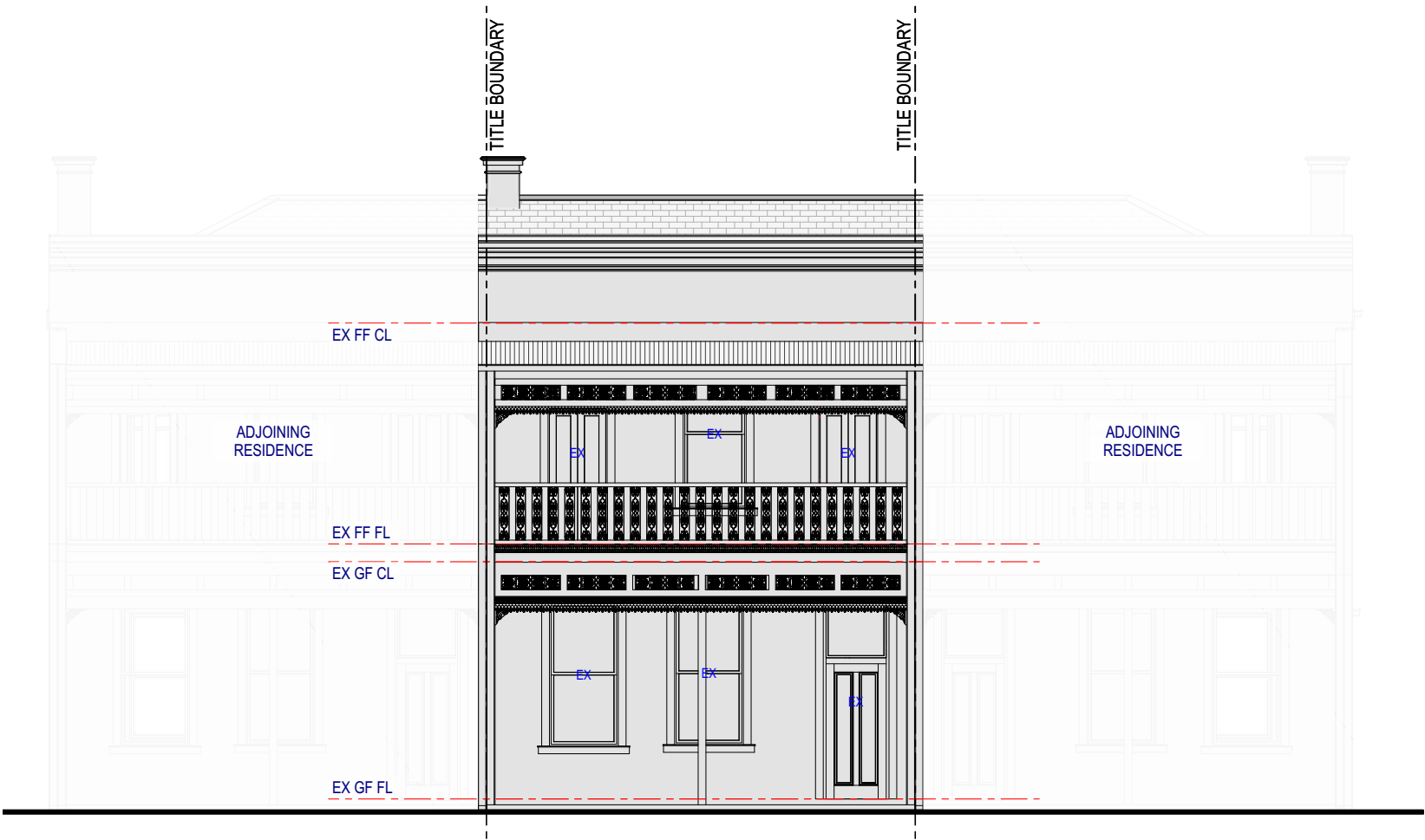
TOWN PLANNING DRAWINGS			
DESIGN:	TH	JOB No:	S905
DRAWN:	M. WATERS	EST:	SH
DATE:	02/07/2025	SHEET ...5... OF ...41	
SCALE:	1:100		



EXISTING ROOF PLAN

EXISTING ROOF PLAN

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BUILDER	www.spacemaker.com.au 						<u>PROPOSED ADDITIONS & ALTERATIONS FOR:</u> Franco & Jess Muser 25 St Vincent Place South, Albert Park, Vic 3206	DESIGN:	TH
THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED:/...../2024/...../2024 DATE						DRAWN:	M. WATERS	EST:	SH
							DATE:	02/07/2025	SHEET ...6... OF ...41	
							SCALE:	1:100		



EXISTING/DEMOLITION NORTH ELEVATION

ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS

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DATED:/...../2024

.....OWNER

.....OWNER

.....BUILDER

...../...../2024 DATE

1/173-181 Rooks Road, Vermont, Victoria 3133
ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884
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DATE	AMENDMENT	SHEETS

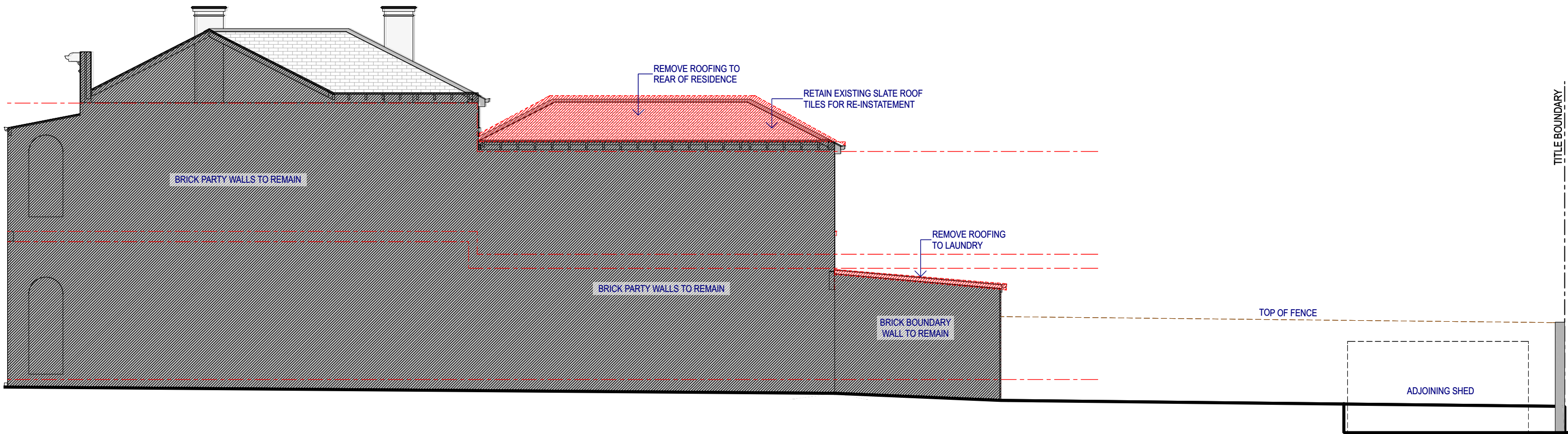
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PROPOSED ADDITIONS & ALTERATIONS FOR:
Franco & Jess Muser
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Albert Park, Vic 3206

EXISTING/DEMOLITION ELEVATIONS

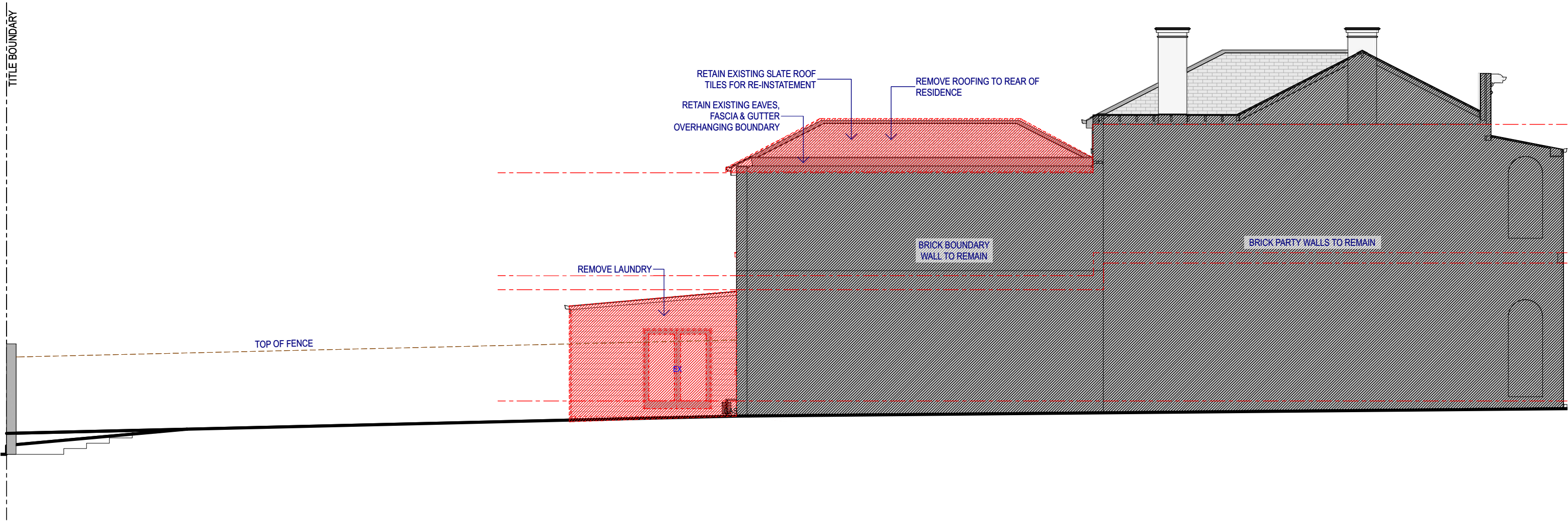
TOWN PLANNING DRAWINGS

DESIGN:	TH	JOB No:	S905
DRAWN:	M. WATERS	EST:	SH
DATE:	02/07/2025	SHEET ...7... OF ...41...	
SCALE:	1:100		



EXISTING/DEMOLITION WEST ELEVATION

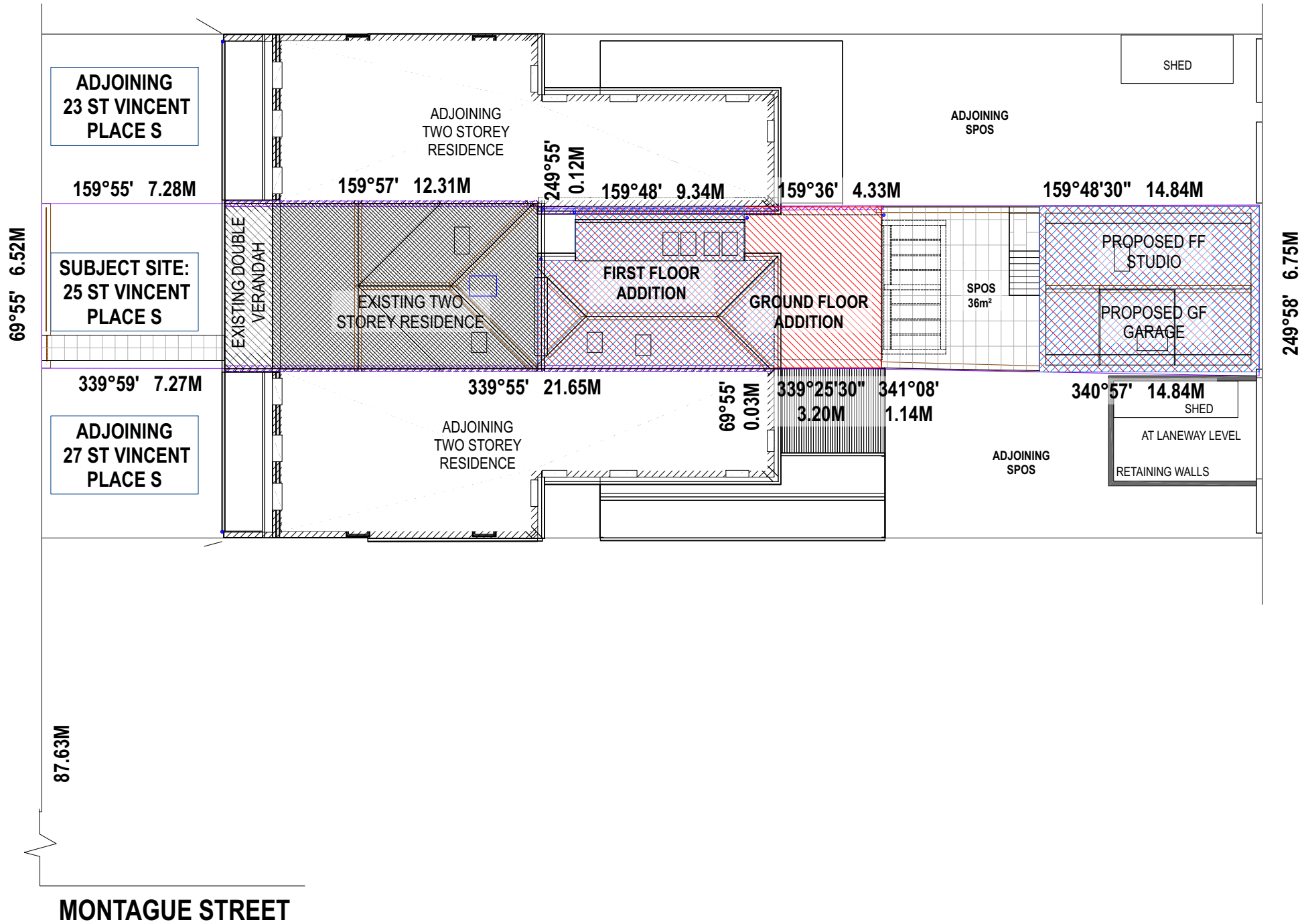
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	BUILDER		www.spacemaker.com.au															
	/...../2024 DATE		<div>spacemaker</div> <div>home extensions</div> <div></div>															
THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED:/...../2024											<div>PROPOSED ADDITIONS & ALTERATIONS FOR:</div> <div>Franco & Jess Muser</div> <div>25 St Vincent Place South, Albert Park, Vic 3206</div>				DESIGN:	TH	JOB No:	S905	
															DRAWN:	M. WATERS	EST:	SH	
															DATE:	02/07/2025	SHEET8... OF41...		
															SCALE:	1:100			



EXISTING/DEMOLITION EAST ELEVATION

ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS										EXISTING/DEMOLITION ELEVATIONS									
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													DRAWN:	M. WATERS	EST:	SH			
													DATE:	02/07/2025	SHEET 10 OF 41				
													SCALE:	1:100					

ST VINCENT PLACE SOUTH

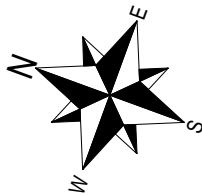


PROPOSED SITE PLAN

DP DOWNPIPE
DPS SPREADER DOWNPIPE TO DISCHARGE AT LOWER ROOF

NOTE: LOCATION OF NEW DOWN PIPES SHOWN ARE INDICATIVE ONLY AND ARE TO BE INSTALLED TO THE PLUMBERS DISCRETION IN ACCORDANCE WITH A.S.3500-3, 2018

DRAINAGE:
-CONNECT ALL NEW DOWNPIPES & S.W DRAINS TO EXISTING S.W. SYSTEM. & CARRY TO LEGAL POINT OF DISCHARGE.
-ALL DRAINS TO COMPLY WITH THE RESPONSIBLE AUTHORITY.
-90 MM DIA. UPVC STORMWATER DRAINS MAX. SPACING FOR DOWNPIPES 12 M. DOWNPIPES MUST BE FIXED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND IF THE DOWNPIPE IS MORE THAN 1200 FROM A VALLEY AN OVERFLOW MUST BE PROVIDED.
-LOCATION OF DRAINS SHOWN APPROX. ONLY CONFIRM ON SITE

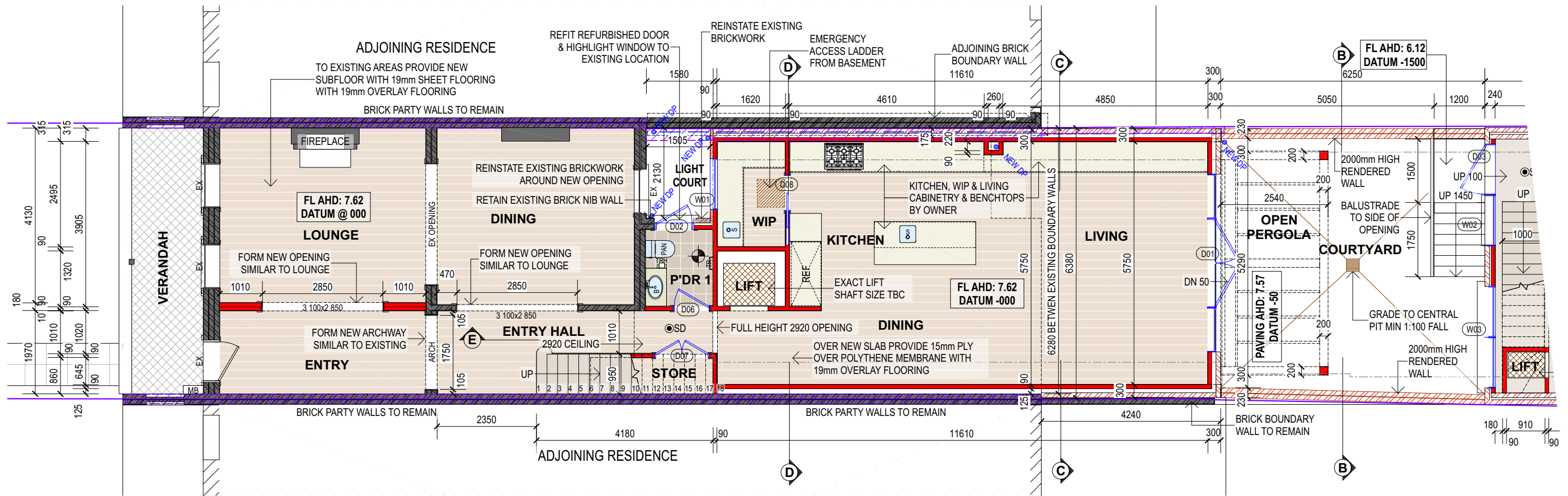


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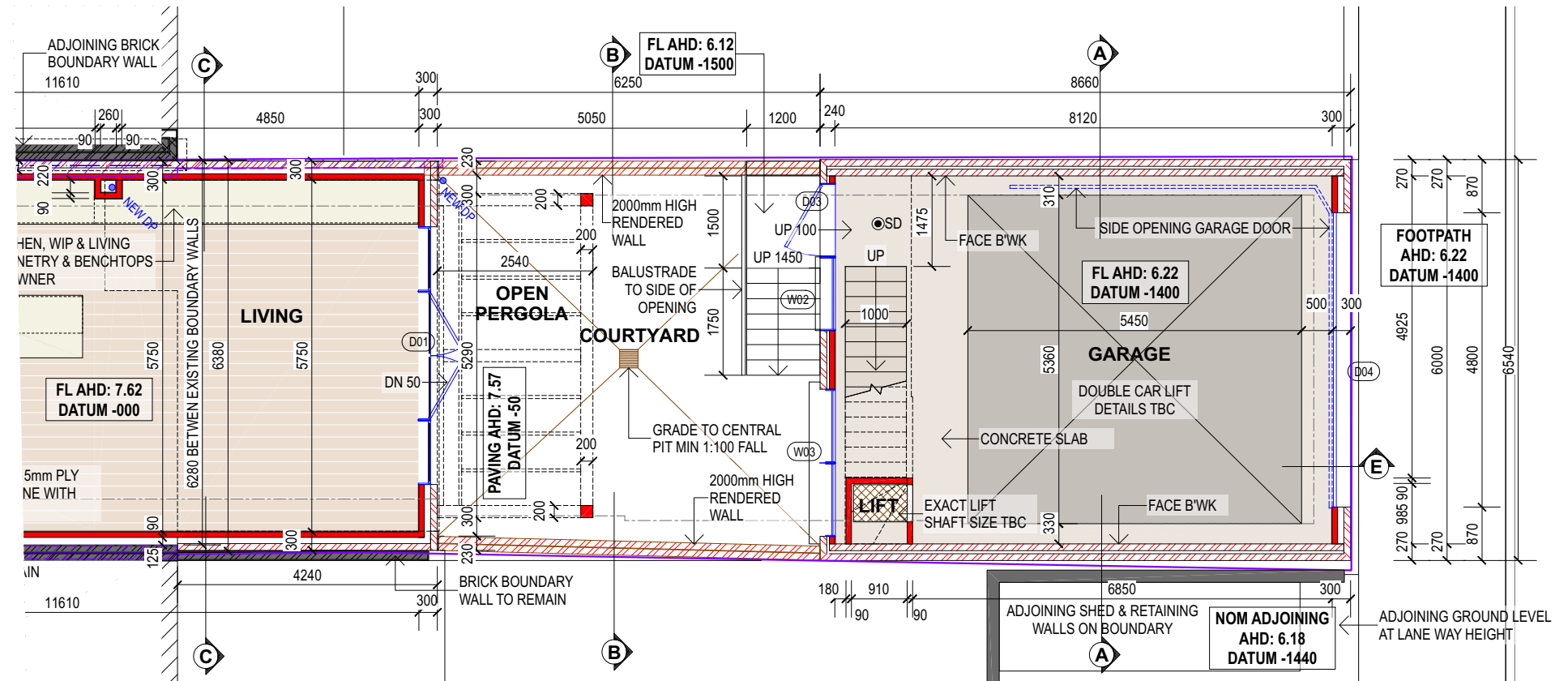
PROPOSED SITE ANALYSIS	
SITE AREA:	313.0M²
EX GF RESIDENCE:	68.4M²
EX FF RESIDENCE:	68.4M²
EX GF VERANDAH:	12.4M²
EX FF VERANDAH:	12.4M²
EX TOTAL AREA:	161.6M²
PROP GF RESIDENCE:	82.4M²
PROP FF RESIDENCE:	52.9M²
PROP GF GARAGE:	56.8M²
PROP FF STUDIO:	56.8M²
PROP BASEMENT:	133.4M²
TOTAL PROPOSED:	382.3M²
TOTAL BUILDING AREA:	543.9M²
TOTAL BUILDING FOOTPRINT:	220.0M²
SITE COVERAGE:	70.3%
TOTAL HARD PAVING AREA:	47.3M²
TOTAL IMPERMEABLE AREA:	267.3M² = 85.4%
TOTAL PERMEABLE AREA:	45.7M² = 14.6%
S.P.O.S. AREA:	36M²
TOTAL P.O.S. AREA:	81M²

EXISTING SITE ANALYSIS	
SITE AREA:	313.0M²
EX GF RESIDENCE:	118.3M²
EX FF RESIDENCE:	108.3M²
EX GF VERANDAH:	12.4M²
EX FF VERANDAH:	12.4M²
EX TOTAL AREA:	251.4M²
TOTAL BUILDING FOOTPRINT:	130.7M²
SITE COVERAGE:	41.8%
TOTAL HARD PAVING AREA:	16.2M²
TOTAL IMPERMEABLE AREA:	146.9M² = 46.9%
TOTAL PERMEABLE AREA:	166.1M² = 53.1%
TOTAL GARDEN AREA:	166.1M² = 53.1%
S.P.O.S. AREA:	90M²
TOTAL P.O.S. AREA:	180M²

ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS		1200 FROM A VALLEY AN OVERFLOW MUST BE PROVIDED. -LOCATION OF DRAINS SHOWN APPROX. ONLY CONFIRM ON SITE										PROPOSED SITE PLAN			
THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE SIGNED SPECIFICATION OF WORKS. SPECIFICATION OF WORKS TAKES PRECEDENCE OVER THESE DRAWINGS.OWNER	1/173-181 Rooks Road, Vermont, Victoria 3133		DATE	AMENDMENT	SHEETS	© THESE PLANS REMAIN THE PROPERTY OF SPACEMAKER HOME EXTENSIONS AND ARE SUBJECT TO COPYRIGHT.	TOWN PLANNING DRAWINGS							
	.....OWNER	ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884 P 8873 7800 E improve@spacemaker.com.au					PROPOSED ADDITIONS & ALTERATIONS FOR: Franco & Jess Muser 25 St Vincent Place South, Albert Park, Vic 3206	DESIGN:	TH	JOB No:	S905			
THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED: ...../...../2024	.....BUILDER							DRAWN:	M. WATERS	EST:	SH			
	...../...../2024 DATE							DATE:	02/07/2025	SHEET ..11.. OF ....41				
							SCALE:	1:200							



PROPOSED GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

PROPOSED GROUND FLOOR PLAN

SMOKE DETECTORS: INTER-CONNECTED & HARD WIRED TO MAINS POWER WITH BATTERY BACKUP AND INSTALLED IN ACCORDANCE WITH AS-3786

MECHANICAL EXHAUST FAN TO BE VENTED TO EXTERNAL AIR INSTALLED IN ACCORDANCE WITH AS-1668.2

ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS

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.....OWNER

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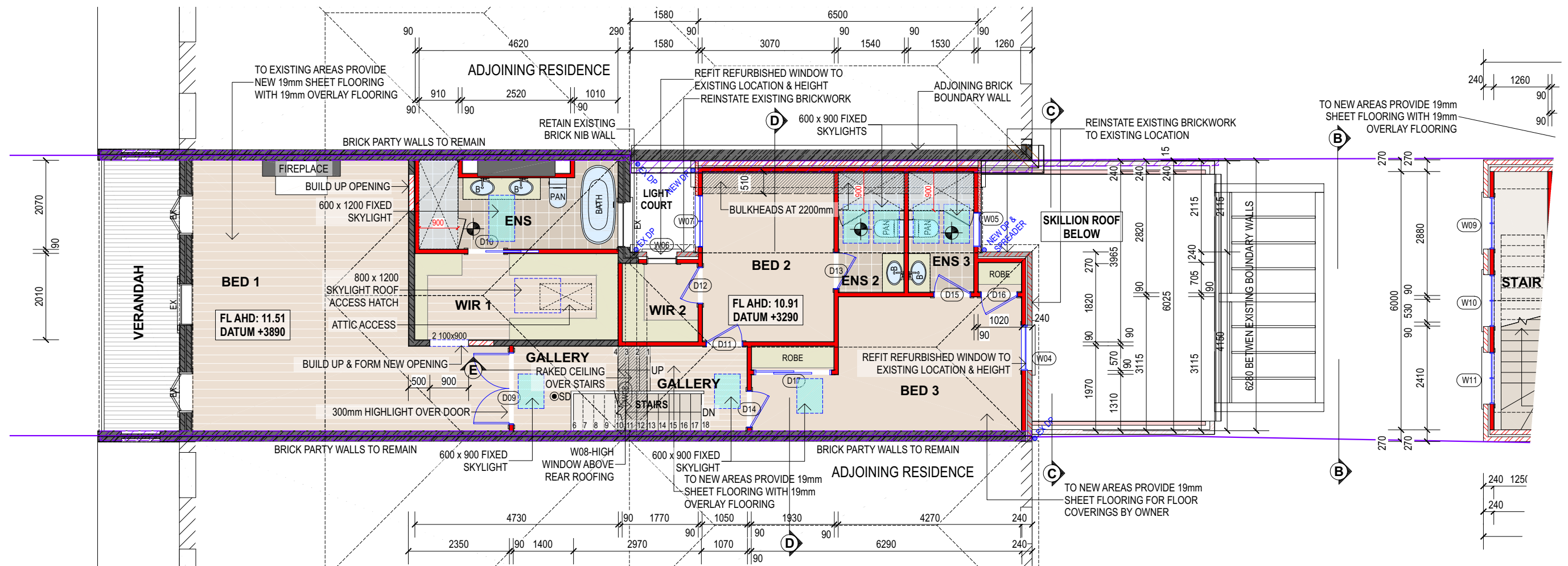
PROPOSED ADDITIONS & ALTERATIONS FOR:

Franco & Jess Muser

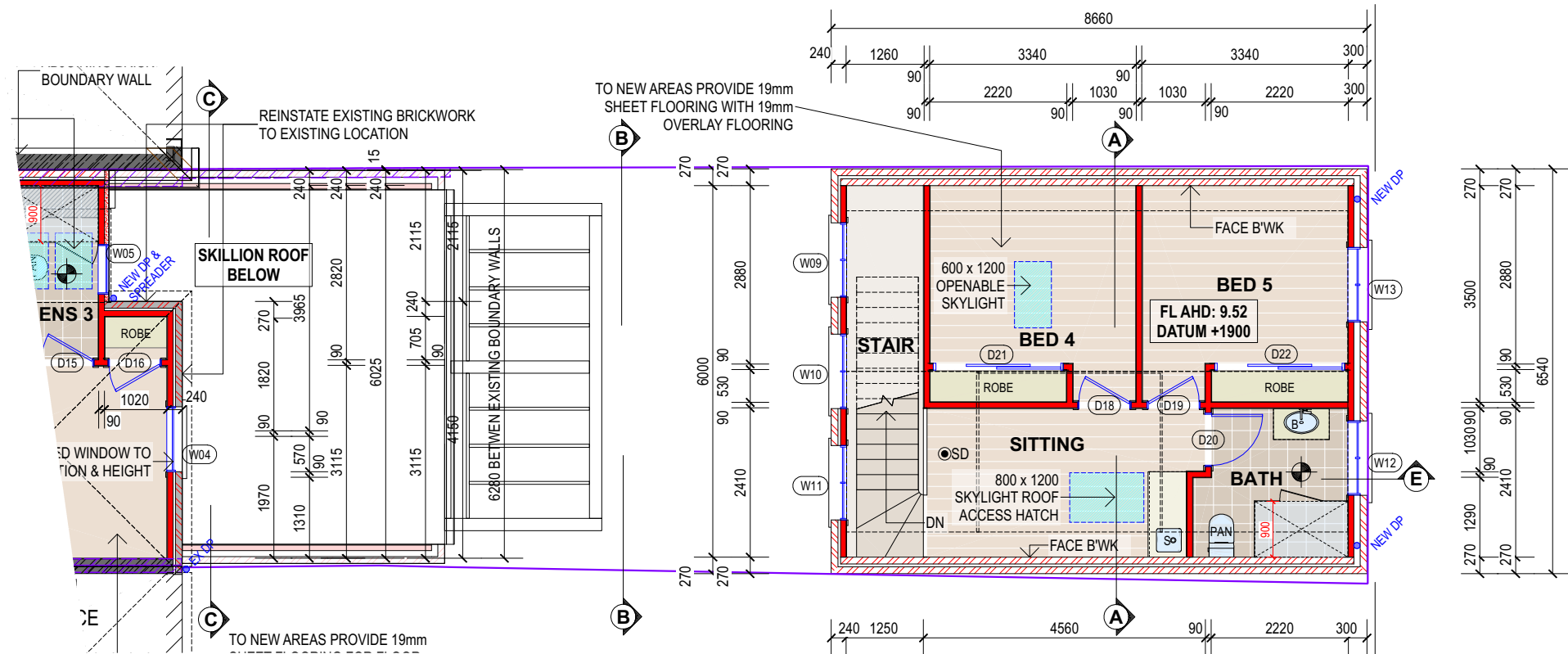
25 St Vincent Place South, Albert Park, Vic 3206

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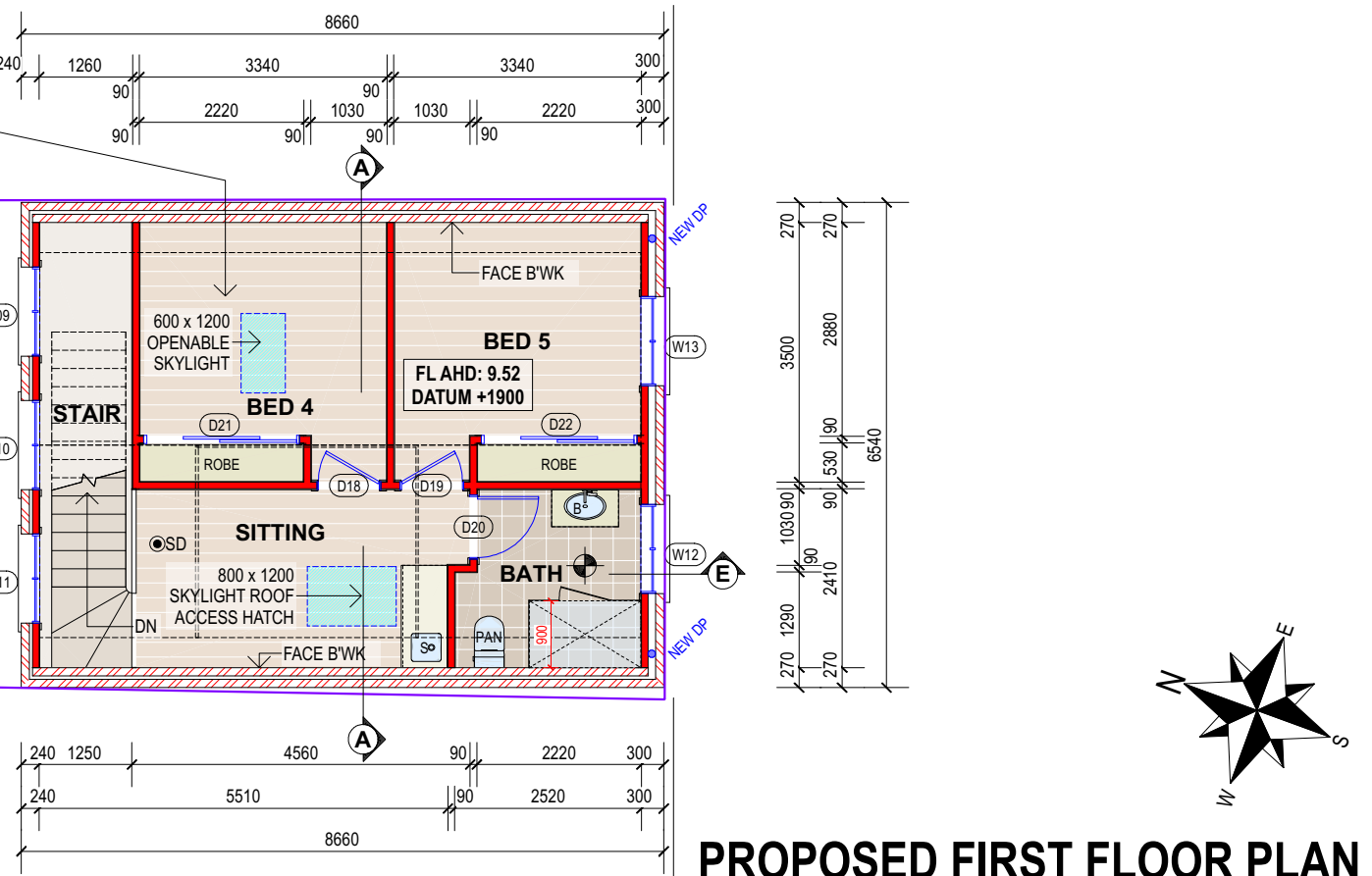
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DRAWN:	M. WATERS	EST:	SH
DATE:	02/07/2025	SHEET 12 OF 41	
SCALE:	1:100		



PROPOSED FIRST FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

●SD
SMOKE DETECTORS: INTER-CONNECTED & HARD WIRED TO MAINS POWER WITH BATTERY BACKUP AND INSTALLED IN ACCORDANCE WITH AS-3786

●
MECHANICAL EXHAUST FAN TO BE VENTED TO EXTERNAL AIR INSTALLED IN ACCORDANCE WITH AS-1668.2

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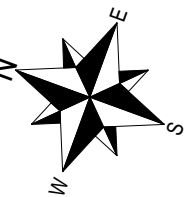
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...../...../2024 DATE

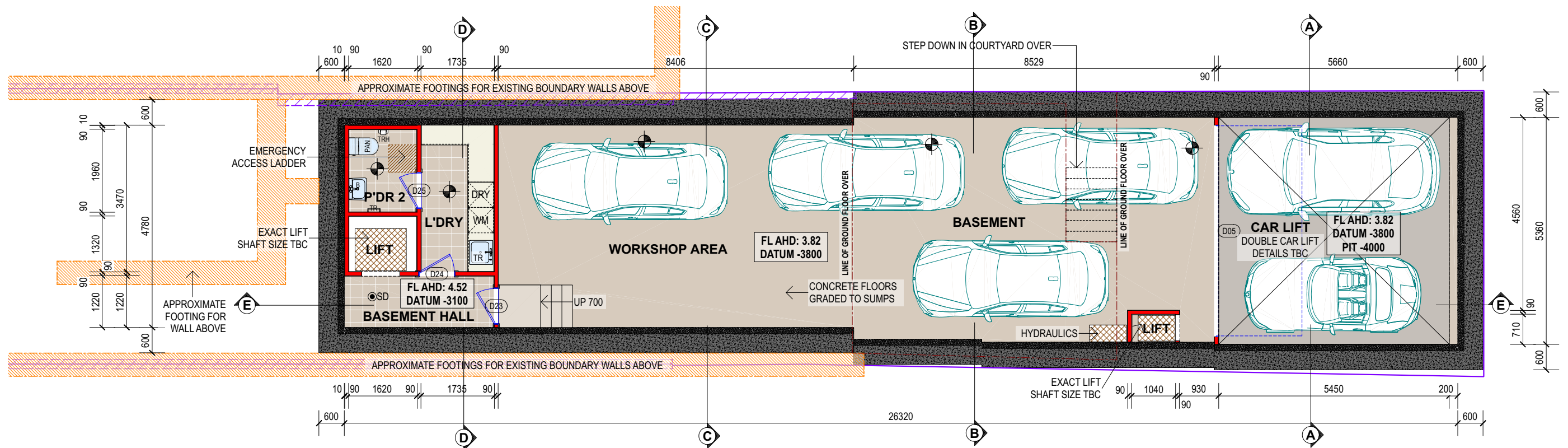
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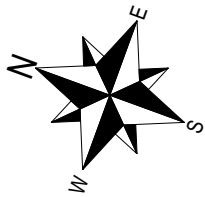
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DESIGN: TH JOB No: S905
DRAWN: M. WATERS EST: SH
DATE: 02/07/2025
SCALE: 1:100 SHEET 13 OF 41





PROPOSED BASEMENT FLOOR PLAN

- SD SMOKE DETECTORS: INTER-CONNECTED & HARD WIRED TO MAINS POWER WITH BATTERY BACKUP AND INSTALLED IN ACCORDANCE WITH AS-3786
- ⊕ MECHANICAL EXHAUST FAN TO BE VENTED TO EXTERNAL AIR INSTALLED IN ACCORDANCE WITH AS-1668.2



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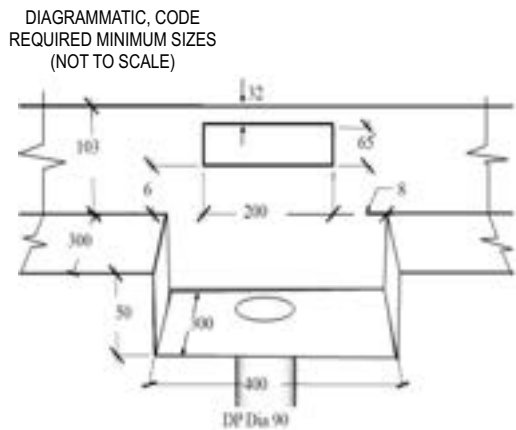
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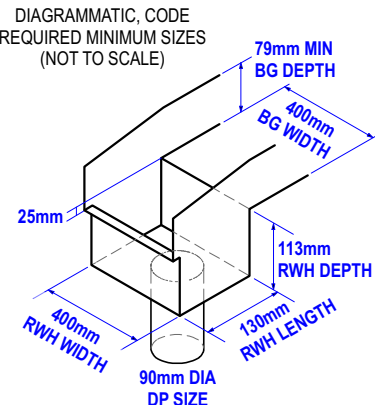
PROPOSED ADDITIONS & ALTERATIONS FOR:
Franco & Jess Muser
25 St Vincent Place South,
Albert Park, Vic 3206

PROPOSED BASEMENT FLOOR PLAN

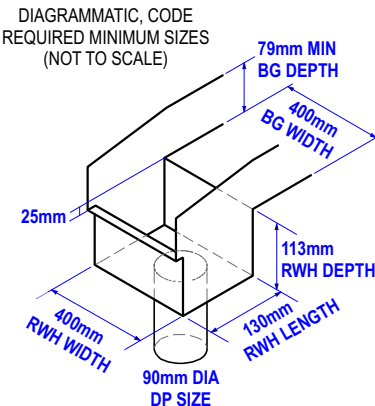
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DATE:	02/07/2025	SHEET 14 OF 41	
SCALE:	1:100		



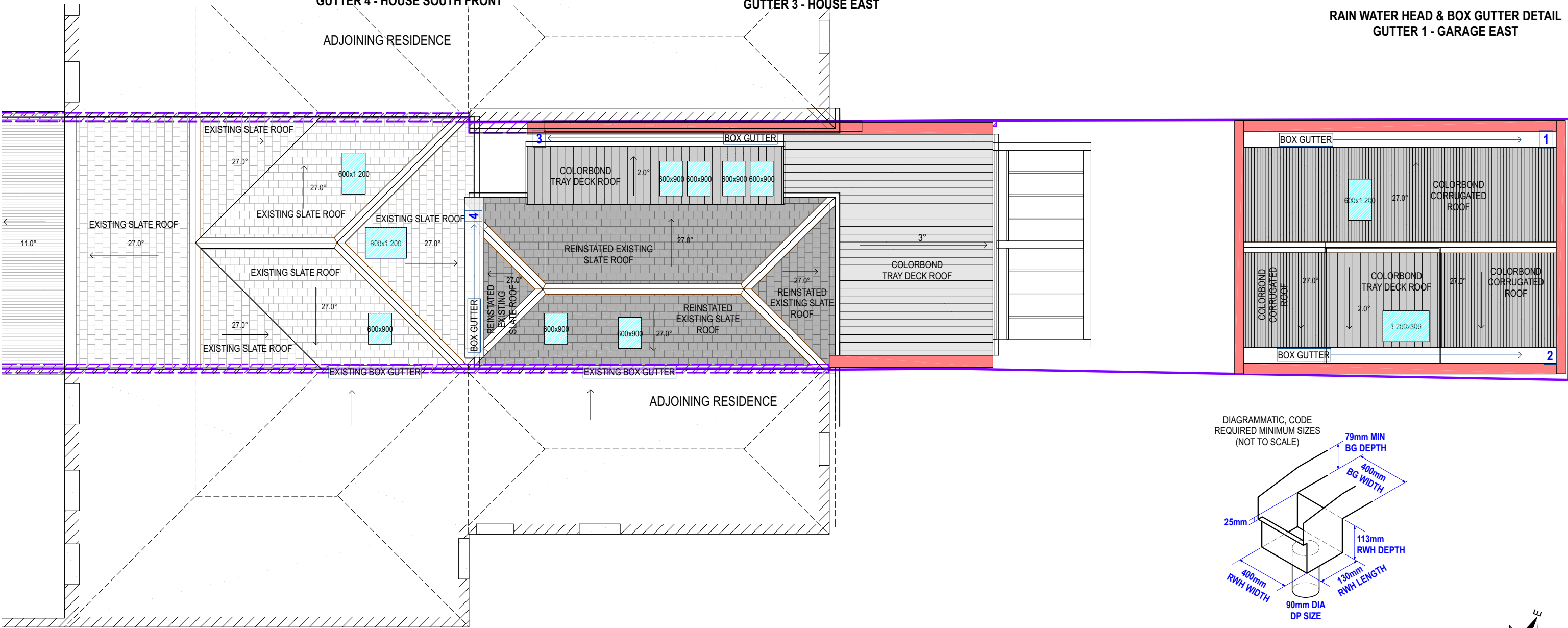
RAIN WATER HEAD & BOX GUTTER DETAIL
GUTTER 4 - HOUSE SOUTH FRONT



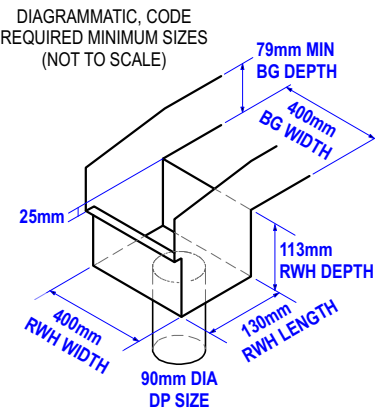
RAIN WATER HEAD & BOX GUTTER DETAIL
GUTTER 3 - HOUSE EAST



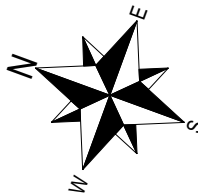
RAIN WATER HEAD & BOX GUTTER DETAIL
GUTTER 1 - GARAGE EAST



PROPOSED ROOF PLAN



RAIN WATER HEAD & BOX GUTTER DETAIL
GUTTER 2 - GARAGE WEST



PROPOSED ROOF PLAN

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THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED:/...../2024	OWNER	P 8873 7800 E improve@spacemaker.com.au								DRAWN:	M. WATERS	EST:	SH
	BUILDER	www.spacemaker.com.au								DATE:	02/07/2025	SHEET 15 OF 41	
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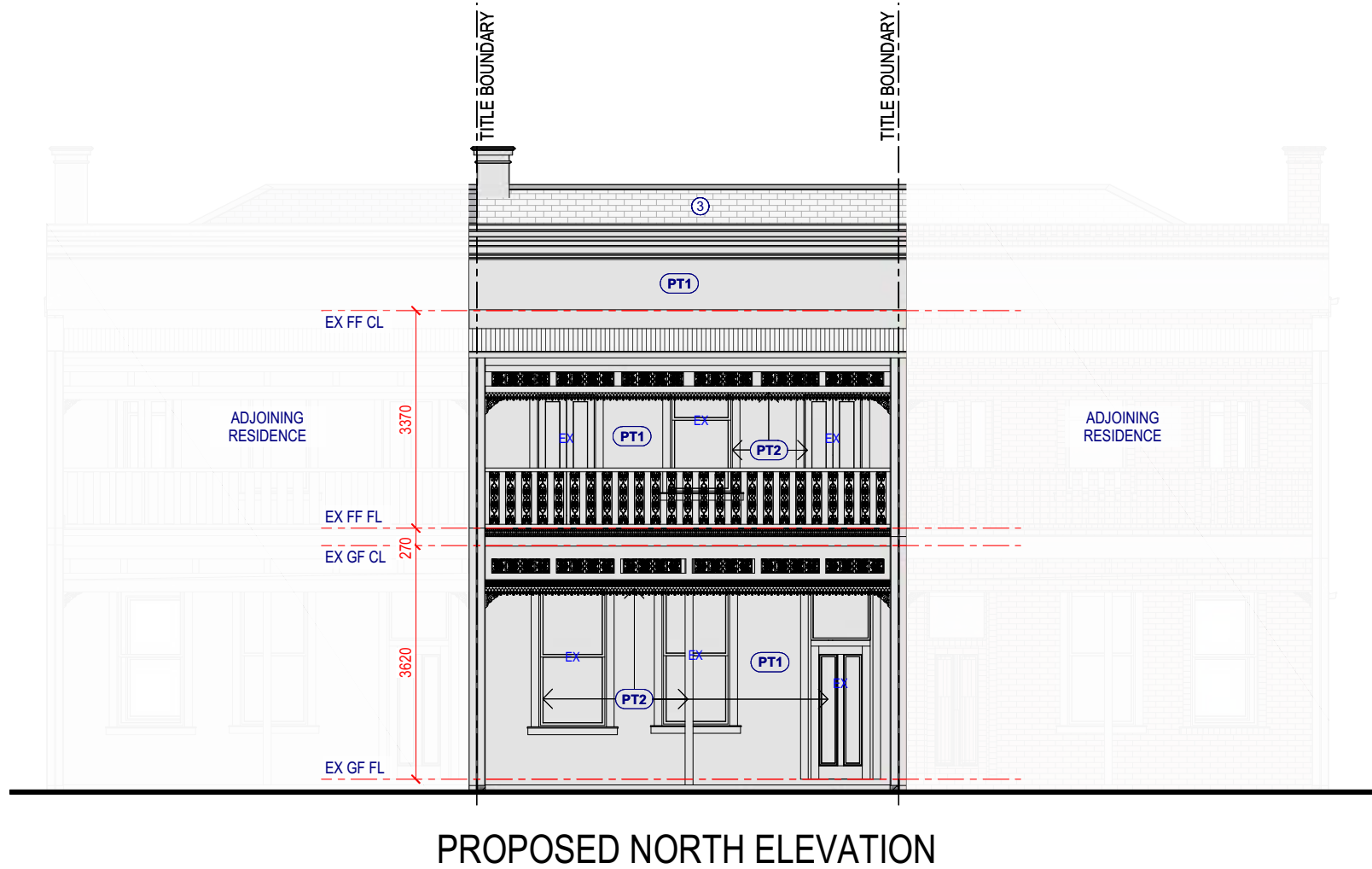
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DATE:	02/07/2025	SHEET 16 OF 41	
SCALE:			

BEVAN ST 3D VIEWS



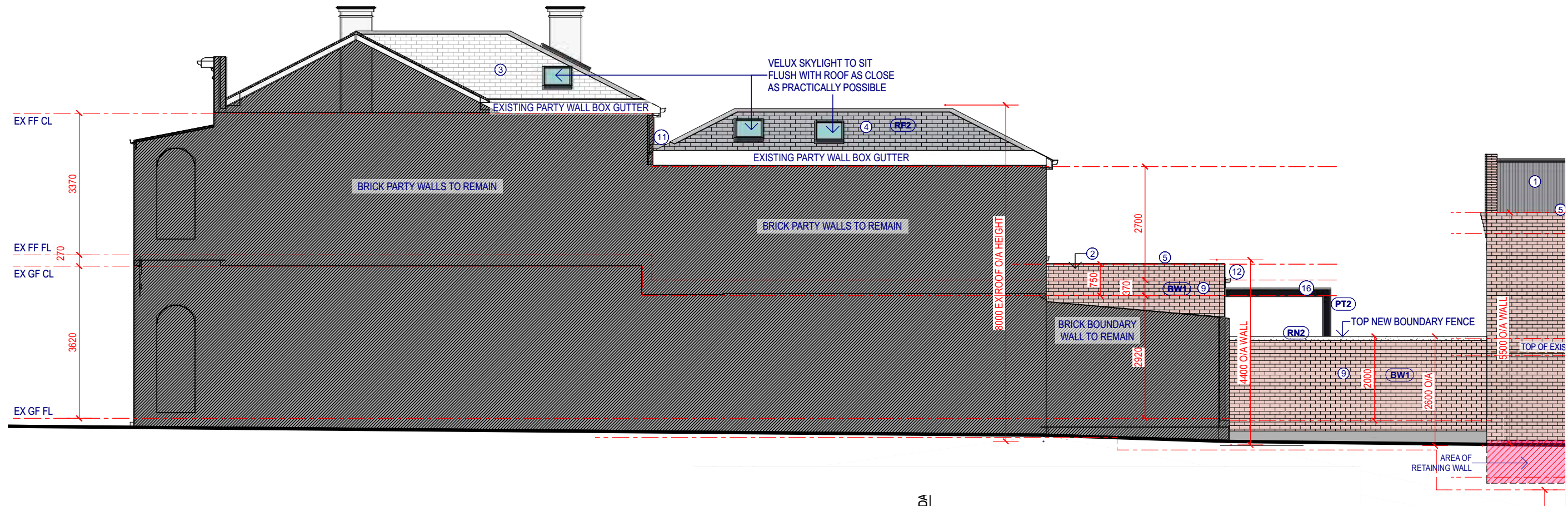
ELEVATION NOTES	
①	PROVIDE COLORBOND CORRUGATED ROOFING AT 27° PITCH
②	PROVIDE COLORBOND TRAY DECK ROOFING AT 2° FALL
③	EXISTING SLATE TILES
④	RECLAIMED EXISTING SLATE TILES
⑤	PROVIDE COLORBOND CAPPING FLASHING TO PARAPET WALLS
⑥	SUPPLY & INSTALL 75MM POLYPANEL NRG GREENBOARD WITH COLOR INTEGRATED ACRYLIC TROWELED ON HARBOUR FINE TEXTURE RENDER FINISH NO ALLOWANCE FOR PAINTING RENDERED FINISHES
⑦	CEMENT RENDER CONCRETE FINISH NO ALLOWANCE FOR PAINTING RENDERED FINISHES
⑧	RECLAIMED EXISTING PRESSED CLAY FACE BRICKWORK WITH STRUCK JOINTS
⑨	PROVIDE 20TH CENTURY RECLAIMED PRESSED CLAY FACE BRICKWORK WITH STRUCK JOINTS
⑩	PROVIDE ZEROBOUND FIRE RATED CLADDING ABOVE EXISTING BOUNDARY WALLS TO FACE OF STUD WALLS TO ACHIEVE 60/60/60 RATING PAINT FINISH BY OWNER
⑪	PROVIDE COLORBOND BOX GUTTERS, SUMPS & DOWN PIPES
⑫	PROVIDE COLORBOND QUAD GUTTER
⑬	GABLE END FACE BRICKWORK 2 ROWS STRETCHER BOND CORBELED ON RAKE
⑭	FACE BRICKWORK 7 COURSES CORBELLED PARAPET END DETAIL
⑮	PROJECTED HEADER & SILLS WITH CEMENT RENDER FINISH
⑯	STEEL FRAMED PERGOLA POWDER COAT OR PAINT FINISH

 PAINT - LIGHT GREY/ WHITE	 PAINT - DARK GREY/ BLACK	 BRICK - PRESSED RED	 BRICK-RECLAIMED EXISTING	 RENDER - DARK GREY	 RENDER - CEMENT	 CORRUGATED COLORBOND - DARK GREY/ BLACK	 SLATE-RECLAIMED EXISTING
 TRAYDECKING COLORBOND - DARK GREY/ BLACK	 GARAGE DOOR - MONUMENT	 FASCIA & GUTTER - DARK GREY/BLACK	 DP & FLASHINGS ETC - DARK GREY/BLACK	 METAL WINDOW FRAME - BLACK	 GLASS - CLEAR	 GLASS - REEDED	

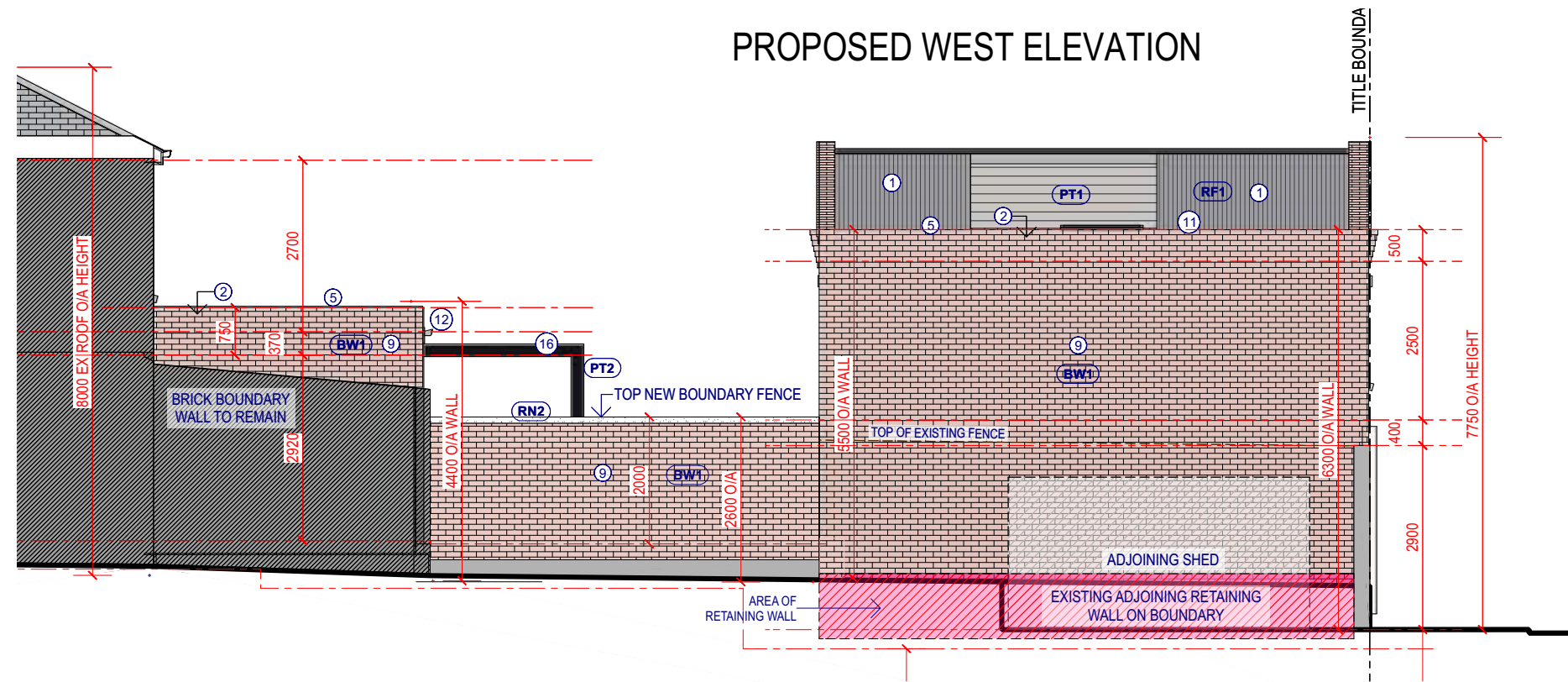
FINISHES SCHEDULE

PROPOSED ELEVATIONS

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	OWNER	P 8873 7800 E improve@spacemaker.com.au						DRAWN:	M. WATERS	EST:	SH
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PROPOSED WEST ELEVATION



PROPOSED WEST ELEVATION

ELEVATION NOTES	
①	PROVIDE COLORBOND CORRUGATED ROOFING AT 27° PITCH
②	PROVIDE COLORBOND TRAY DECK ROOFING AT 2° FALL
③	EXISTING SLATE TILES
④	RECLAIMED EXISTING SLATE TILES
⑤	PROVIDE COLORBOND CAPPING FLASHING TO PARAPET WALLS
⑥	SUPPLY & INSTALL 75MM POLYPANEL NRG GREENBOARD WITH COLOR INTEGRATED ACRYLIC TROWELED ON HARBOUR FINE TEXTURE RENDER FINISH NO ALLOWANCE FOR PAINTING RENDERED FINISHES
⑦	CEMENT RENDER CONCRETE FINISH NO ALLOWANCE FOR PAINTING RENDERED FINISHES
⑧	RECLAIMED EXISTING PRESSED CLAY FACE BRICKWORK WITH STRUCK JOINTS
⑨	PROVIDE 20TH CENTURY RECLAIMED PRESSED CLAY FACE BRICKWORK WITH STRUCK JOINTS
⑩	PROVIDE ZEROBOUND FIRE RATED CLADDING ABOVE EXISTING BOUNDARY WALLS TO FACE OF STUD WALLS TO ACHIEVE 60/60/60 RATING PAINT FINISH BY OWNER
⑪	PROVIDE COLORBOND BOX GUTTERS, SUMPS & DOWN PIPES
⑫	PROVIDE COLORBOND QUAD GUTTER
⑬	GABLE END FACE BRICKWORK 2 ROWS STRETCHER BOND CORBELED ON RAKE
⑭	FACE BRICKWORK 7 COURSES CORBELED PARAPET END DETAIL
⑮	PROJECTED HEADER & SILLS WITH CEMENT RENDER FINISH
⑯	STEEL FRAMED PERGOLA POWDER COAT OR PAINT FINISH

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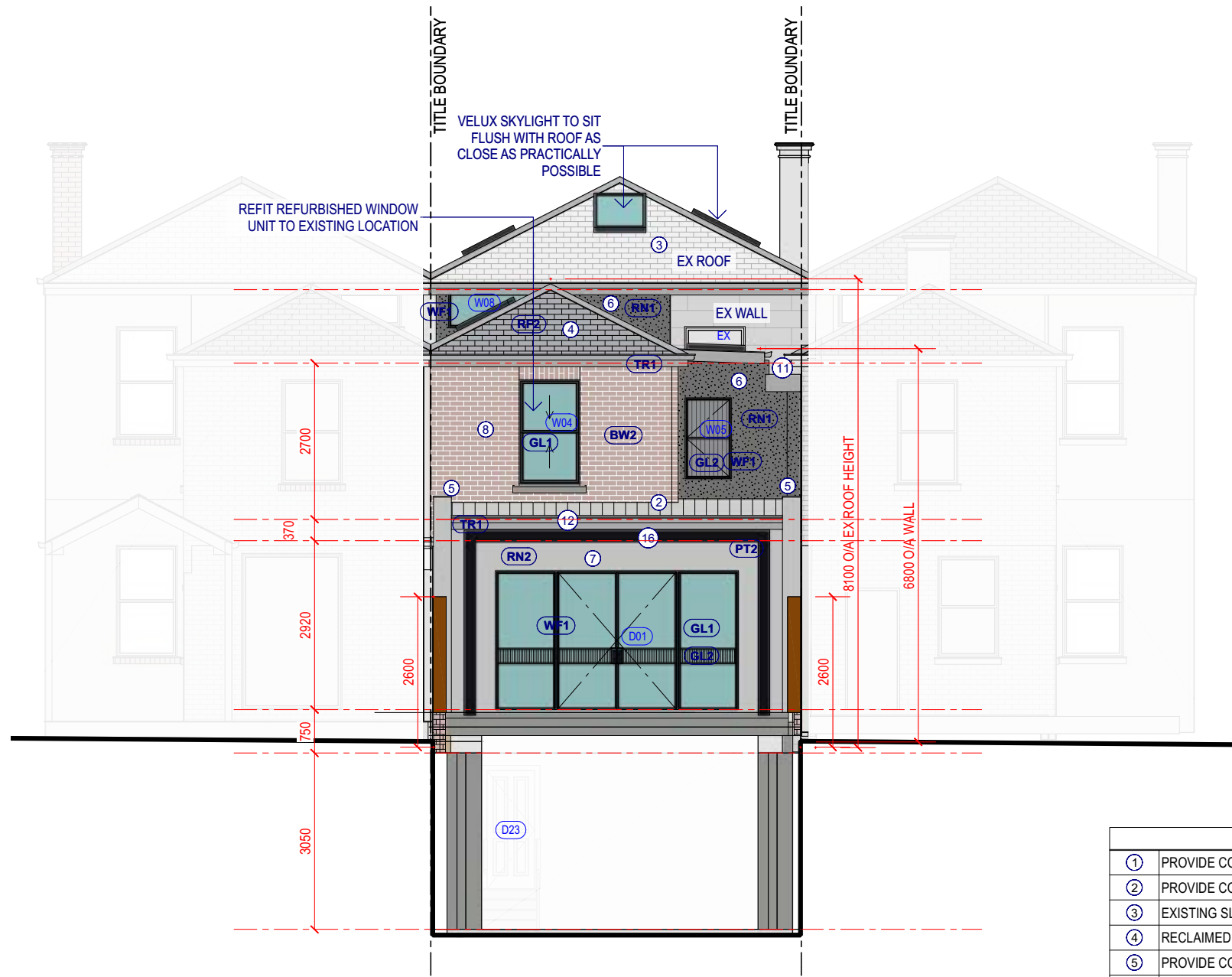
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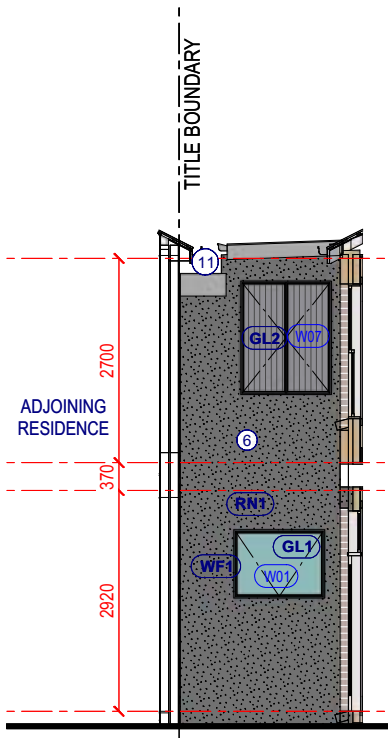
PROPOSED ELEVATIONS

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PROPOSED SOUTH ELEVATION



PROPOSED LIGHT COURT NORTH ELEVATION

ELEVATION NOTES

①	PROVIDE COLORBOND CORRUGATED ROOFING AT 27° PITCH
②	PROVIDE COLORBOND TRAY DECK ROOFING AT 2° FALL
③	EXISTING SLATE TILES
④	RECLAIMED EXISTING SLATE TILES
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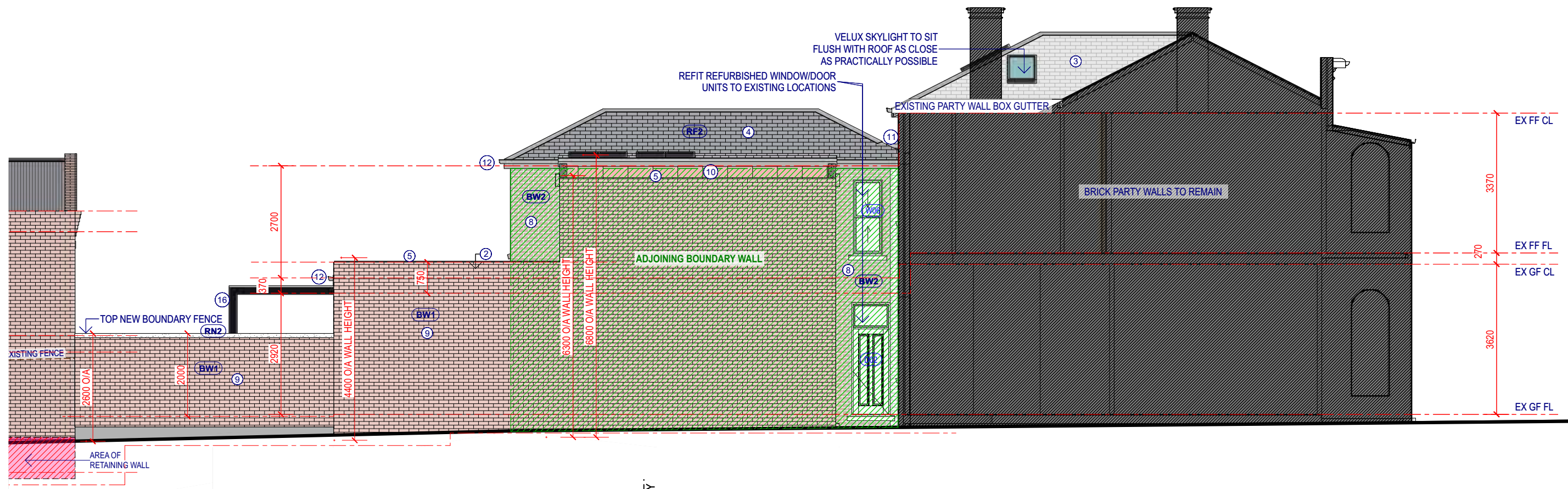
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PROPOSED ELEVATIONS

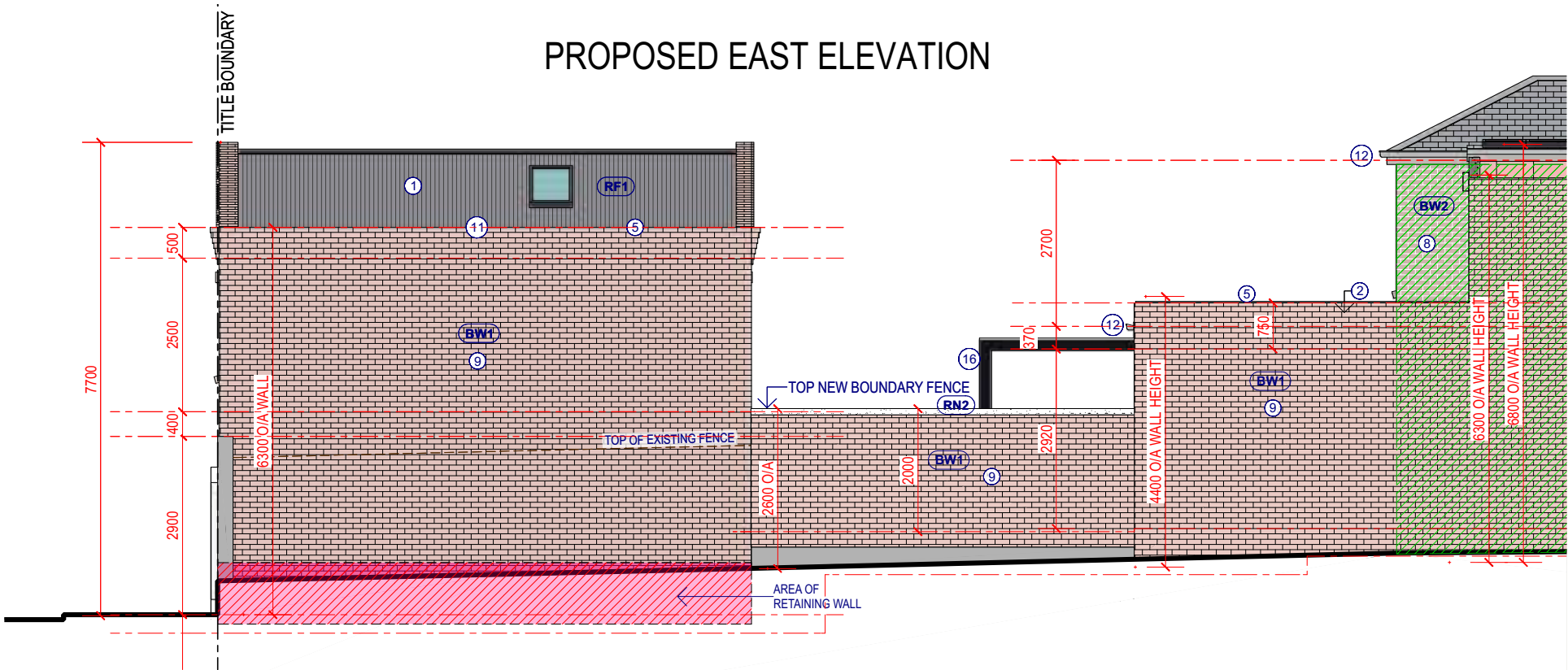
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PROPOSED EAST ELEVATION

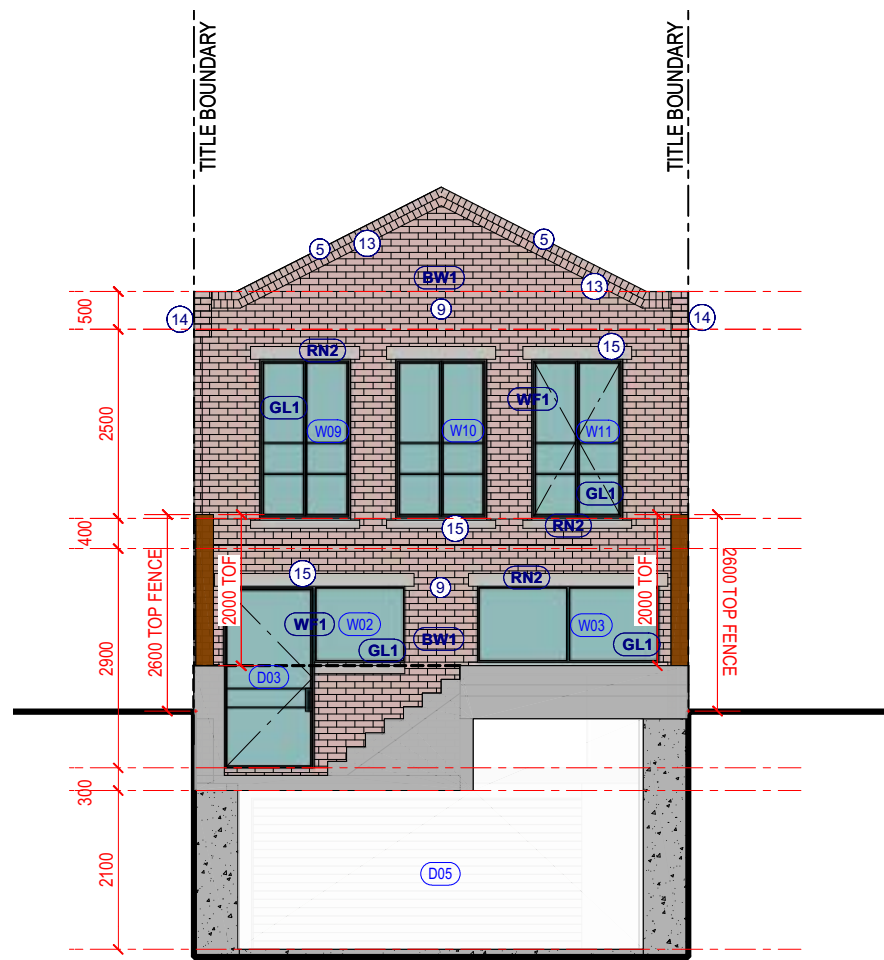
ELEVATION NOTES	
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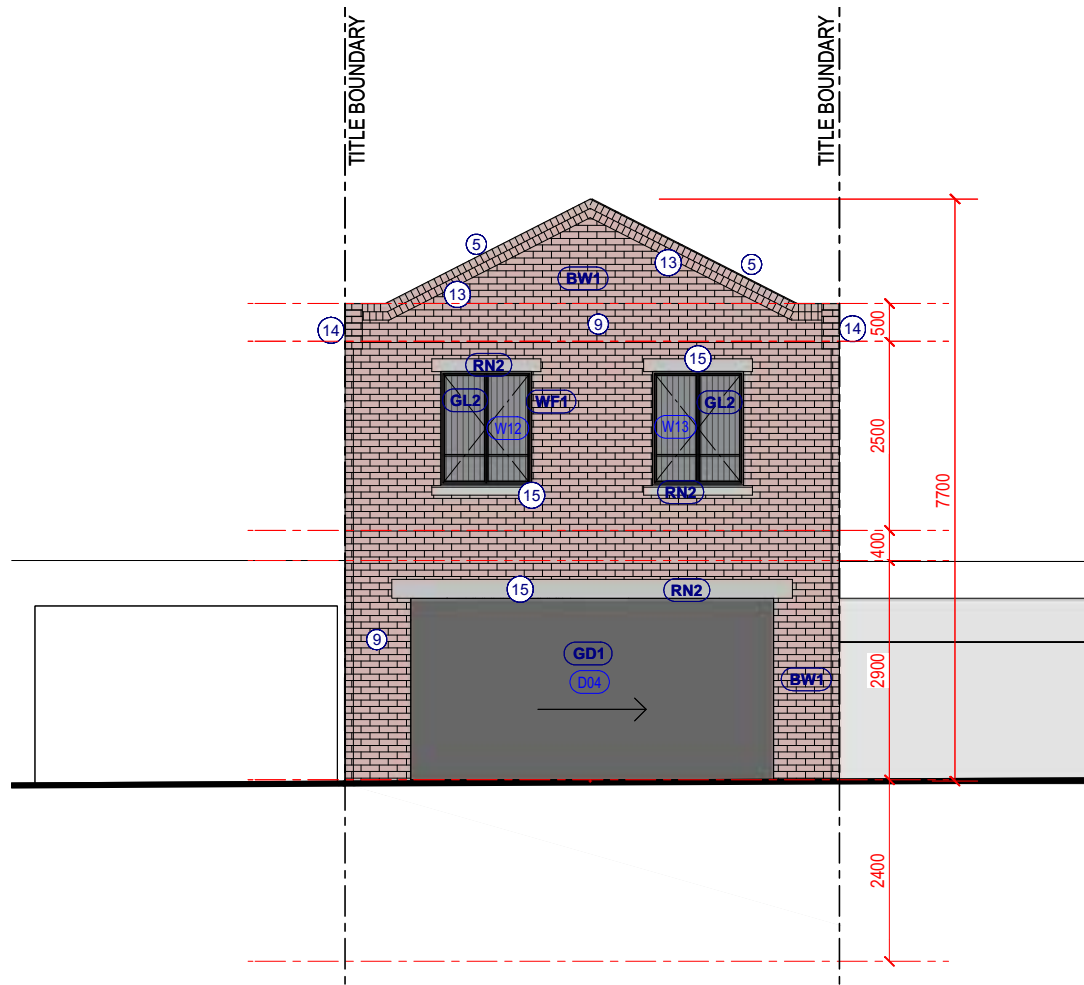
PROPOSED EAST ELEVATION

PROPOSED ELEVATIONS

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	BUILDER	www.spacemaker.com.au					PROPOSED ADDITIONS & ALTERATIONS FOR: Franco & Jess Muser 25 St Vincent Place South, Albert Park, Vic 3206		DESIGN:	TH	JOB No:
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									DATE:	02/07/2025	SHEET OF 20 OF 41	
								SCALE:	1:100			



PROPOSED NORTH ELEVATION -GARAGE

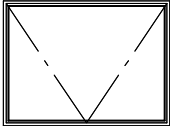
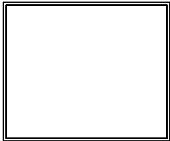
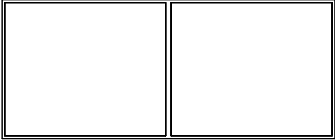
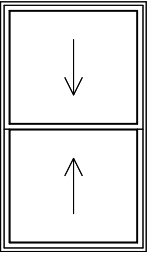


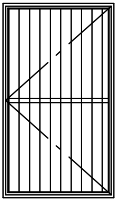
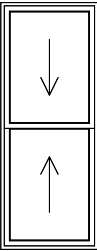
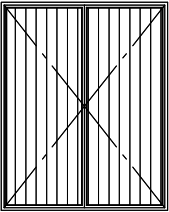

PROPOSED SOUTH ELEVATION -GARAGE

ELEVATION NOTES	
①	PROVIDE COLORBOND CORRUGATED ROOFING AT 27° PITCH
②	PROVIDE COLORBOND TRAY DECK ROOFING AT 2° FALL
③	EXISTING SLATE TILES
④	RECLAIMED EXISTING SLATE TILES
⑤	PROVIDE COLORBOND CAPPING FLASHING TO PARAPET WALLS
⑥	SUPPLY & INSTALL 75MM POLYPANEL NRG GREENBOARD WITH COLOR INTEGRATED ACRYLIC TROWELED ON HARBOUR FINE TEXTURE RENDER FINISH NO ALLOWANCE FOR PAINTING RENDERED FINISHES
⑦	CEMENT RENDER CONCRETE FINISH NO ALLOWANCE FOR PAINTING RENDERED FINISHES
⑧	RECLAIMED EXISTING PRESSED CLAY FACE BRICKWORK WITH STRUCK JOINTS
⑨	PROVIDE 20TH CENTURY RECLAIMED PRESSED CLAY FACE BRICKWORK WITH STRUCK JOINTS
⑩	PROVIDE ZEROBOUND FIRE RATED CLADDING ABOVE EXISTING BOUNDARY WALLS TO FACE OF STUD WALLS TO ACHIEVE 60/60/60 RATING PAINT FINISH BY OWNER
⑪	PROVIDE COLORBOND BOX GUTTERS, SUMPS & DOWN PIPES
⑫	PROVIDE COLORBOND QUAD GUTTER
⑬	GABLE END FACE BRICKWORK 2 ROWS STRETCHER BOND CORBELED ON RAKE
⑭	FACE BRICKWORK 7 COURSES CORBELLED PARAPET END DETAIL
⑮	PROJECTED HEADER & SILLS WITH CEMENT RENDER FINISH
⑯	STEEL FRAMED PERGOLA POWDER COAT OR PAINT FINISH

PROPOSED ELEVATIONS			
TOWN PLANNING DRAWINGS			
DESIGN:	TH	JOB No:	S905
DRAWN:	M. WATERS	EST:	SH
DATE:	02/07/2025	SHEET 21 OF 41	
SCALE:	1:100		

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.....OWNEROWNERBUILDER						

WINDOW SCHEDULE							
NUMBER	EXTERIOR ELEVATION	FLOOR	ROOM NAME	HEIGHT	WIDTH	HEAD HEIGHT	DESCRIPTION
W01		1	WIP	900	1200	2400	AWNING WINDOW STEEL FRAME CLEAR DOUBLE GLAZING-AUDIO SHIELD TO CODE NO FLYSCREENS POLYPANEL CONSTRUCTION STANDARD HARDWARE
W02		1	GARAGE/ COURTYARD	1000	1200	2500	FIXED WINDOW STEEL FRAME CLEAR DOUBLE GLAZING -AUDIO SHIELD TO CODE BRICK VENEER CONSTRUCTION
W03		1	GARAGE/ COURTYARD	1000	2400	1050	FIXED WINDOWS STEEL FRAME CLEAR DOUBLE GLAZING -AUDIO SHIELD TO CODE BRICK VENEER CONSTRUCTION
W04		2	BED 3	1800	1050	2410	EXISTING REFURBISHED DOUBLE HUNG WINDOW EXISTING TIMBER FRAME CLEAR DOUBLE GLAZING TO CODE NO FLYSCREENS RESTRICTED OPENING TO 120MM MAX BRICK VENEER CONSTRUCTION

WINDOW SCHEDULE							
NUMBER	EXTERIOR ELEVATION	FLOOR	ROOM NAME	HEIGHT	WIDTH	HEAD HEIGHT	DESCRIPTION
W05		2	ENS 3	1400	800	2100	CASEMENT WINDOW STEEL FRAME REEDED DOUBLE GLAZING-AUDIO SHIELD GRADE A SAFETY GLASS TO CODE NO FLYSCREENS POLYPANEL CONSTRUCTION STANDARD HARDWARE
W06		2	WIR 2	1780	700	2360	EXISTING REFURBISHED DOUBLE HUNG WINDOW EXISTING TIMBER FRAME CLEAR DOUBLE GLAZING TO CODE NO FLYSCREENS BRICK VENEER CONSTRUCTION
W07		2	BED 2	1500	1200	2400	CASEMENT WINDOWS STEEL FRAME REEDED DOUBLE GLAZING-AUDIO SHIELD GRADE A SAFETY GLASS TO CODE NO FLYSCREENS RESTRICTED OPENING TO 120MM MAX POLYPANEL CONSTRUCTION STANDARD HARDWARE
W08		3	GALLERY	600	1600		FIXED WINDOW STEEL FRAME CLEAR DOUBLE GLAZING-AUDIO SHIELD TO CODE POLYPANEL CONSTRUCTION

WINDOW SCHEDULE

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DESIGN: TH

JOB No: S905

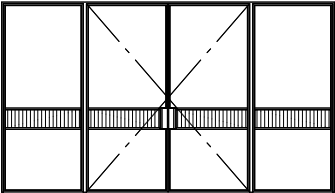
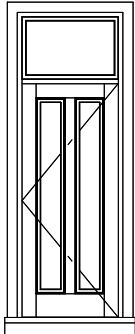
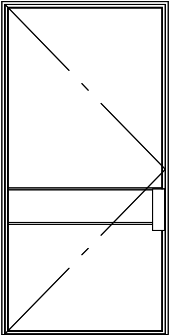
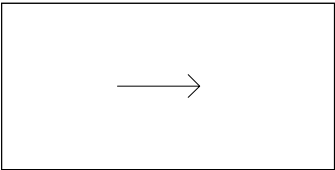
DRAWN: M. WATERS

EST: SH

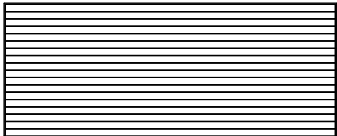
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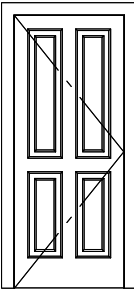
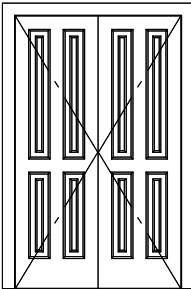
SHEET 22 OF 41

EXTERNAL DOOR SCHEDULE							
NUMBER	EXTERIOR ELEVATION	FLOOR	ROOM NAME	HEIGHT	WIDTH	HEAD HEIGHT	DESCRIPTION
D01		1	LIVING/ COURTYARD	2400	4200	2400	FULLY GLAZED DOUBLE HINGED DOORS & FIXED SIDE LIGHTS STEEL FRAME DOUBLE GLAZING-AUDIO SHIELD/GRADE A SAFETY GLASS TO CODE REEDED DOUBLE GLAZED TO CENTRE PANELS NO SCREEN DOORS BRICK VENEER CONSTRUCTION PROVIDE DUMMY HANDLE TO SECOND DOOR HANDLES AT 1000MM VENTILATION AREA: 5.0M²
D02		1	P'DR 1	2650	850	2650	EXISTING HINGED DOOR & HIGH LIGHT EXISTING TIMBER FRAME DOUBLE GLAZING TO CODE NO SCREEN DOOR BRICK VENEER CONSTRUCTION
D03		1	GARAGE/ COURTYARD	2400	1200	2500	FULLY GLAZED HINGED DOOR STEEL FRAME DOUBLE GLAZING-AUDIO SHIELD/GRADE A SAFETY GLASS TO CODE NO SCREEN DOOR BRICK VENEER CONSTRUCTION HANDLES AT 1000MM
D04		1	GARAGE	2400	4800	2400	GARAGE DOOR GERMAN MADE 4DDOORS INSULATED GERMAN SIDE SLIDING SECTIONAL GARAGE DOOR 2 REMOTE OPENERS

EXTERNAL DOOR SCHEDULE

EXTERNAL DOOR SCHEDULE							
NUMBER	EXTERIOR ELEVATION	FLOOR	ROOM NAME	HEIGHT	WIDTH	HEAD HEIGHT	DESCRIPTION
D05		0	BASEMENT/ CAR LIFT	2000	5000	2000	PANEL LIFT DOOR WITH MINIMAL HEAD CLEARANCE LINKED INTO CAR LIFT

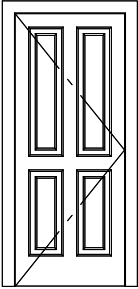
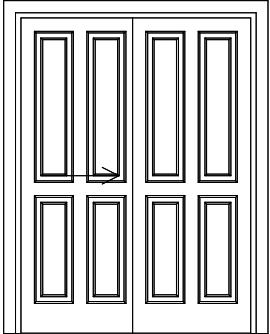
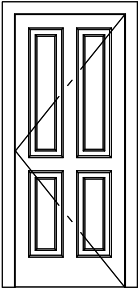
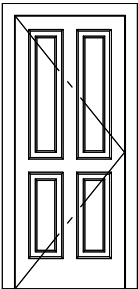
EXTERNAL DOOR SCHEDULE

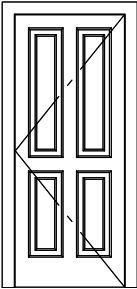
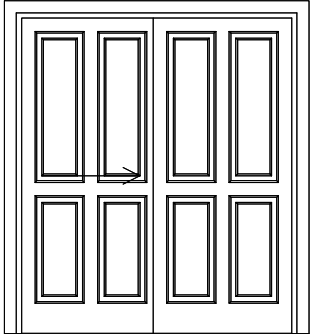
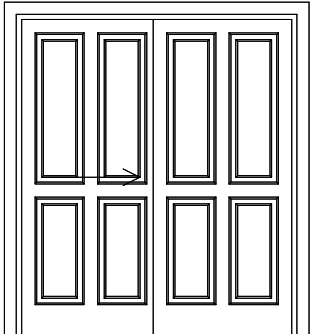
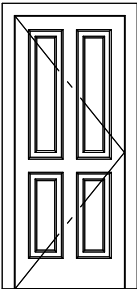
INTERIOR DOOR SCHEDULE							
NUMBER	EXTERIOR ELEVATION	FLOOR	ROOM NAME	HEIGHT	WIDTH	HEAD HEIGHT	DESCRIPTION
D06		1	ENTRY HALL/P'DR 1	2040	820	2040	HINGED DOOR 4 PANEL MDF LIFT OFF HINGES PRIVACY LOCK
D07		1	STORE/ ENTRY HALL	2040	1240	2040	HINGED DOORS 4 PANEL MDF

INTERNAL DOOR SCHEDULE

DOOR SCHEDULE

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BUILDER	www.spacemaker.com.au					DRAWN:	M. WATERS	EST:	SH	
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					SCALE:						
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INTERIOR DOOR SCHEDULE							
NUMBER	EXTERIOR ELEVATION	FLOOR	ROOM NAME	HEIGHT	WIDTH	HEAD HEIGHT	DESCRIPTION
D16		2	BED 3/ROBE	2040	820	2040	HINGED DOOR 4 PANEL MDF
D17		2	BED 3/ROBE	2400	1800	2400	SLIDING ROBE DOORS 4 PANLE MDF
D18		2	BED 4/ SITTING	2040	820	2040	HINGED DOOR 4 PANEL MDF
D19		2	BED 5/ SITTING	2040	820	2040	HINGED DOOR 4 PANEL MDF

INTERIOR DOOR SCHEDULE							
NUMBER	EXTERIOR ELEVATION	FLOOR	ROOM NAME	HEIGHT	WIDTH	HEAD HEIGHT	DESCRIPTION
D20		2	SITTING/ BATH	2040	820	2040	HINGED DOOR 4 PANEL MDF LIFT OFF HINGES PRIVACY LOCK
D21		2	BED 4/ROBE	2400	2100	2400	SLIDING ROBE DOORS 4 PANLE MDF
D22		2	BED 5/ROBE	2400	2100	2400	SLIDING ROBE DOORS 4 PANLE MDF
D23		0	BASEMENT HALL/ WORKSHOP AREA	2040	820	2040	HINGED DOOR 4 PANEL MDF

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INTERNAL DOOR SCHEDULE

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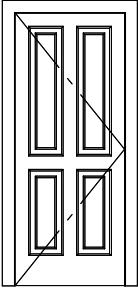
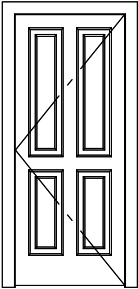
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DESIGN:	TH	JOB No:	S905
DRAWN:	M. WATERS	EST:	SH
DATE:	02/07/2025	SHEET 26 OF 41	
SCALE:			

INTERIOR DOOR SCHEDULE							
NUMBER	EXTERIOR ELEVATION	FLOOR	ROOM NAME	HEIGHT	WIDTH	HEAD HEIGHT	DESCRIPTION
D24		0	L'DRY/ BASEMENT HALL	2040	820	2040	HINGED DOOR 4 PANEL MDF
D25		0	L'DRY/P'DR 2	2040	820	2040	HINGED DOOR 4 PANEL MDF LIFT OFF HINGES PRIVACY LOCK

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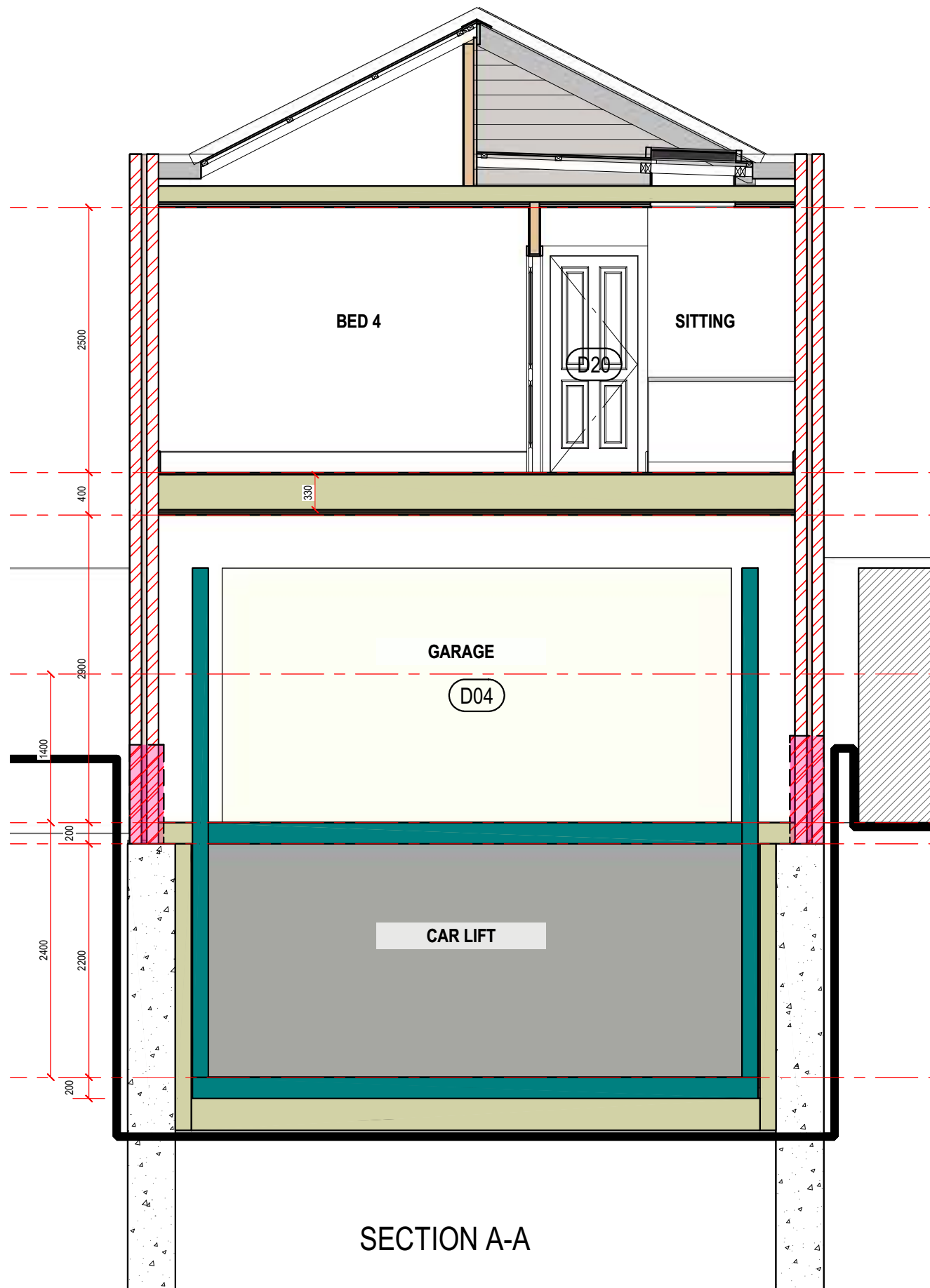
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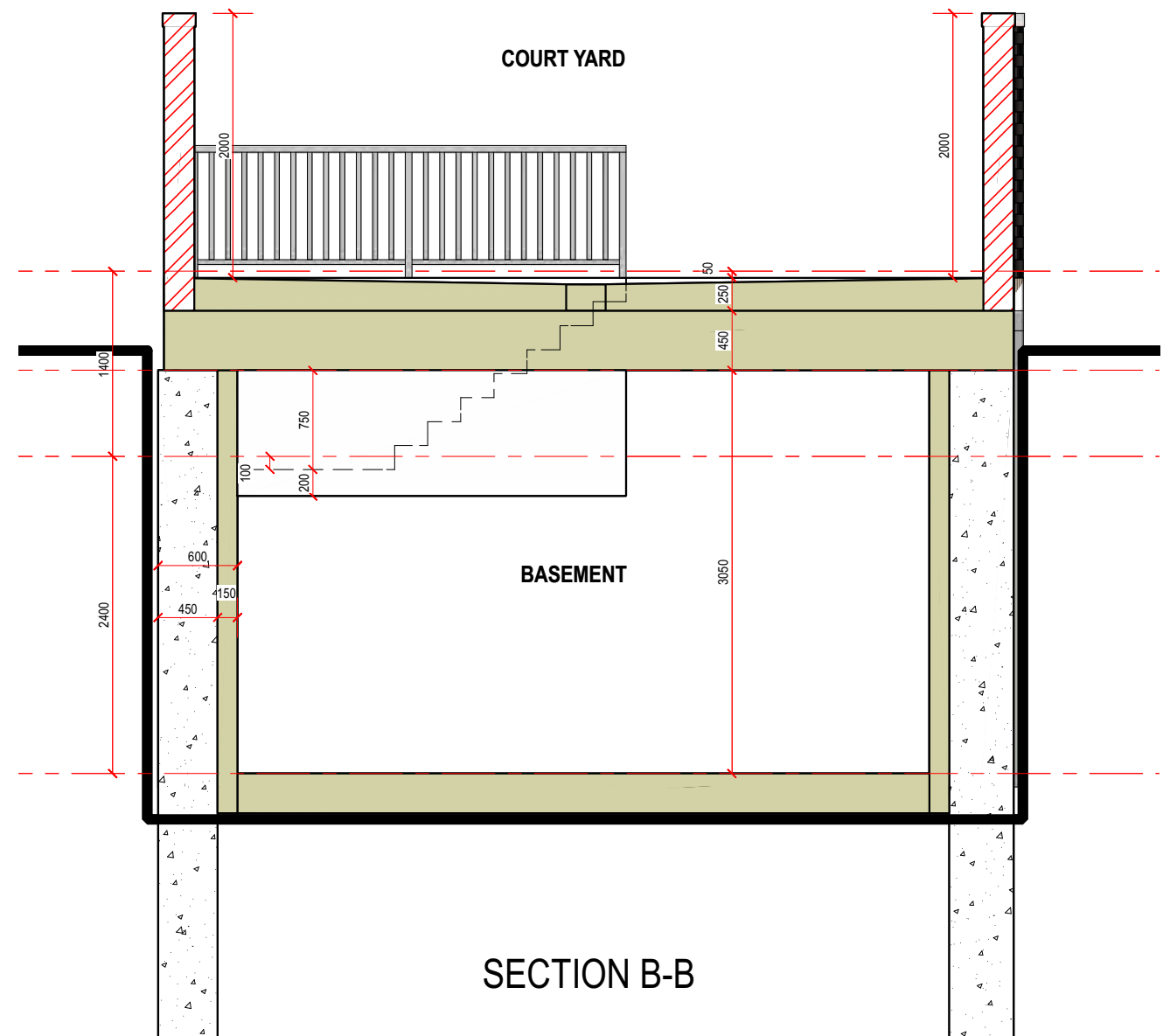
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INTERNAL DOOR SCHEDULE



SECTION A-A



SECTION B-B

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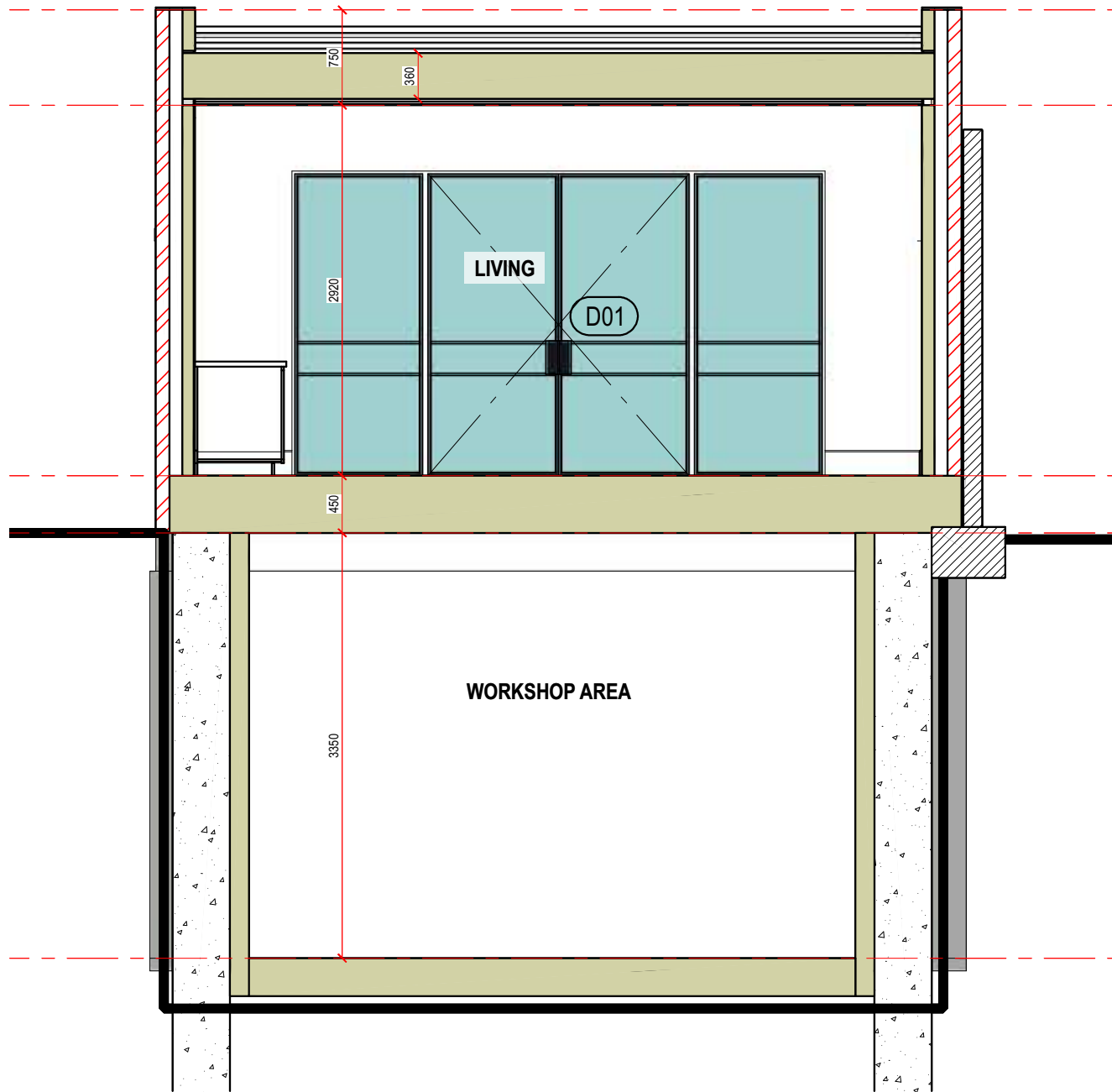
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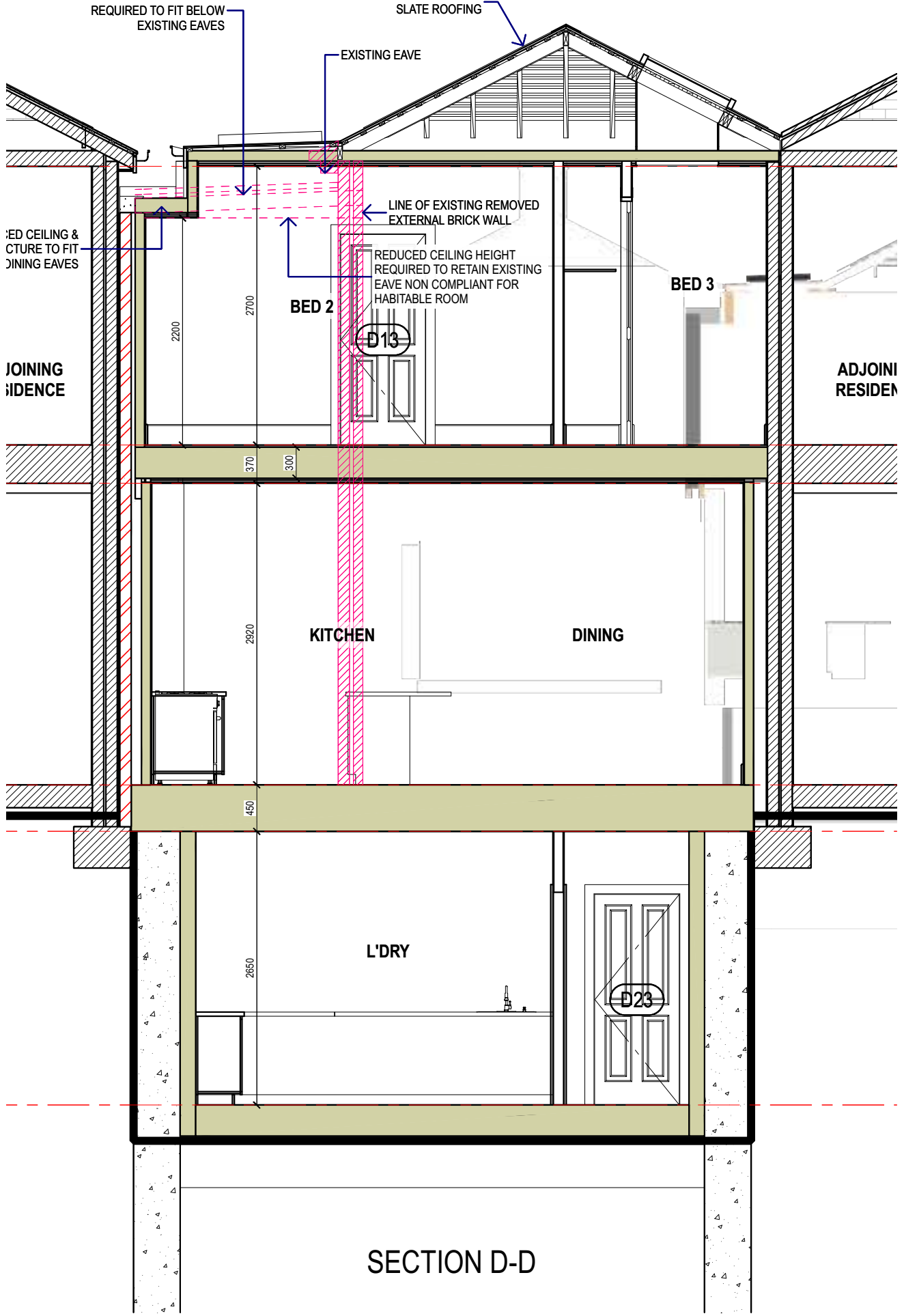
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SECTION



SECTION C-C



SECTION D-D

SECTION

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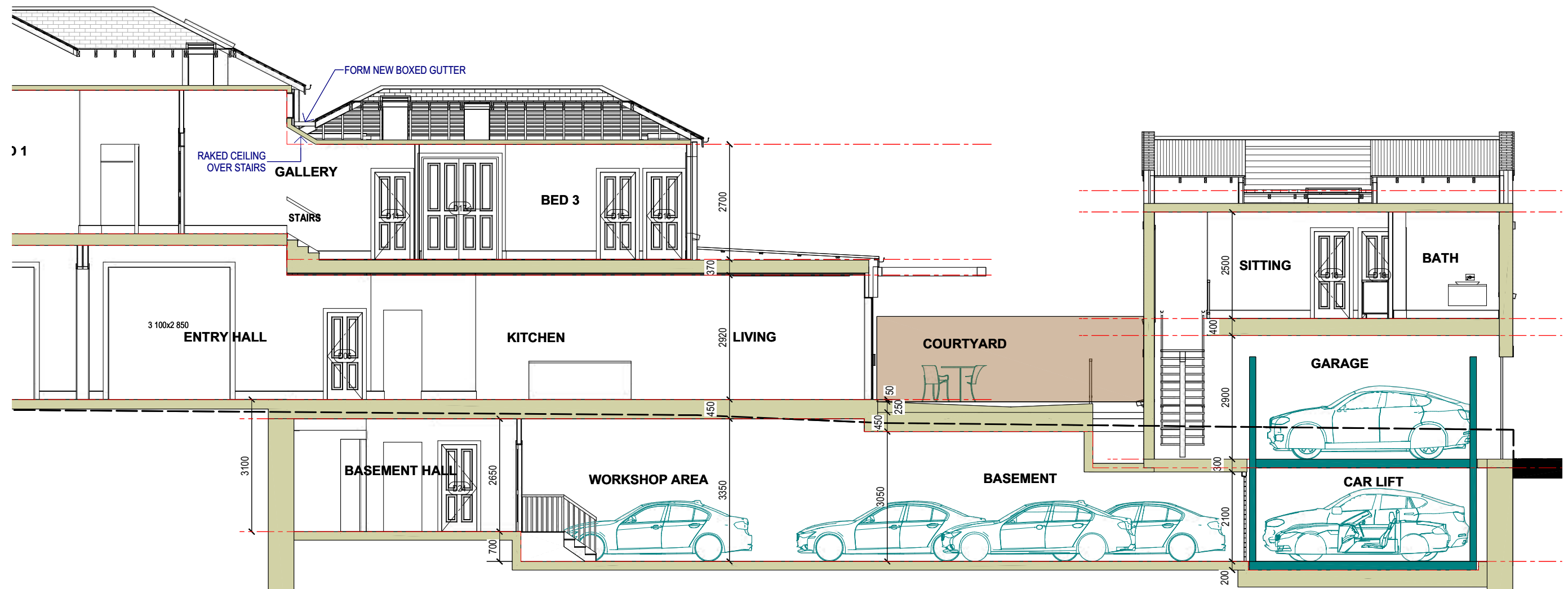
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SCALE:	1:50		



SECTION E-E

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DRAWN:	M. WATERS	EST:	SH
DATE:	02/07/2025	SHEET 30 OF 41	
SCALE:	1:100		

SECTION



GARAGE FROM COURTYARD



REAR GARAGE

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						TOWN PLANNING DRAWINGS			
						DESIGN:	TH	JOB No:	S905
						DRAWN:	M. WATERS	EST:	SH
						DATE:	02/07/2025	SHEET 31 OF 41	
						SCALE:			

3D VIEWS

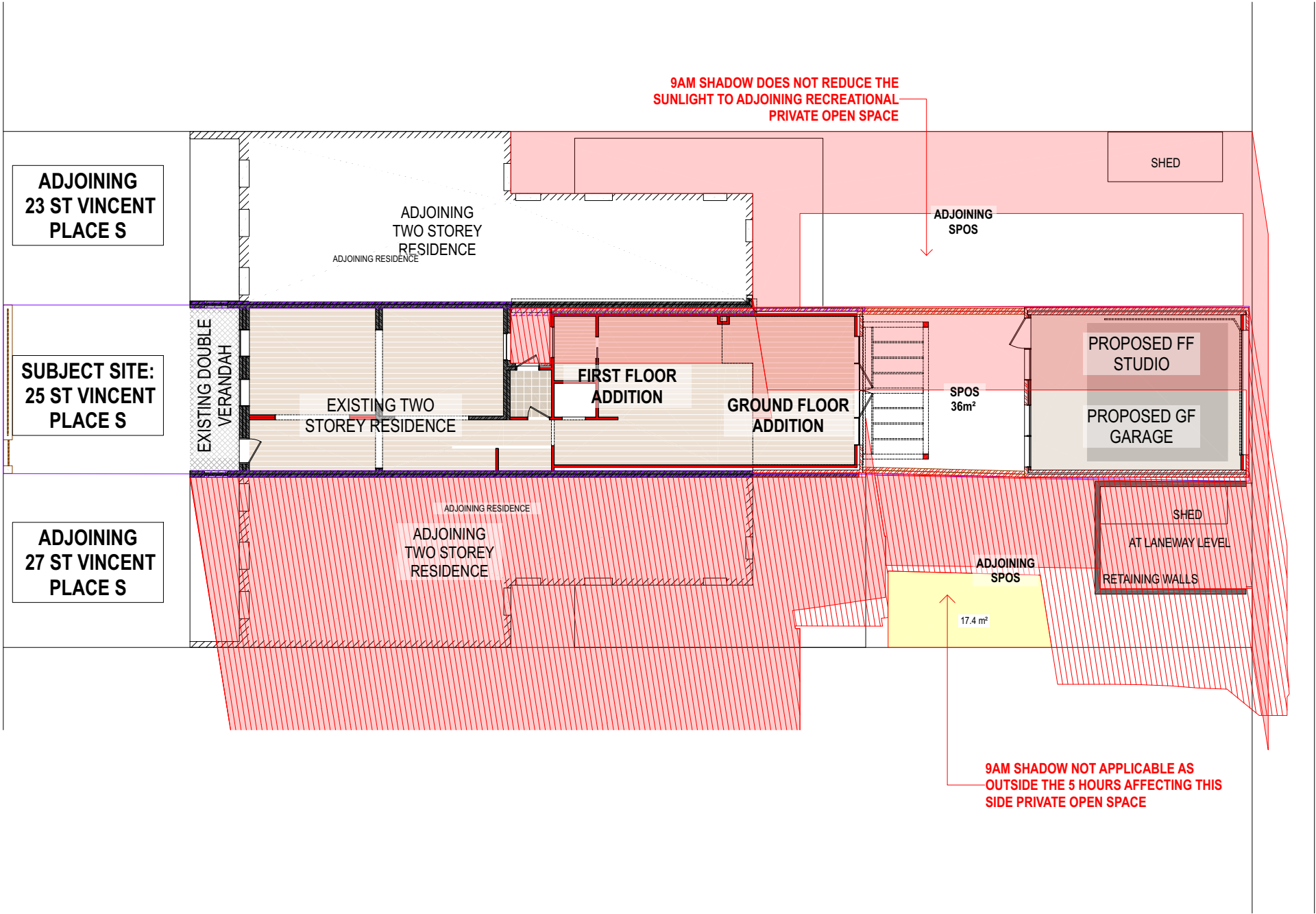


REAR AERIAL VIEW

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	OWNER	ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884 P 8873 7800 E improve@spacemaker.com.au										
THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED:/...../2024	BUILDER	www.spacemaker.com.au				<u>PROPOSED ADDITIONS & ALTERATIONS FOR:</u> Franco & Jess Muser 25 St Vincent Place South, Albert Park, Vic 3206		DESIGN:	TH	JOB No:	S905	
									DRAWN:	M. WATERS	EST:	SH	
									DATE:	02/07/2025	SHEET 32 OF 41		
/...../2024 DATE			SCALE:									

3D VIEWS

ST VINCENT PLACE SOUTH

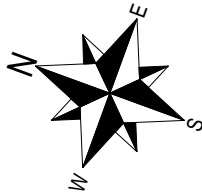


BEVAN SREET

SHADOW LEGEND FOR: 22 SEPTEMBER



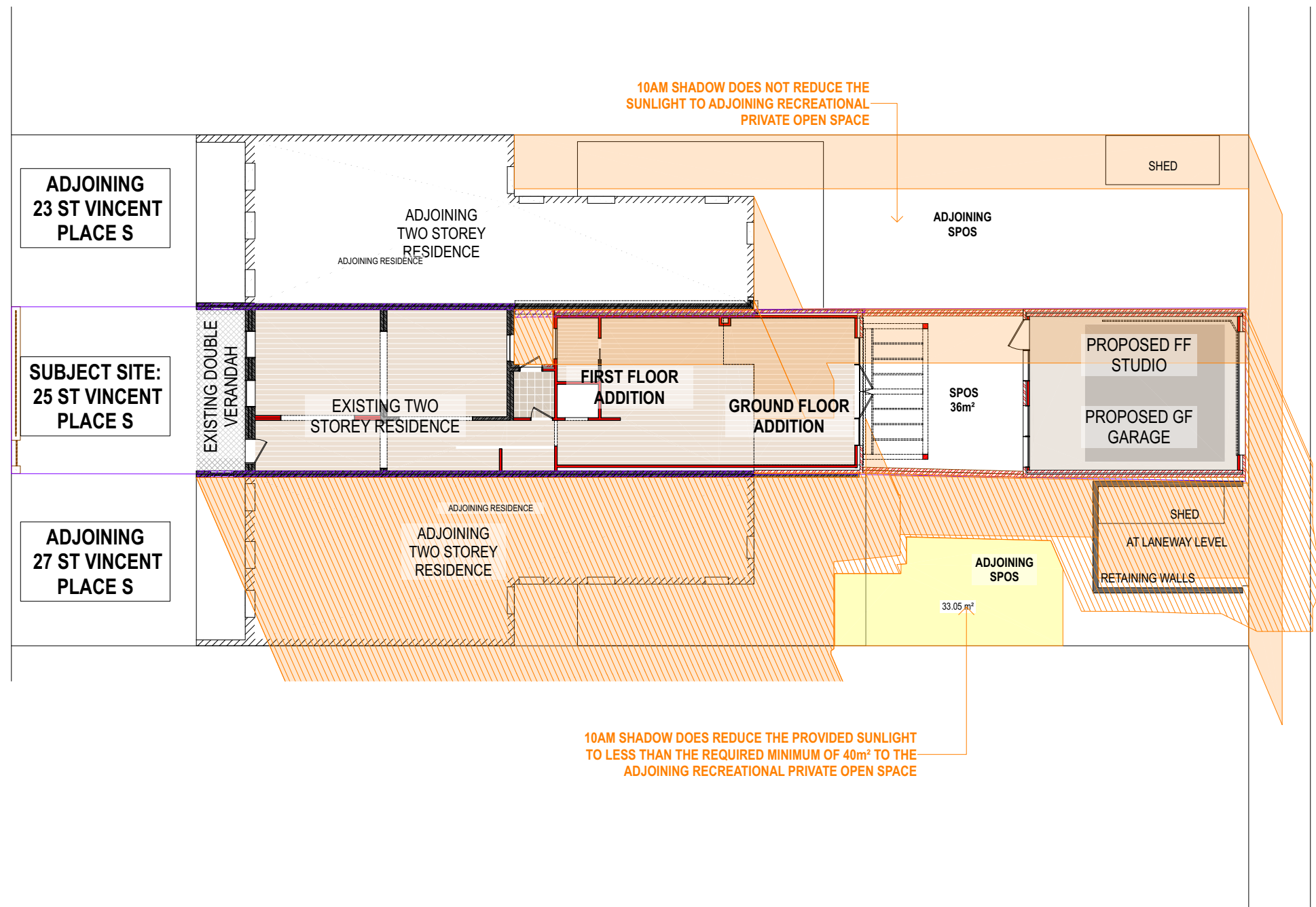
SHADOW DIAGRAM SEPTEMBER 22 AT 9AM



SHADOW DIAGRAMS

ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS		SHADOW DIAGRAMS										
THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE SIGNED SPECIFICATION OF WORKS. SPECIFICATION OF WORKS TAKES PRECEDENCE OVER THESE DRAWINGS. THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED: ...../...../2024		.....OWNER	1/173-181 Rooks Road, Vermont, Victoria 3133	DATE	AMENDMENT	SHEETS	© THESE PLANS REMAIN THE PROPERTY OF SPACEMAKER HOME EXTENSIONS AND ARE SUBJECT TO COPYRIGHT.		TOWN PLANNING DRAWINGS			
		.....OWNER	ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884 P 8873 7800 E improve@spacemaker.com.au						DESIGN:	TH	JOB No:	S905
		.....BUILDER	www.spacemaker.com.au				PROPOSED ADDITIONS & ALTERATIONS FOR: Franco & Jess Muser 25 St Vincent Place South, Albert Park, Vic 3206		DRAWN:	M. WATERS	EST:	SH
		...../...../2024 DATE							DATE:	02/07/2025	SHEET OF 33 OF 41	
					SCALE:	1:200						

ST VINCENT PLACE SOUTH

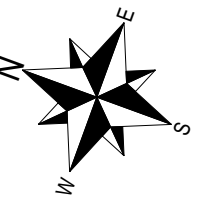


BEVAN SREET

SHADOW LEGEND FOR: 22 SEPTEMBER



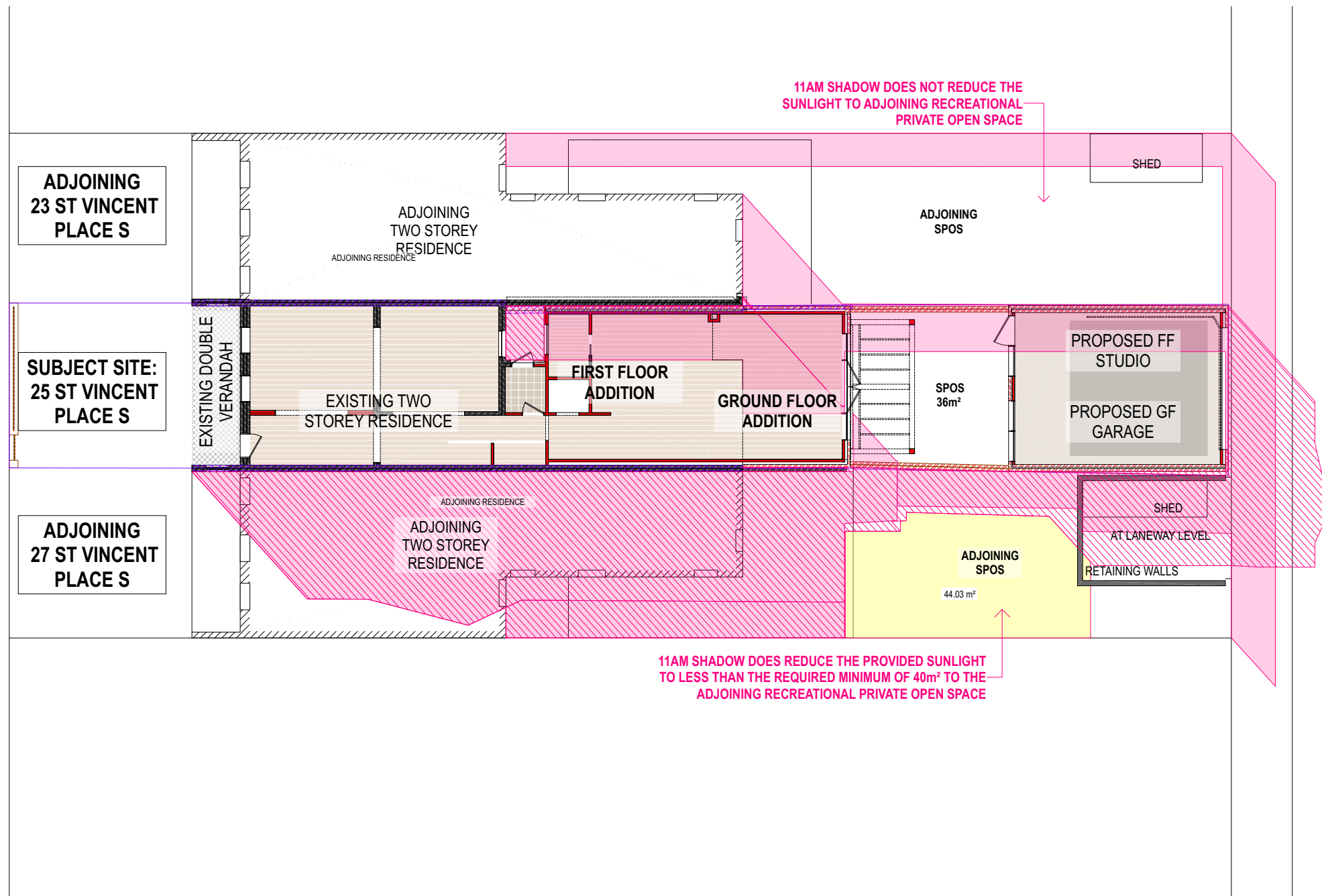
SHADOW DIAGRAM SEPTEMBER 22 AT 10AM



SHADOW DIAGRAMS

ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS		SHADOW DIAGRAMS									
THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE SIGNED SPECIFICATION OF WORKS. SPECIFICATION OF WORKS TAKES PRECEDENCE OVER THESE DRAWINGS.	.....OWNER	1/173-181 Rooks Road, Vermont, Victoria 3133	DATE	AMENDMENT	SHEETS	© THESE PLANS REMAIN THE PROPERTY OF SPACEMAKER HOME EXTENSIONS AND ARE SUBJECT TO COPYRIGHT.	TOWN PLANNING DRAWINGS			
	.....OWNER	ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884 P 8873 7800 E improve@spacemaker.com.au								
THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED: ...../...../2024	.....BUILDER	www.spacemaker.com.au				PROPOSED ADDITIONS & ALTERATIONS FOR: Franco & Jess Muser 25 St Vincent Place South, Albert Park, Vic 3206	DESIGN:	TH	JOB No:	S905
							DRAWN:	M. WATERS	EST:	SH	
	...../...../2024 DATE						DATE:	02/07/2025	SHEET 34 OF 41	
							SCALE:	1:200			

ST VINCENT PLACE SOUTH

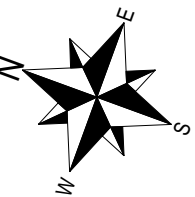


BEVAN SREET

SHADOW LEGEND FOR: 22 SEPTEMBER



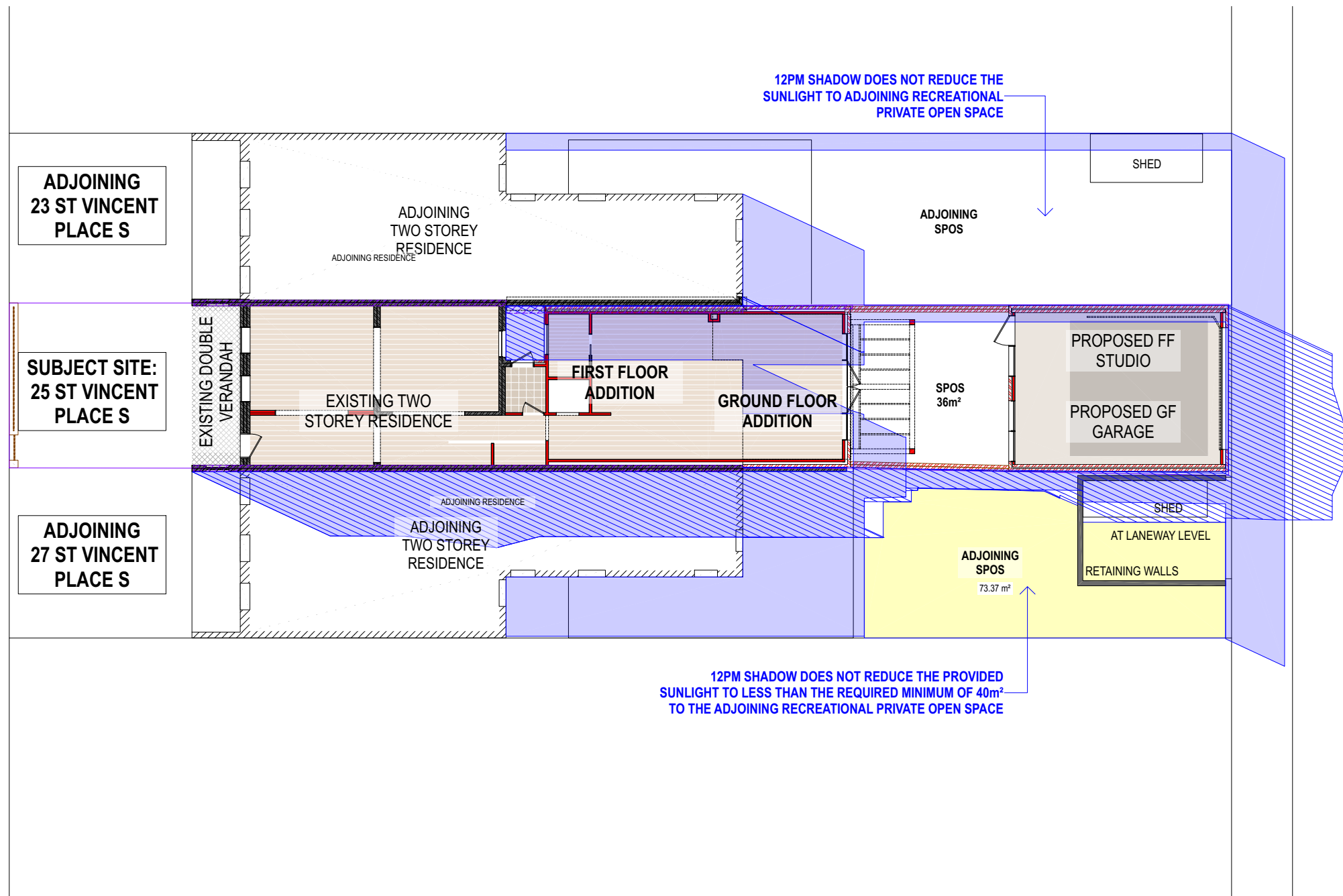
SHADOW DIAGRAM SEPTEMBER 22 AT 11AM



SHADOW DIAGRAMS

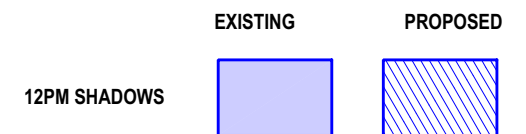
ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS		SHADOW DIAGRAMS									
THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE SIGNED SPECIFICATION OF WORKS. SPECIFICATION OF WORKS TAKES PRECEDENCE OVER THESE DRAWINGS.	.....OWNER	1/173-181 Rooks Road, Vermont, Victoria 3133 ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884 P 8873 7800 E improve@spacemaker.com.au www.spacemaker.com.au		DATE	AMENDMENT	SHEETS	© THESE PLANS REMAIN THE PROPERTY OF SPACEMAKER HOME EXTENSIONS AND ARE SUBJECT TO COPYRIGHT.	TOWN PLANNING DRAWINGS			
	.....OWNER						PROPOSED ADDITIONS & ALTERATIONS FOR: Franco & Jess Muser 25 St Vincent Place South, Albert Park, Vic 3206	DESIGN:	TH	JOB No:	S905
	.....BUILDER							DRAWN:	M. WATERS	EST:	SH
	...../...../2024 DATE							DATE:	02/07/2025	SHEET 35 OF 41	
THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED: ...../...../2024							SCALE:	1:200			

ST VINCENT PLACE SOUTH

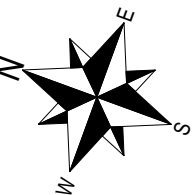


BEVAN SREET

SHADOW LEGEND FOR: 22 SEPTEMBER



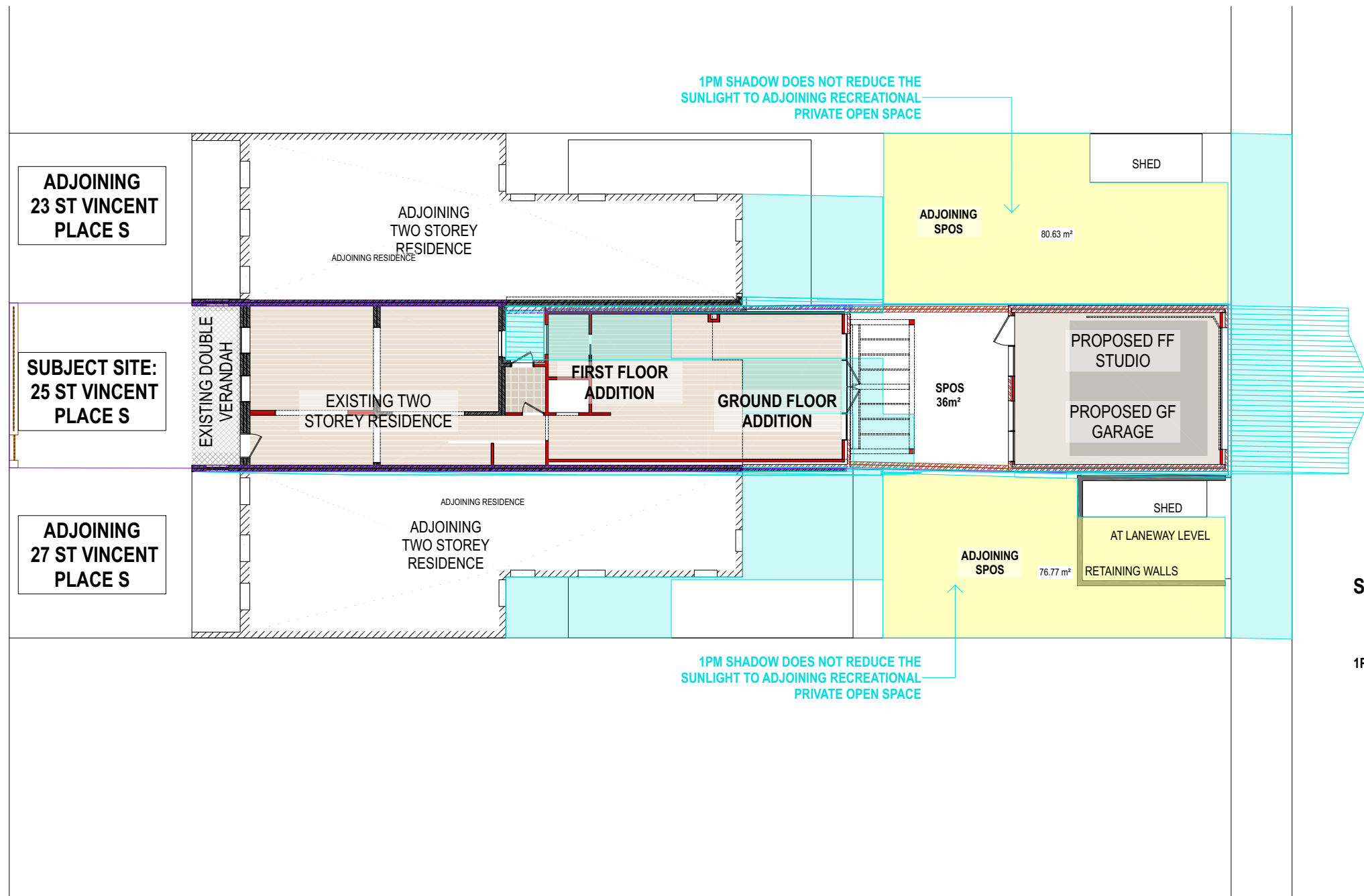
SHADOW DIAGRAM SEPTEMBER 22 AT 12PM



SHADOW DIAGRAMS

SHADOW DIAGRAMS													
ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS													
THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE SIGNED SPECIFICATION OF WORKS. SPECIFICATION OF WORKS TAKES PRECEDENCE OVER THESE DRAWINGS.		.....OWNER	1/173-181 Rooks Road, Vermont, Victoria 3133		DATE	AMENDMENT	SHEETS	© THESE PLANS REMAIN THE PROPERTY OF SPACEMAKER HOME EXTENSIONS AND ARE SUBJECT TO COPYRIGHT.		TOWN PLANNING DRAWINGS		
		.....OWNER	ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884 P 8873 7800 E improve@spacemaker.com.au									
THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED: ...../...../2024	BUILDER	www.spacemaker.com.au					PROPOSED ADDITIONS & ALTERATIONS FOR: Franco & Jess Muser 25 St Vincent Place South, Albert Park, Vic 3206		DESIGN:	TH	JOB No:	S905
										DRAWN:	M. WATERS	EST:	SH
										DATE:	02/07/2025	SHEET OF 36 OF 41	
		...../...../2024 DATE						SCALE:	1:200			

ST VINCENT PLACE SOUTH

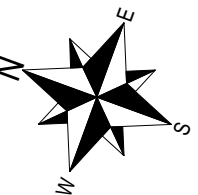


BEVAN SREET

SHADOW LEGEND FOR: 22 SEPTEMBER



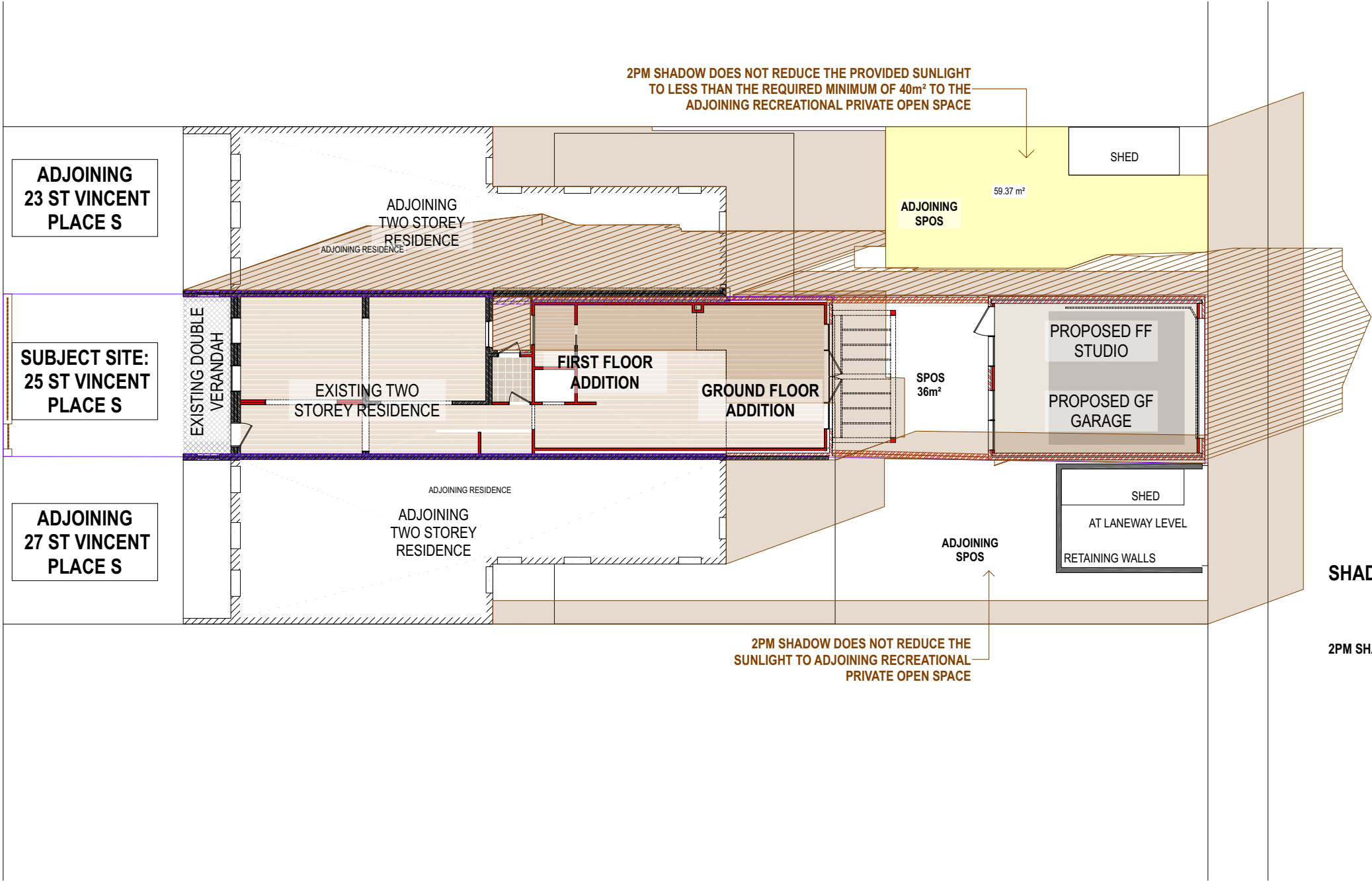
SHADOW DIAGRAM SEPTEMBER 22 AT 1PM



SHADOW DIAGRAMS

ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS											
THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE SIGNED SPECIFICATION OF WORKS. SPECIFICATION OF WORKS TAKES PRECEDENCE OVER THESE DRAWINGS.		.....OWNER	1/173-181 Rooks Road, Vermont, Victoria 3133	DATE	AMENDMENT	SHEETS	© THESE PLANS REMAIN THE PROPERTY OF SPACEMAKER HOME EXTENSIONS AND ARE SUBJECT TO COPYRIGHT.		TOWN PLANNING DRAWINGS		
THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED: ...../...../2024		.....OWNER	ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884 P 8873 7800 E improve@spacemaker.com.au						DESIGN:	TH	JOB No: S905
		.....BUILDER	www.spacemaker.com.au				PROPOSED ADDITIONS & ALTERATIONS FOR: Franco & Jess Muser 25 St Vincent Place South, Albert Park, Vic 3206		DRAWN:	M. WATERS	EST: SH
		...../...../2024 DATE	spacemaker home extensions						DATE:	02/07/2025	SHEET .37. OF .41.
									SCALE:	1:200	

ST VINCENT PLACE SOUTH

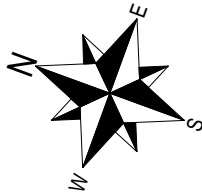


BEVAN SREET

SHADOW LEGEND FOR: 22 SEPTEMBER



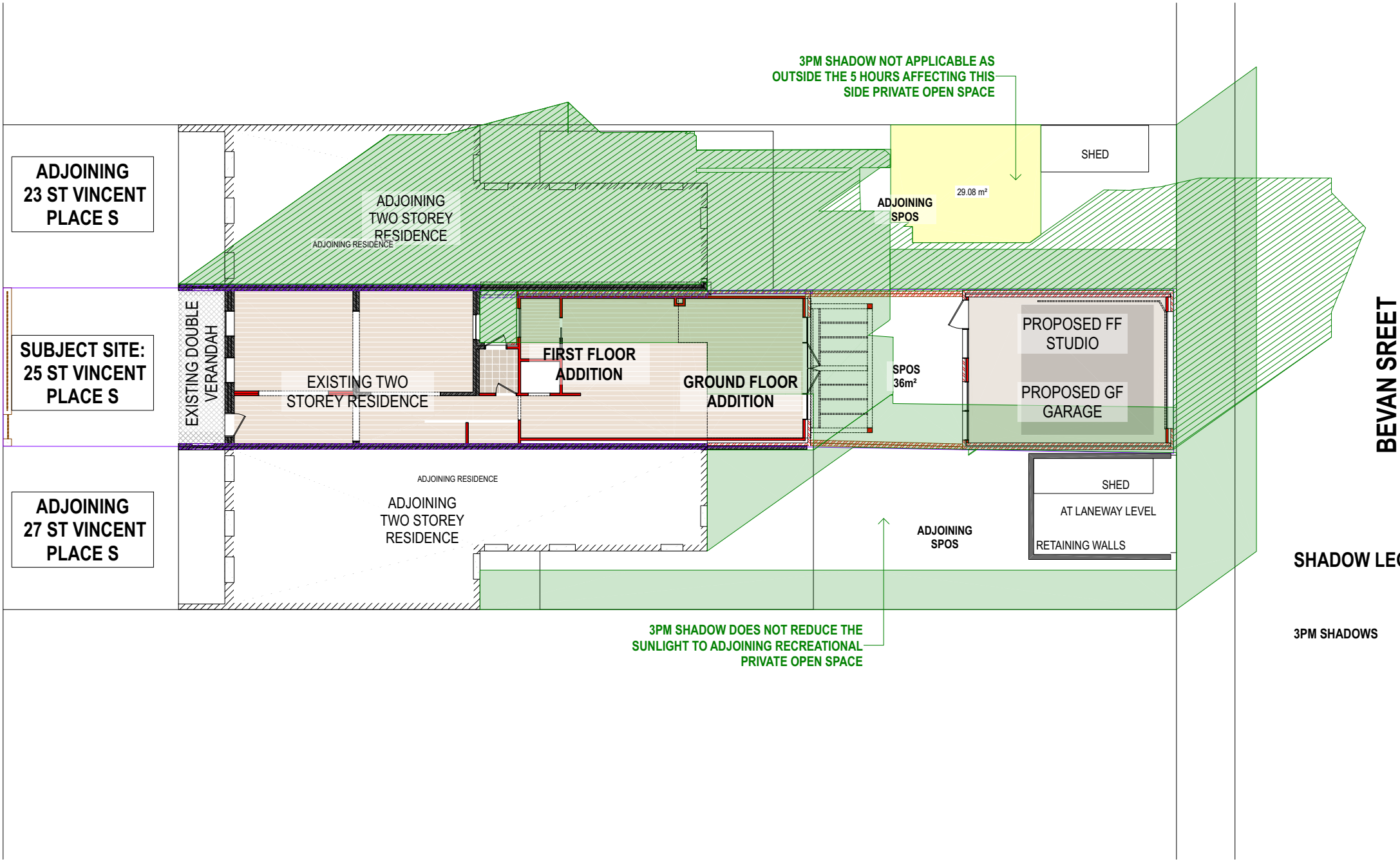
SHADOW DIAGRAM SEPTEMBER 22 AT 2PM



SHADOW DIAGRAMS

ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS		SHADOW DIAGRAMS									
THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE SIGNED SPECIFICATION OF WORKS. SPECIFICATION OF WORKS TAKES PRECEDENCE OVER THESE DRAWINGS. THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED: ...../...../2024		.....OWNER	1/173-181 Rooks Road, Vermont, Victoria 3133	DATE	AMENDMENT	SHEETS	© THESE PLANS REMAIN THE PROPERTY OF SPACEMAKER HOME EXTENSIONS AND ARE SUBJECT TO COPYRIGHT. <u>PROPOSED ADDITIONS & ALTERATIONS FOR:</u> Franco & Jess Muser 25 St Vincent Place South, Albert Park, Vic 3206	TOWN PLANNING DRAWINGS			
		.....OWNER	ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884 P 8873 7800 E improve@spacemaker.com.au					DESIGN:	TH	JOB No:	S905
		.....BUILDER	www.spacemaker.com.au					DRAWN:	M. WATERS	EST:	SH
		...../...../2024 DATE						DATE:	02/07/2025	SHEET OF 38 OF 41	
						SCALE:		1:200			

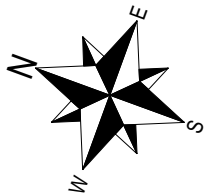
ST VINCENT PLACE SOUTH



SHADOW LEGEND FOR: 22 SEPTEMBER



SHADOW DIAGRAM SEPTEMBER 22 AT 3PM



SHADOW DIAGRAMS

ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS		SHADOW DIAGRAMS									
THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE SIGNED SPECIFICATION OF WORKS. SPECIFICATION OF WORKS TAKES PRECEDENCE OVER THESE DRAWINGS. THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED: ...../...../2024		.....OWNER	1/173-181 Rooks Road, Vermont, Victoria 3133	DATE	AMENDMENT	SHEETS	© THESE PLANS REMAIN THE PROPERTY OF SPACEMAKER HOME EXTENSIONS AND ARE SUBJECT TO COPYRIGHT.	TOWN PLANNING DRAWINGS			
		.....OWNER	ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884 P 8873 7800 E improve@spacemaker.com.au				<u>PROPOSED ADDITIONS & ALTERATIONS FOR:</u> Franco & Jess Muser 25 St Vincent Place South, Albert Park, Vic 3206	DESIGN:	TH	JOB No:	S905
		.....BUILDER	www.spacemaker.com.au		DRAWN:	M. WATERS		EST:	SH		
		...../...../2024 DATE			DATE:	02/07/2025		SHEET OF SCALE: 1:200			

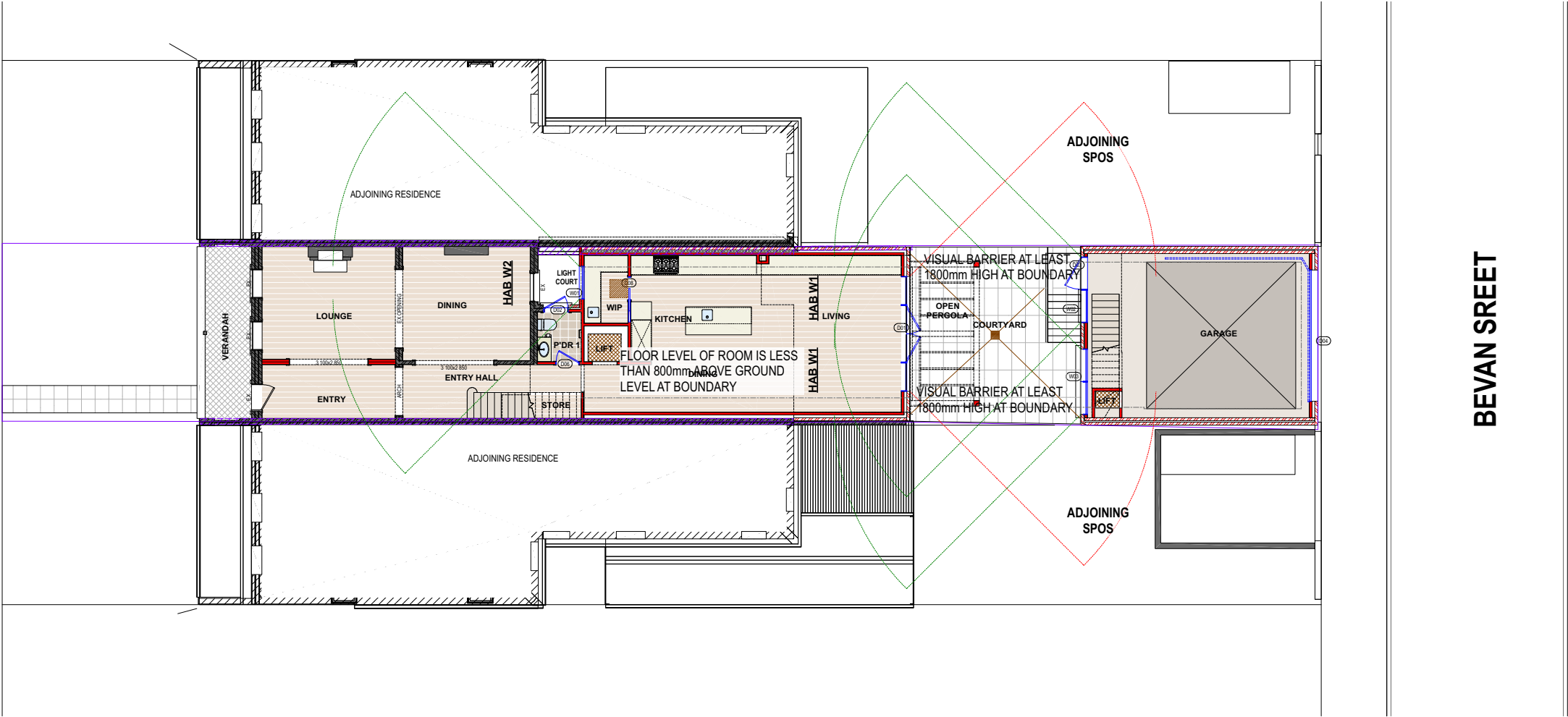
HAB W1
HABITABLE WINDOWS TO ASSESS OVERLOOKING

HAB W2
HABITABLE WINDOWS WITH SILL OR FIXED AND OBSCURED AT 1700MM AFL

- OVERLOOKING ARC INDICATES POTENTIAL OVERLOOKING TO BE MADE COMPLIANT WITH ADDITIONAL SCREENING AT FENCE LINE
- OVERLOOKING ARC INDICATES OVERLOOKING COMPLIANT WITH EXISTING FENCE OR NO ENCROACHMENT TO ADJOINING SPOS
- WINDOWS COMPLIANT OBSCURED GLASS TO HEIGHT MIN 1700mm ABOVE FLOOR LEVEL
- NON-HABITABLE WINDOWS - NO OVERLOOKING REQUIREMENTS

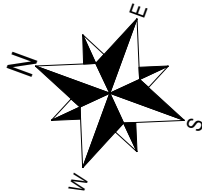
OVERLOOKING STANDARDS COMPLIANT IF:
NEW HABITABLE ROOM WINDOW OR RAISED OPEN SPACE (DECK) THAT FACES PROPERTY BOUNDARY WHERE THERE IS A VISUAL BARRIER AT LEAST 1.8M H AT THE BOUNDARY & THE FLOOR LEVEL OF THE ROOM OR RAISED OPEN SPACE (DECK) IS LESS THAN 800mm ABOVE THE GROUND AT THE BOUNDARY

ST VINCENT PLACE SOUTH



BEVAN SREET

GROUND FLOOR OVERLOOKING PLAN



GF OVERLOOKING

ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS		GF OVERLOOKING									
THESE DRAWINGS TO BE READ IN CONJUNCTION WITH THE SIGNED SPECIFICATION OF WORKS. SPECIFICATION OF WORKS TAKES PRECEDENCE OVER THESE DRAWINGS.OWNER	1/173-181 Rooks Road, Vermont, Victoria 3133	DATE	AMENDMENT	SHEETS	© THESE PLANS REMAIN THE PROPERTY OF SPACEMAKER HOME EXTENSIONS AND ARE SUBJECT TO COPYRIGHT.	TOWN PLANNING DRAWINGS				
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BUILDER	www.spacemaker.com.au					DRAWN:	M. WATERS	EST:	SH	
/...../2024 DATE						DATE:	02/07/2025	SHEET OF 40 41		
THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED: ...../...../2024						<u>PROPOSED ADDITIONS & ALTERATIONS FOR:</u> Franco & Jess Muser 25 St Vincent Place South, Albert Park, Vic 3206	SCALE:	1:200			

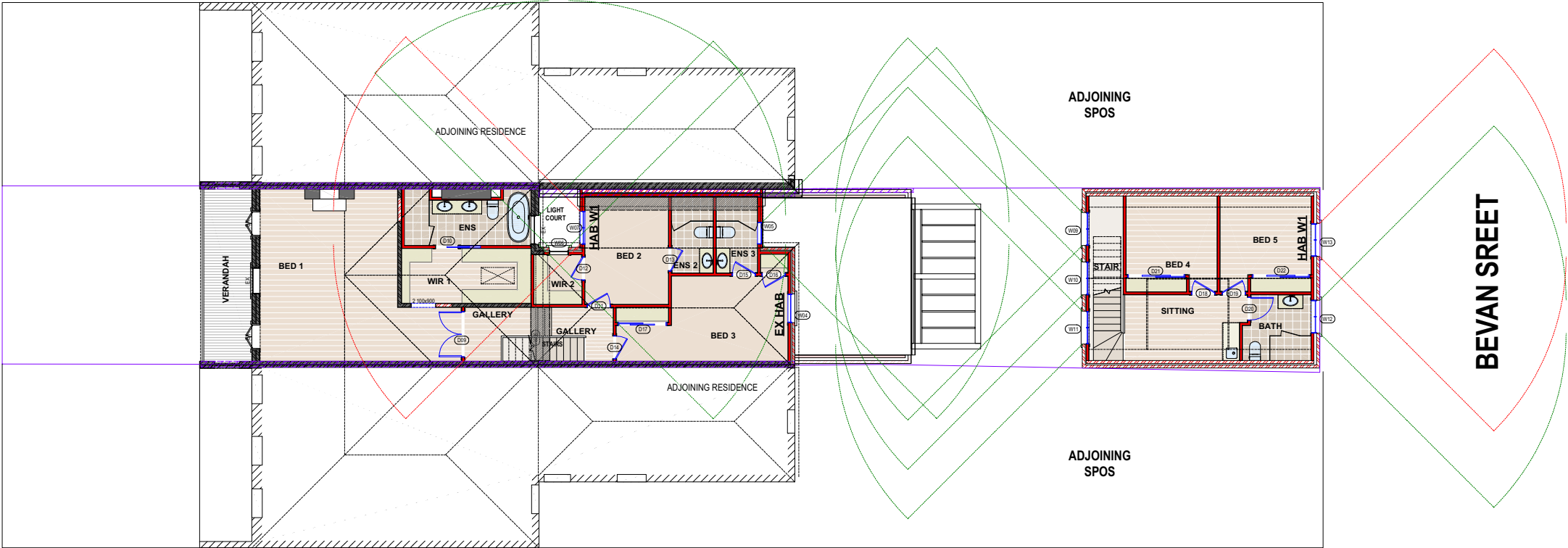
HAB W1
HABITABLE WINDOWS TO ASSESS OVERLOOKING

HAB W2
HABITABLE WINDOWS WITH SILL OR FIXED AND OBSCURED AT 1700MM AFL

- OVERLOOKING ARC INDICATES POTENTIAL OVERLOOKING TO BE MADE COMPLIANT WITH ADDITIONAL SCREENING AT FENCE LINE
- OVERLOOKING ARC INDICATES OVERLOOKING COMPLIANT WITH EXISTING FENCE OR NO ENCROACHMENT TO ADJOINING SPOS
- WINDOWS COMPLIANT OBSCURED GLASS TO HEIGHT MIN 1700mm ABOVE FLOOR LEVEL
- NON-HABITABLE WINDOWS - NO OVERLOOKING REQUIREMENTS

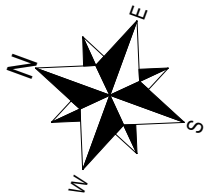
OVERLOOKING STANDARDS COMPLIANT IE:
NEW HABITABLE ROOM WINDOW OR RAISED OPEN SPACE (DECK) THAT FACES PROPERTY BOUNDARY WHERE THERE IS A VISUAL BARRIER AT LEAST 1.8M H AT THE BOUNDARY & THE FLOOR LEVEL OF THE ROOM OR RAISED OPEN SPACE (DECK) IS LESS THAN 800mm ABOVE THE GROUND AT THE BOUNDARY

ST VINCENT PLACE SOUTH



BEVAN SREET

FIRST FLOOR OVERLOOKING PLAN



FF OVERLOOKING

ALL MEASUREMENTS ARE NOMINAL AND MAY BE SUBJECT TO CHANGE TO SUIT SITE CONDITIONS		FF OVERLOOKING									
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OWNER	ABN 76 565 801 043 Member: MBAV / HIA RBP CDB-U50884 P 8873 7800 E improve@spacemaker.com.au						DESIGN:	TH	JOB No:	S905
BUILDER	www.spacemaker.com.au						DRAWN:	M. WATERS	EST:	SH
/...../2024 DATE							DATE:	02/07/2025	SHEET ...41... OF ...41...	
THESE ARE THE DRAWINGS REFERRED TO IN THE CONTRACT. DATED:/...../2024							SCALE:	1:200			