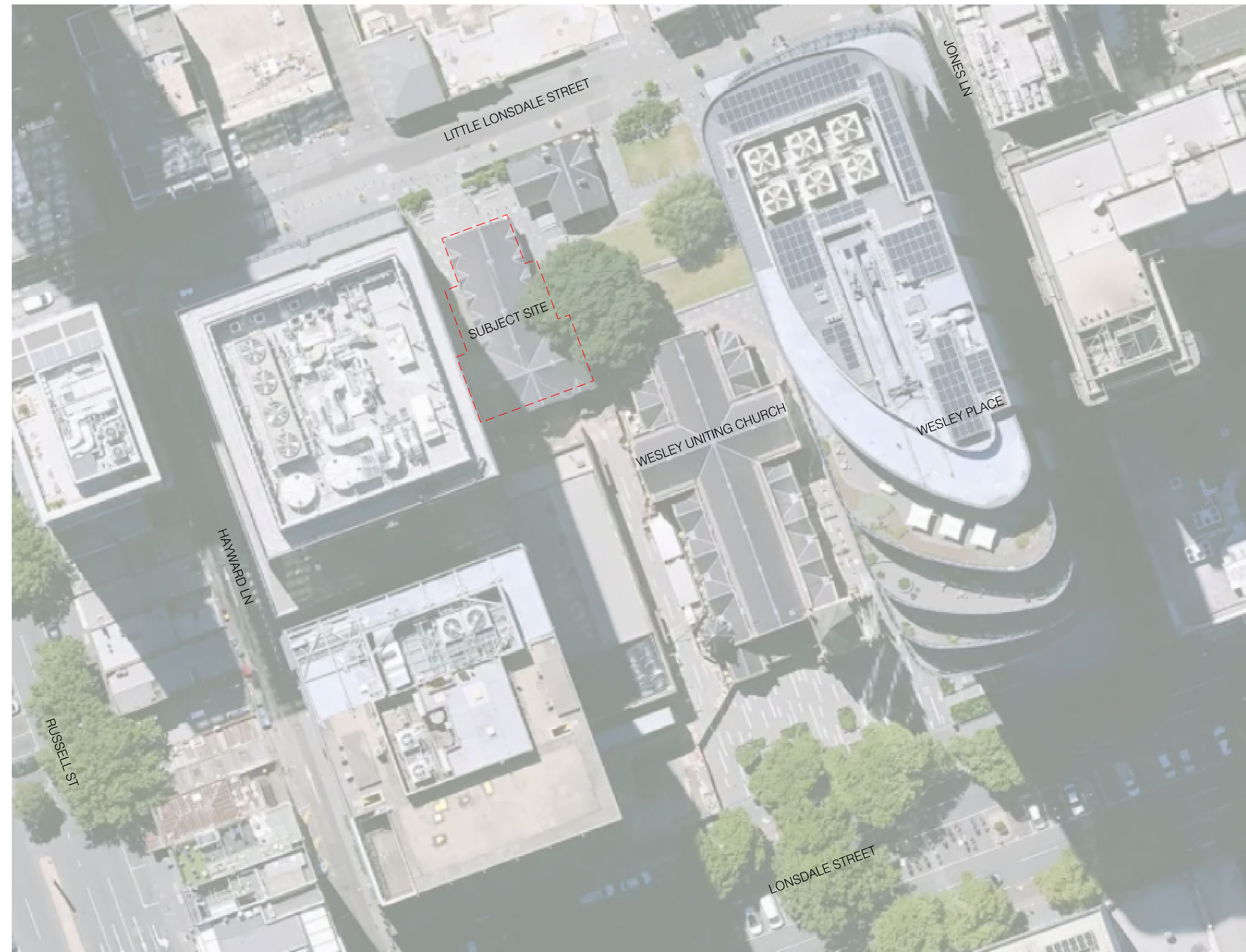


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- ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.
- EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3. FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.
- ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CASING.
- ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH AS3700.
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- ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULLY SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE WITH SECTION J3 OF THE BCA.
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- WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740.
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- ALL ROOF PENETRATIONS ARE TO HAVE CONTINUOUS FLASHED FROM PENETRATION TO ROOF APEX.
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NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	FK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A100	EXISTING SITE PLAN_AERIAL	P1	PRELIMINARY	130 LONSDALE ST REFRUBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RM	JM	22.157	NOT TO SCALE	CHARTER HALL



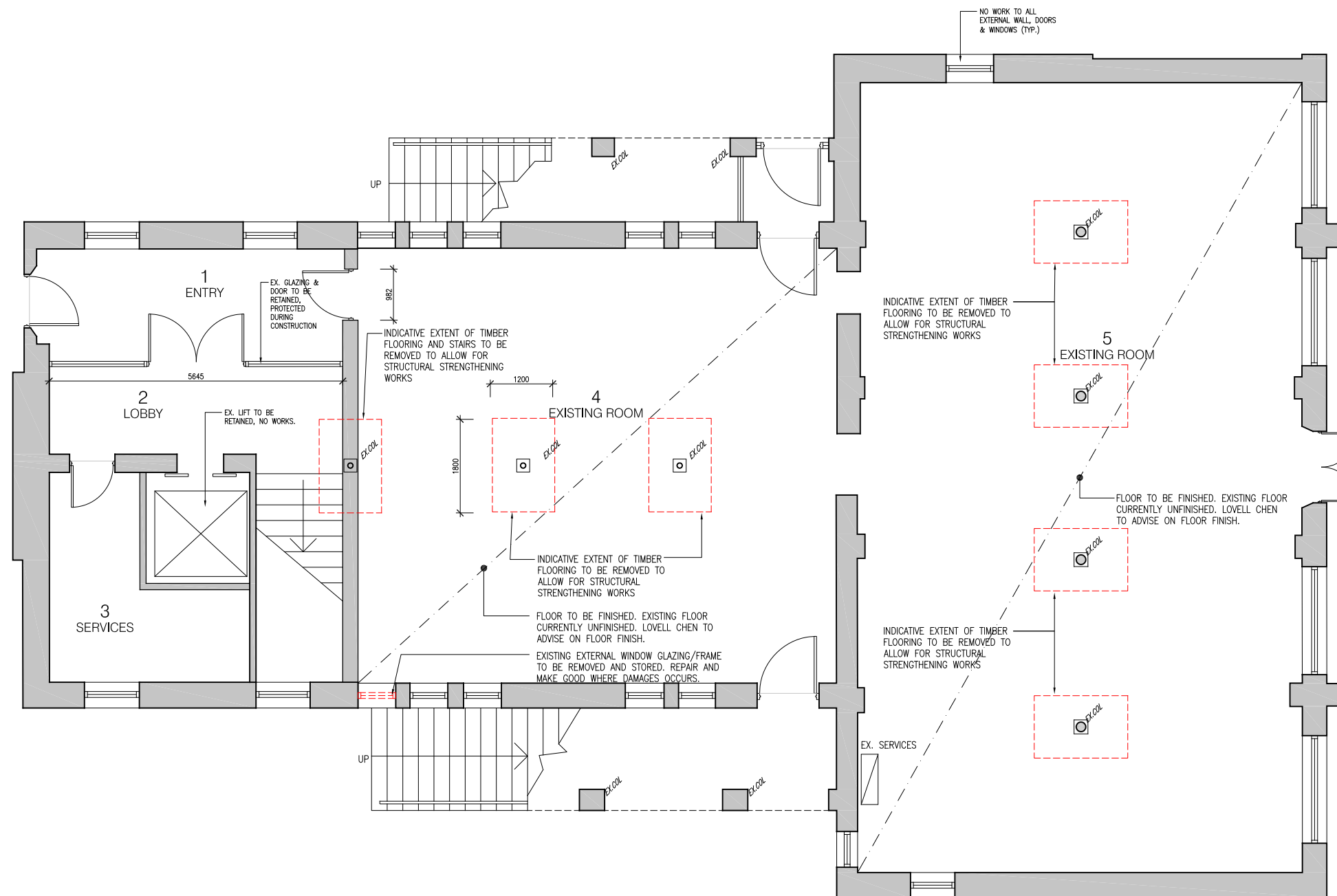
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WWW.MILLARARCH.COM.AU
 INFO@MILLARARCH.COM.AU
 +61 3 7885 8554
 ACN 643 118 834

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Millar Architects

WWW.MILLARARCH.COM.AU

INFO@MILLARARCH.COM.AU

 +61 3 7885 8554

 ACN 643 118 834

NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A200	EXISTING FLOOR PLAN GF	P1	PRELIMINARY	130 LONSDALE ST REFRUBISHMENT

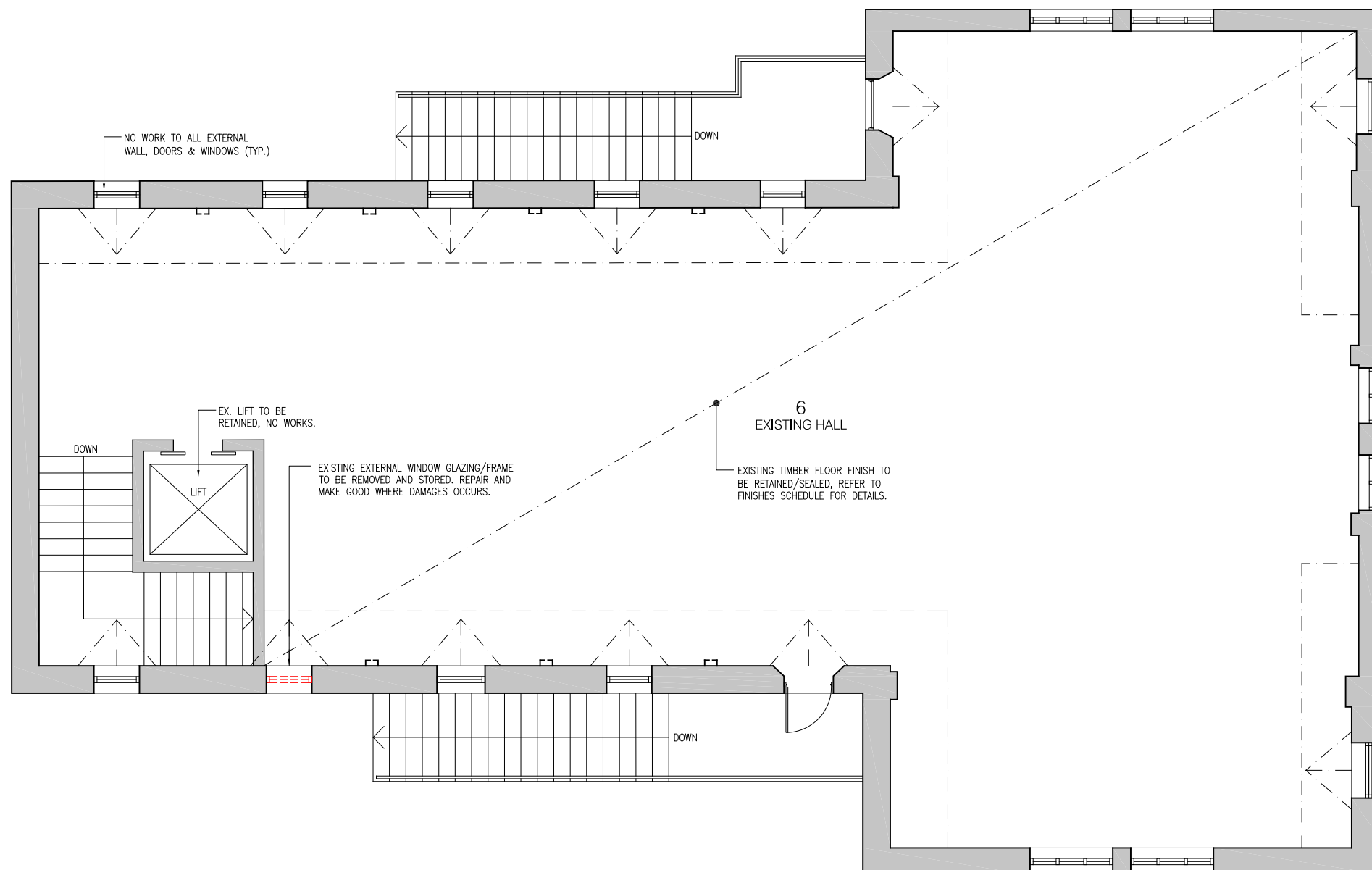
DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
09.02.24	RK	JM	22.157	1:100 @ A3 1:50 @ A1	CHARTER HALL



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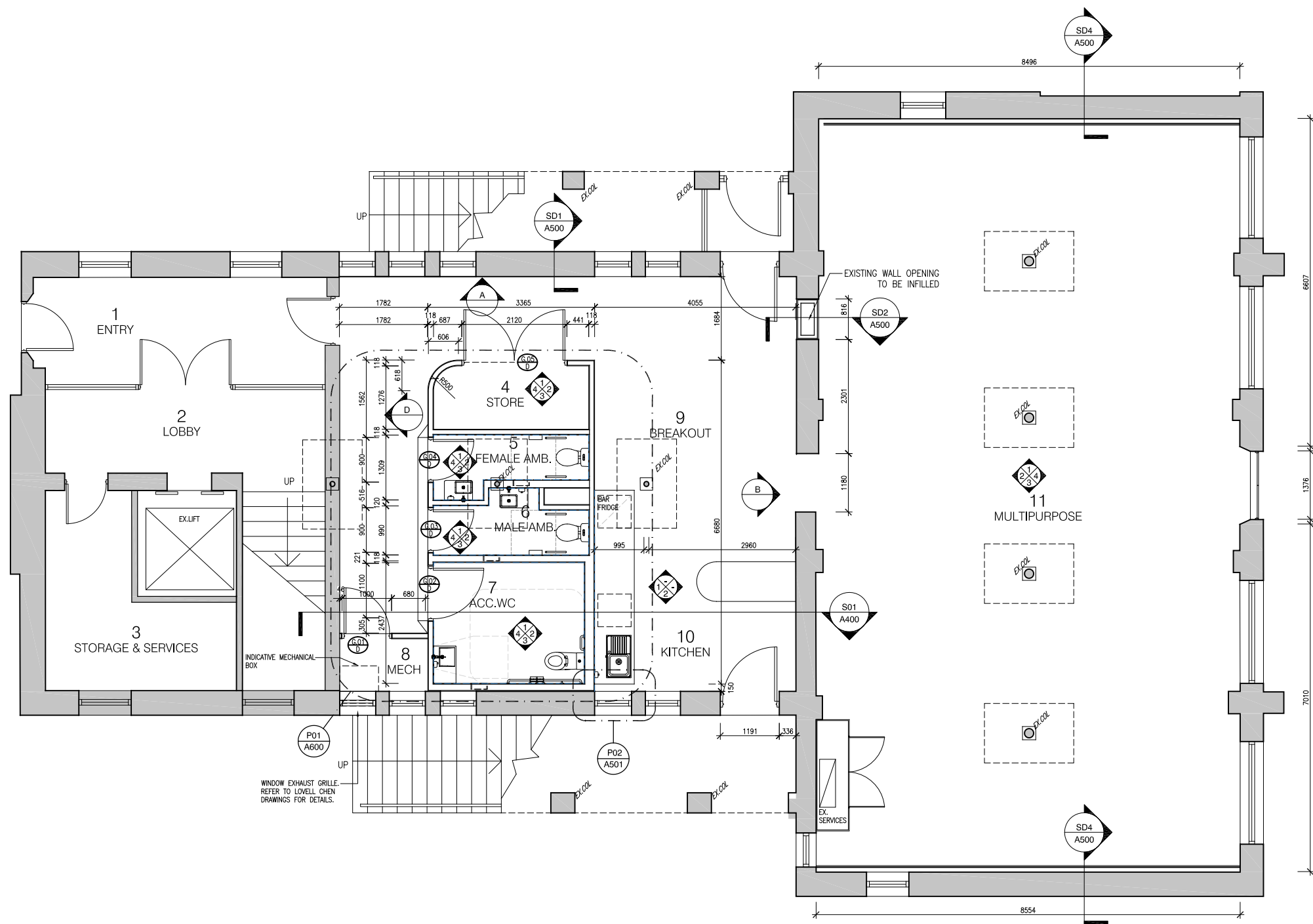
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4. CARPET PROTECTION IS REQUIRED TO BE SUPPLIED AND INSTALLED BY FITOUT CONTRACTOR. NOTE: CARPET PROTECTION IS TO BE THE BREATHABLE VARIETY TO ALLOW FOR EVAPORATION OF SLAB MOISTURE.
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18. THE FIT OUT CONTRACTOR SHALL CAREFULLY CO-ORDINATE WITH ALL REQUIRED SUB-TRADES, INCLUDING BUT NOT LIMITED TO THE PARTITION INSTALLER, PLUMBER, PAINTER, MECHANICAL AND ELECTRICAL CONTRACTOR. CONFIRM SIZES, HEIGHTS AND CLEARANCES TO SUIT WORKS. THE FIT OUT CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CO-ORDINATION AND PROGRAM INCLUDING WORKING IN CONJUNCTION WITH AND CO-ORDINATE WITH I.T. INSTALLER, SECURITY INSTALLER, LOOSE FURNITURE AND WORKSTATION INSTALLERS.
19. THE FITOUT CONTRACTOR IS TO ALLOW FOR ALL SERVICES PENETRATIONS, DUCTING ETC. TO SUIT MECHANICAL AND ELECTRICAL LAYOUT. FOR ALL SERVICES WORKS REFER TO CONSULTING ENGINEERS DRAWINGS.



NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	NM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	
A220	PROPOSED PARTITION FLOOR PLAN GF	P1	PRELIMINARY	
DATE	DRAWN	CHECKED	JOB NO.	SCALE
28.03.24	RK	JM	22.157	1:100 @ A3 1:50 @ A1

PROJECT	PROPRIETOR
130 LONSDALE ST REFURBISHMENT	CHARTER HALL

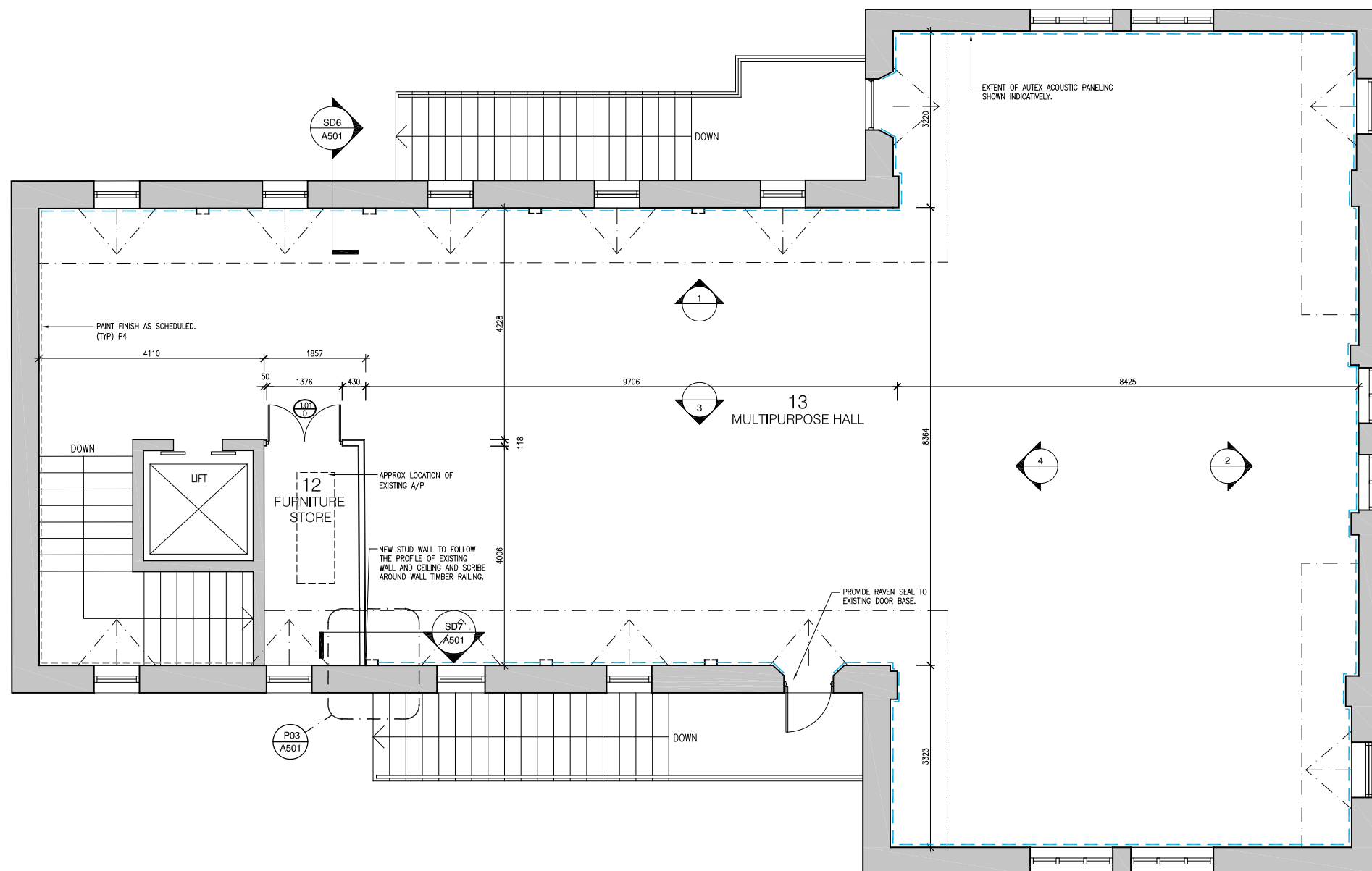


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6. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. 75mm THICK WITH THE LOWER EDGE BETWEEN 900 - 1000mm ABOVE FFL.
7. EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3. FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.
8. FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.
9. PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444. PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20m FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN AND TEA AREA.
10. FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES. LOCATION TO BE DETERMINED ON SITE.
11. MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1688.2 AND AS-3666. EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.
12. REFER TO SERVICES DRAWINGS FOR THERMOSTAT LOCATIONS.
13. ALL GLAZING TO COMPLY WITH AS-1288.
14. WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740.
15. DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 - 2009.
16. ALL WALL HUNG FIXTURES AND FITTINGS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS AND PLYWOOD BACKING PLATES AS REQUIRED LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH 'STUD FINDER' PRIOR TO INSTALLATION OF FIXTURE.
17. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES. INCLUDING (BUT NOT LIMITED TO) THE DOOR SCHEDULE, DOOR HARDWARE SCHEDULE, COLOUR AND FINISHES SCHEDULE, FIXTURES, FITTINGS AND APPLIANCES SCHEDULES.
18. THE FIT OUT CONTRACTOR SHALL CAREFULLY CO-ORDINATE WITH ALL REQUIRED SUB-TRADES, INCLUDING BUT NOT LIMITED TO THE PARTITION INSTALLER, PLUMBER, PAINTER, MECHANICAL AND ELECTRICAL CONTRACTOR. CONFIRM SIZES, HEIGHTS AND CLEARANCES TO SUIT WORKS. THE FIT OUT CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CO-ORDINATION AND PROGRAM INCLUDING WORKING IN CONJUNCTION WITH AND CO-ORDINATE WITH I.T. INSTALLER, SECURITY INSTALLER, LOOSE FURNITURE AND WORKSTATION INSTALLERS.
19. THE FITOUT CONTRACTOR IS TO ALLOW FOR ALL SERVICES PENETRATIONS, DUCTING ETC. TO SUIT MECHANICAL AND ELECTRICAL LAYOUT. FOR ALL SERVICES WORKS REFER TO CONSULTING ENGINEERS DRAWINGS.



NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

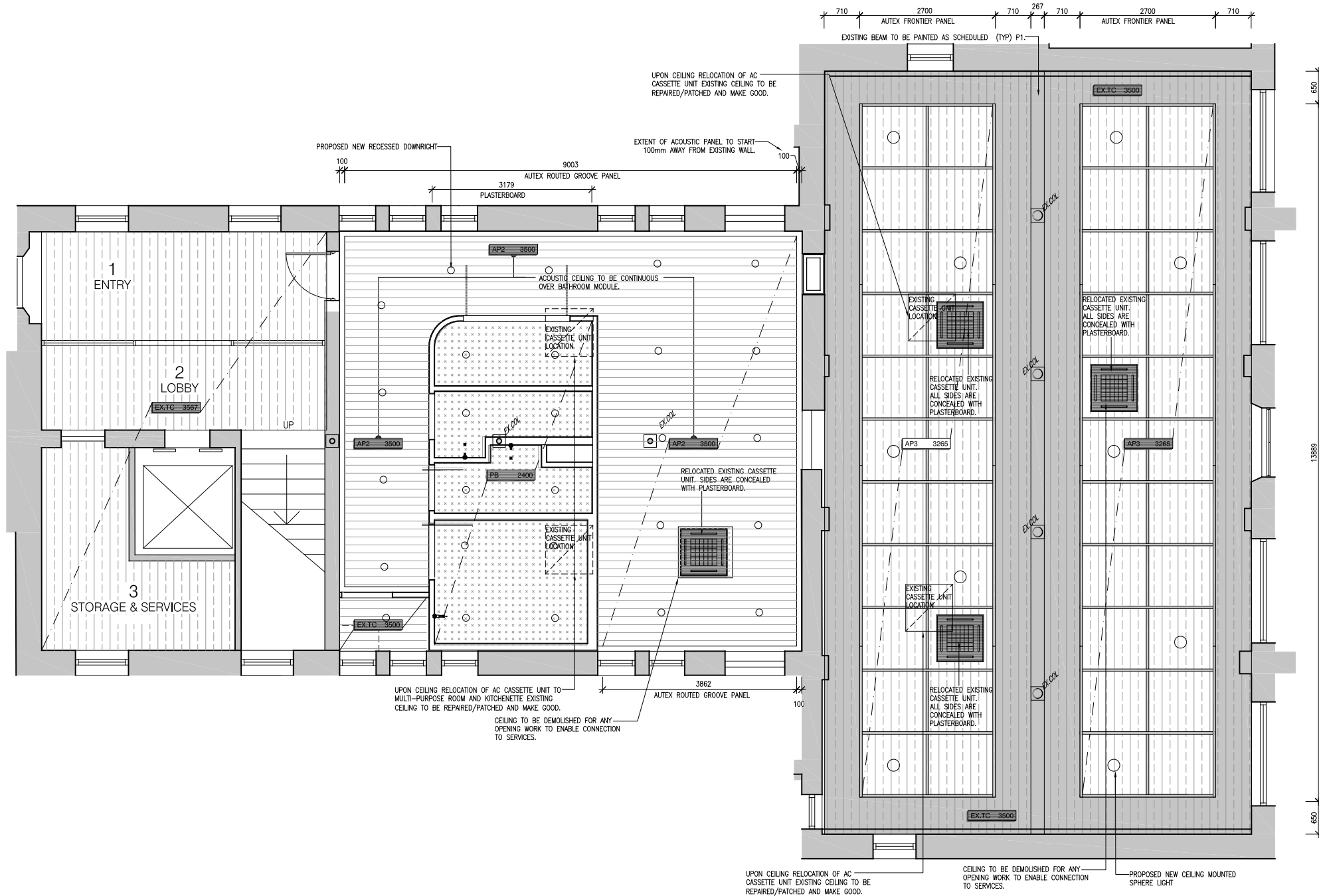
DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A221	PROPOSED PARTITION PLAN LEVEL 1	P1	PRELIMINARY	130 LONSDALE ST REFURBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:100 @ A3 1:50 @ A1	CHARTER HALL



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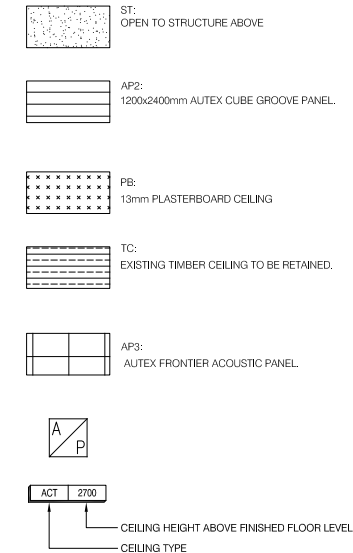
WWW.MILLARARCH.COM.AU
INFO@MILLARARCH.COM.AU
+61 3 7885 8554
ACN 643 118 834



CEILING NOTES:

1. ALL FLUSH PLASTERBOARD CEILINGS ARE TO HAVE SQUARE SET CORNICE TYPICALLY.
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3. EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3 (2005).
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5. REFER TO MECHANICAL ENGINEERS DRAWINGS FOR DUCT AND OUTLET LOCATIONS AND TYPES.
6. REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR LIGHTING LOCATIONS AND TYPES.

CEILING LEGEND:



GENERAL NOTES:

1. VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.
2. ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON SEEING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD ACTION OR PUSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900mm AND 1100mm ABOVE THE FINISHED FLOOR LEVEL IN ACCORDANCE WITH CLAUSE D2.21 OF THE BUILDING CODE OF AUSTRALIA.
3. ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.
4. EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3. FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.
5. ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CASING.
6. ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH AS3700.
7. FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.
8. PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444. PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20m FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN AND TEA AREA.
9. FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES. LOCATION TO BE DETERMINED ON SITE.
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11. ALL GLAZING TO COMPLY WITH AS-1288. ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBILITY OF THE GLAZIER / CONTRACTOR TO PROVIDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY.
12. ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULLY SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE WITH SECTION J3 OF THE BCA.
13. ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS.
14. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. 75mm THICK WITH THE LOWER EDGE BETWEEN 900 - 1000mm ABOVE FFL.
15. ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL.
16. ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED. ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE.
17. WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740.
18. ALL FLASHINGS & CAPPIINGS TO BE POWDERCOATED WHERE VISIBLE. ZINCALUME ELSEWHERE. PROFILED WEATHER STOPS TO ALL ROOF AND WALL SHEETING.
19. ALL ROOF PENETRATIONS ARE TO HAVE CONTINUOUS FLASHED FROM PENETRATION TO ROOF APEX.
20. FACADE SYSTEMS TO COMPLY WITH AND HAVE CURRENT CODEMARK CERTIFICATION FOR COMPLIANCE WITH NCC: FP1.4 - FACADE WATERPROOFING CERTIFICATION.
21. BUILDING WRAP / SARKING MUST COMPLY WITH NCC C1.9(A)(i, (d) & (e) (iv) - FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING ELEMENT)
22. DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 - 2009.
23. ALL WALL HUNG FIXTURES AND FITTINGS INCLUDING HANDRAILS AND WC BACK RESTS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH 'STUD FINDER' PRIOR TO INSTALLATION OF FIXTURE.
24. NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY WITH WITH AS1170.4 FOR SEISMIC LOADS.
25. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES, INCLUDING (BUT NOT LIMITED TO) THE DOOR SCHEDULE, DOOR HARDWARE SCHEDULE, COLOUR AND FINISHES SCHEDULE (INTERNAL AND EXTERNAL), FIXTURES, FITTINGS AND APPLIANCES SCHEDULE.

NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A232	PROPOSED RCP_GF	P1	PRELIMINARY	130 LONSDALE ST REFRUBISHMENT

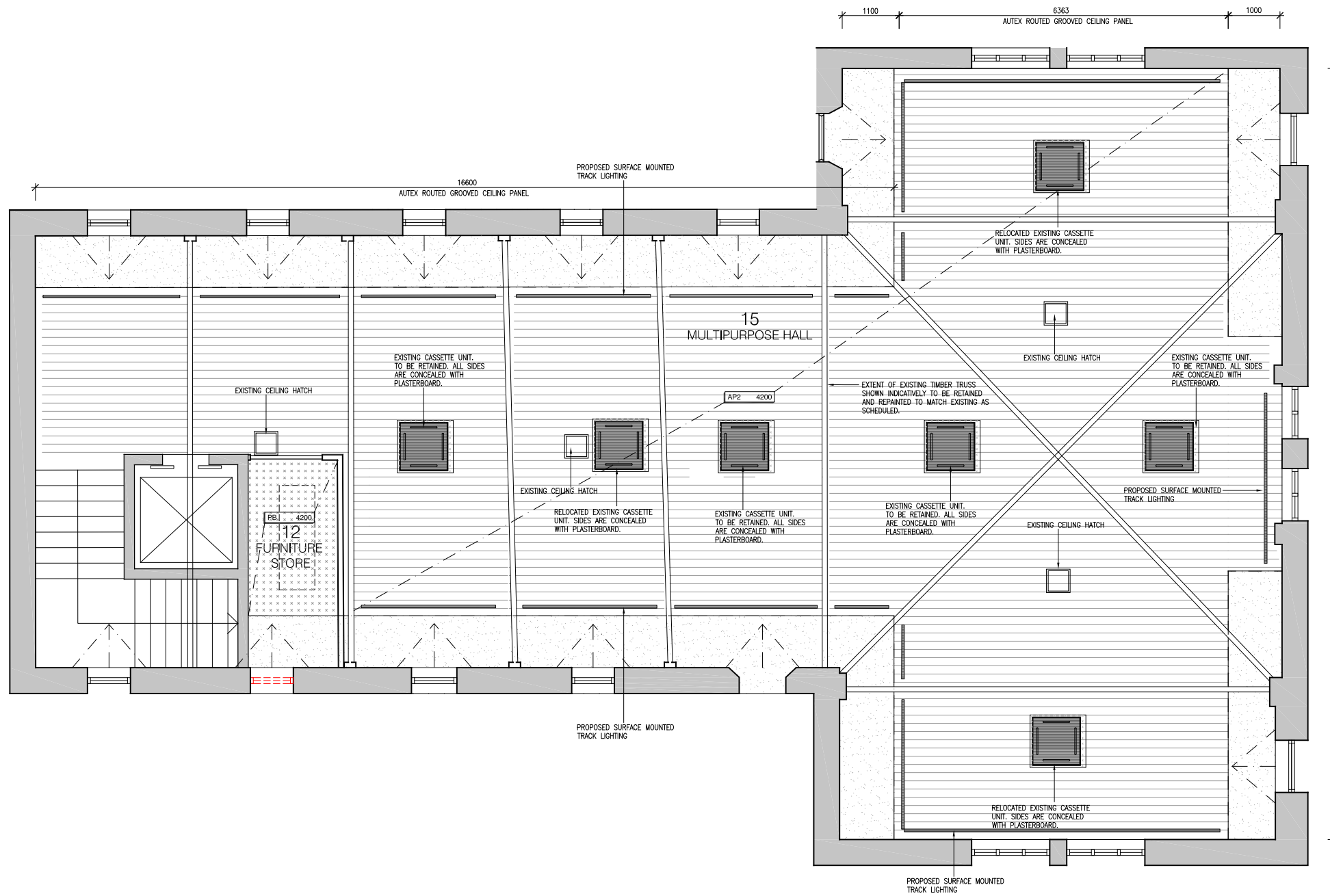
DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:100 @ A3 1:50 @ A1	CHARTER HALL



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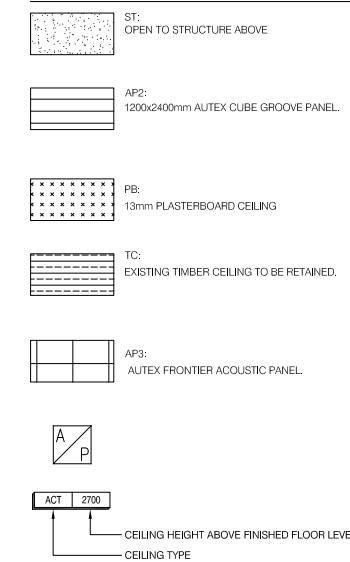
WWW.MILLARARCH.COM.AU
INFO@MILLARARCH.COM.AU
+61 3 7885 8554
ACN 643 118 834



CEILING NOTES:

1. ALL FLUSH PLASTERBOARD CEILINGS ARE TO HAVE SQUARE SET CORNICE TYPICALLY.
2. FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.
3. EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3 (2005).
4. MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1688.2 AND AS-3688. EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.
5. REFER TO MECHANICAL ENGINEERS DRAWINGS FOR DUCT AND OUTLET LOCATIONS AND TYPES.
6. REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR LIGHTING LOCATIONS AND TYPES.

CEILING LEGEND:



NOTES:
 EXISTING BULKHEAD TO BE RETAINED AND REPAINTED TO MATCH EXISTING AS SCHEDULED. PATCH/REPAIR AND MAKE GOOD TO WHERE DAMAGE/LEAKAGE OCCURS. EXISTING TIMBER CEILING TO BE RETAINED AND PROTECTED DURING CONSTRUCTION. EXISTING TIMBER TRUSS AND FINISHES TO BE RETAINED AND PROTECTED DURING CONSTRUCTION.

GENERAL NOTES:

1. VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.
2. ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON SEEING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD ACTION OR PUSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900mm AND 1100mm ABOVE THE FINISHED FLOOR LEVEL IN ACCORDANCE WITH CLAUSE D2.21 OF THE BUILDING CODE OF AUSTRALIA.
3. ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.
4. EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3. FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.
5. ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CASING.
6. ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH AS3700.
7. FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.
8. PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444. PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20m FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN AND TEA AREA.
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11. ALL GLAZING TO COMPLY WITH AS-1288. ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBILITY OF THE GLAZIER / CONTRACTOR TO PROVIDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY.
12. ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULLY SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE WITH SECTION J3 OF THE BCA.
13. ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS.
14. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. 75mm THICK WITH THE LOWER EDGE BETWEEN 900 - 1000mm ABOVE FFL.
15. ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL.
16. ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED. ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE.
17. WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740.
18. ALL FLASHINGS & CAPPINGS TO BE POWDERCOATED WHERE VISIBLE. ZINCALUME ELSEWHERE. PROFILED WEATHER STOPS TO ALL ROOF AND WALL SHEETING.
19. ALL ROOF PENETRATIONS ARE TO HAVE CONTINUOUS FLASHED FROM PENETRATION TO ROOF APEX.
20. FACADE SYSTEMS TO COMPLY WITH AND HAVE CURRENT CODEMARK CERTIFICATION FOR COMPLIANCE WITH NCC: FP1.4 - FACADE WATERPROOFING CERTIFICATION.
21. BUILDING WRAP / SARKING MUST COMPLY WITH NCC C1.9(A)(I, (D) & (E) (iv) - FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING ELEMENT).
22. DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 - 2009.
23. ALL WALL HUNG FIXTURES AND FITTINGS INCLUDING HANDRAILS AND WC BACK RESTS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH 'STUD FINDER' PRIOR TO INSTALLATION OF FIXTURE.
24. NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY WITH WITH AS1170.4 FOR SEISMIC LOADS.
25. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES, INCLUDING (BUT NOT LIMITED TO) THE DOOR SCHEDULE, DOOR HARDWARE SCHEDULE, COLOUR AND FINISHES SCHEDULE (INTERNAL AND EXTERNAL), FIXTURES, FITTINGS AND APPLIANCES SCHEDULE.

NO.	DATE	REVISION	BY	CHK
AB1	18.09.23	AS BUILT	HM	NM

DRAWING NO.	DRAWING TITLE	REV.	STATUS
A233	PROPOSED RCP_LEVEL 1	P1	AS BUILT

PROJECT
 130 LONSDALE ST
 REFURBISHMENT



DATE	DRAWN	CHECKED	JOB NO.	SCALE
18.09.23	RK	JM	22.157	1:100 @ A3 1:50 @ A1

PROPRIETOR
 CHARTER HALL

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WWW.MILLARARCH.COM.AU
 INFO@MILLARARCH.COM.AU
 +61 3 7885 8554
 ACN 643 118 834

FINISHES LEGEND:

- PF#** PAINT FINISH AS SCHEDULED
- AP#** ACOUSTIC PANELS AS SCHEDULED
- WT#** WALL TILE AS SCHEDULED
- WC#** WALL CLADDING AS SCHEDULED
- VP#** PERFORATED VENEER PANEL
- FT#** FLOOR TILES AS SCHEDULED
- EX.TF** EXISTING TIMBER FLOOR IN FINISH AS SCHEDULED

NOTES:
 EXISTING TIMBER FLOORING ON GROUND FLOOR TO BE RETAINED/ PROTECTED DURING CONSTRUCTION AS SHOWN. CONTRACTOR TO REPAIR AND MAKE GOOD TO ALL IMPACT SURFACES.

GENERAL NOTES:

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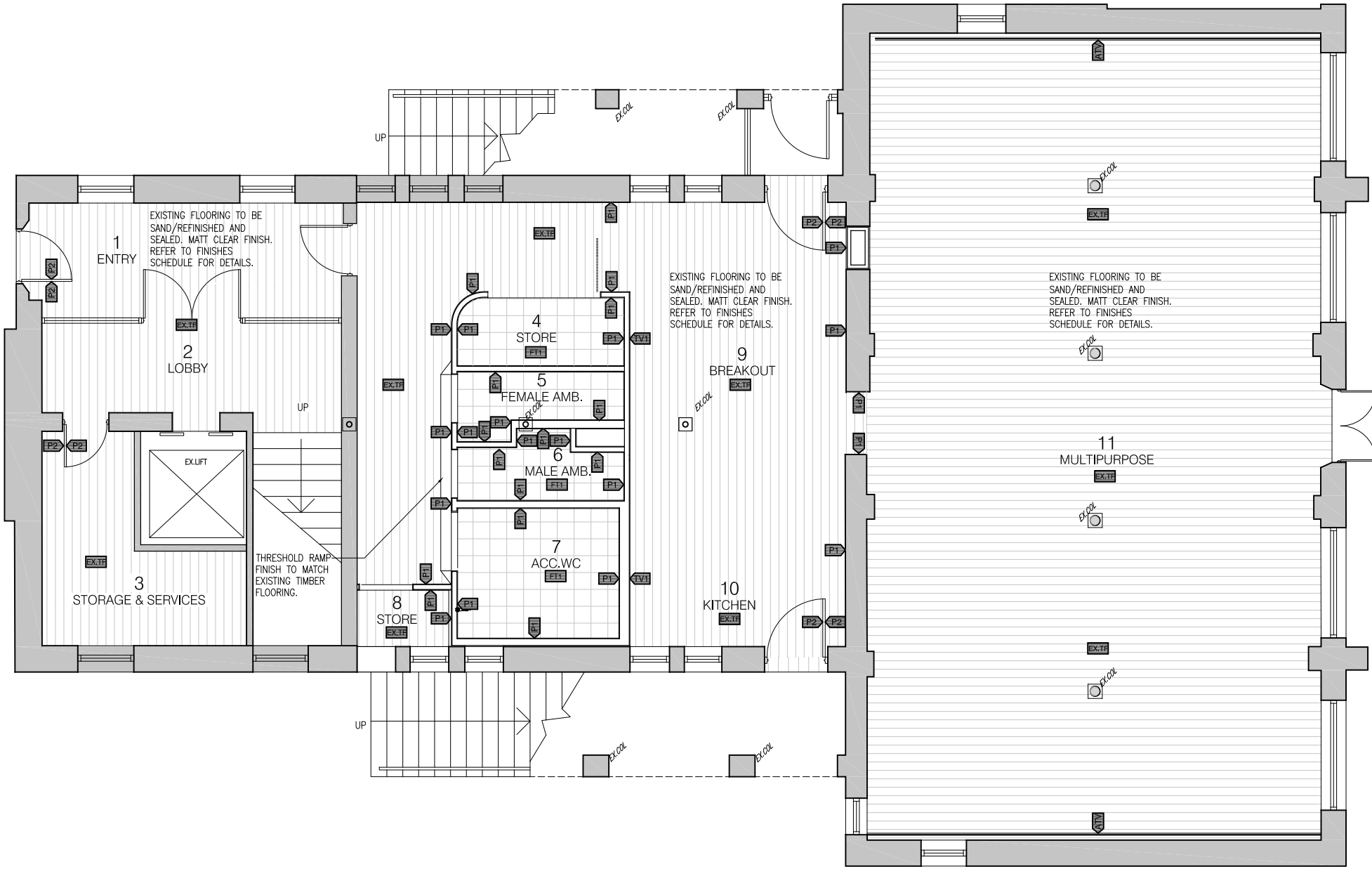
SLIP RESISTANCE

NOTE: ALL FLOOR FINISH MUST ACHIEVE THE FOLLOWING SLIP RATINGS IN ACCORDANCE WITH HB 198 - "Guide to specification and testing of slip resistance of pedestrian surfaces" & NCC - "D2.14 Slip Resistance Classification":

- AMENITIES (WITH SHOWER/BARE FOOT):**
 - Wet Pendulum Test - 'P4' &
 - Oil-Wet Inclining Platform Test - 'B'
- AMENITIES (NO SHOWERS/SHOES WORN):**
 - Wet Pendulum Test - 'P3' &
 - Oil-Wet Inclining Platform Test - 'R10'
- KITCHENETTES / SINK JOINERY**
 - Wet Pendulum Test - 'P3' &
 - Oil-Wet Inclining Platform Test - 'R10'
- KITCHENS (COOK TOP, FOOD PREPARATION)**
 - Wet Pendulum Test - 'P3' &
 - Oil-Wet Inclining Platform Test - 'R12'
- STAIRS (TREADS & LANDINGS)**
 - DRY SURFACE - Wet Pendulum Test - 'P3'
 - DRY SURFACE - Oil-Wet Inclining Platform Test - 'R10'
 - WET SURFACE - Wet Pendulum Test - 'P4'
 - WET SURFACE - Oil-Wet Inclining Platform Test - 'R11'
- STAIR NOSING & LANDINGS**
 - DRY SURFACE - Wet Pendulum Test - 'P3'
 - WET SURFACE - Wet Pendulum Test - 'P4'
- RAMP (STEEPER THAN 1:14)**
 - DRY SURFACE - Wet Pendulum Test - 'P4'
 - DRY SURFACE - Oil-Wet Inclining Platform Test - 'R11'
 - WET SURFACE - Wet Pendulum Test - 'P5'
 - WET SURFACE - Oil-Wet Inclining Platform Test - 'R12'
- RAMP (1:20 - 1:14)**
 - DRY SURFACE - Wet Pendulum Test - 'P3'
 - DRY SURFACE - Oil-Wet Inclining Platform Test - 'R10'
 - WET SURFACE - Wet Pendulum Test - 'P4'
 - WET SURFACE - Oil-Wet Inclining Platform Test - 'R11'

ALL FLOORING PRODUCTS MUST HAVE A VALID TEST CERTIFICATE IN COMPLIANCE WITH AS4586 - "Slip resistance classification of new pedestrian surface materials".

ALL FLOORING PRODUCTS MUST HAVE A VALID MANUFACTURERS WARRANTY FOR ONGOING COMPLIANCE WITH AS4663 - "Slip resistance measurement of existing pedestrian surfaces". IN-SITU TESTING.



NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A240	PROPOSED FINISHES PLAN GF	P1	PRELIMINARY	130 LONSDALE ST REFRUBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:100 @ A3 1:50 @ A1	CHARTER HALL



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WWW.MILLARARCH.COM.AU
INFO@MILLARARCH.COM.AU
+61 3 7885 8554
ACN 643 118 834



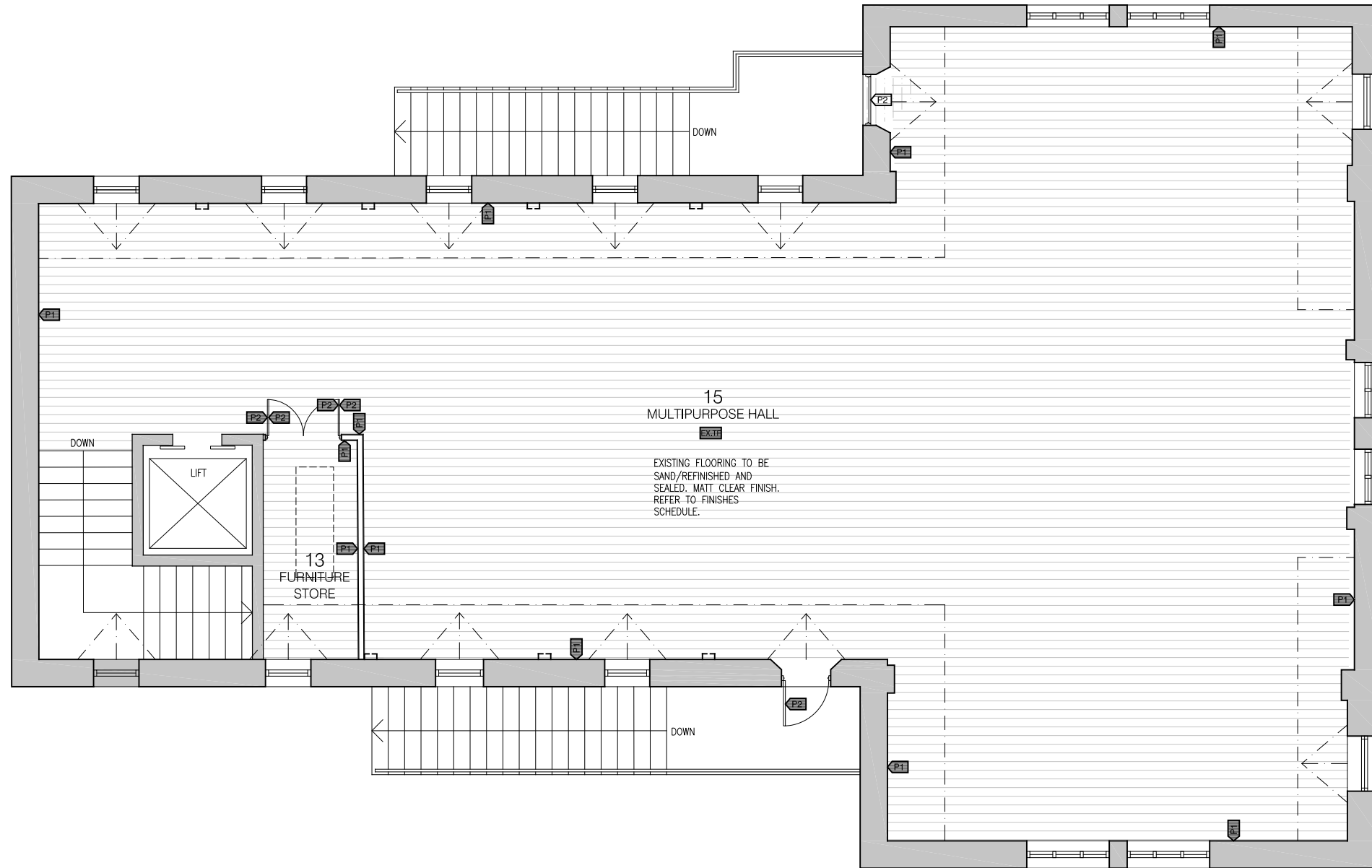
FINISHES LEGEND:

- PF# PAINT FINISH AS SCHEDULED
- AP# ACOUSTIC PANELS AS SCHEDULED
- WT# WALL TILE AS SCHEDULED
- WC# WALL CLADDING AS SCHEDULED
- VP# PERFORATED VENEER PANEL
- FT# FLOOR TILES AS SCHEDULED
- EX.TF EXISTING TIMBER FLOOR IN FINISH AS SCHEDULED

NOTES:
EXISTING TIMBER FLOORING ON LEVEL 1 TO BE RETAINED/
PROTECTED DURING CONSTRUCTION AS SHOWN.
CONTRACTOR TO REPAIR AND MAKE GOOD TO ALL IMPACT
SURFACES.

GENERAL NOTES:

1. VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.
2. ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON SEEKING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD ACTION OR PUSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900mm AND 1100mm ABOVE THE FINISHED FLOOR LEVEL IN ACCORDANCE WITH CLAUSE D2.21 OF THE BUILDING CODE OF AUSTRALIA.
3. ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.
4. EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3. FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.
5. ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CASING.
6. ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH AS3700.
7. FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.
8. PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444. PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20m FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN AND TEA AREA.
9. FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES. LOCATION TO BE DETERMINED ON SITE.
10. MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1688.2 AND AS-3688. EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INTAKES.
11. ALL GLAZING TO COMPLY WITH AS-1288. ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBILITY OF THE GLAZIER / CONTRACTOR TO PROVIDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY.
12. ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULLY SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE WITH SECTION J3 OF THE BCA.
13. ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS.
14. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. 75mm THICK WITH THE LOWER EDGE BETWEEN 900 - 1000mm ABOVE FFL.
15. ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL.
16. ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED. ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE.
17. WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740.
18. ALL FLASHINGS & CAPPINGS TO BE POWDERCOATED WHERE VISIBLE. ZINCALUME ELSEWHERE. PROFILED WEATHER STOPS TO ALL ROOF AND WALL SHEETING.
19. ALL ROOF PENETRATIONS ARE TO HAVE CONTINUOUS FLASHED FROM PENETRATION TO ROOF APEX.
20. FACADE SYSTEMS TO COMPLY WITH AND HAVE CURRENT CODEMARK CERTIFICATION FOR COMPLIANCE WITH NCC: FP1.4 - FACADE WATERPROOFING CERTIFICATION.
21. BUILDING WRAP / SARKING MUST COMPLY WITH NCC C1.9(A)(i), (d) & (e) (iv) - FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING ELEMENT)
22. DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 - 2009.
23. ALL WALL HUNG FIXTURES AND FITTINGS INCLUDING HANDRAILS AND WC BACK RESTS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH 'STUD FINDER' PRIOR TO INSTALLATION OF FIXTURE.
24. NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY WITH WITH AS1170.4 FOR SEISMIC LOADS.
25. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES, INCLUDING (BUT NOT LIMITED TO) THE DOOR SCHEDULE, DOOR HARDWARE SCHEDULE, COLOUR AND FINISHES SCHEDULE (INTERNAL AND EXTERNAL), FIXTURES, FITTINGS AND APPLIANCES SCHEDULE.



SLIP RESISTANCE

NOTE: ALL FLOOR FINISH MUST ACHIEVE THE FOLLOWING SLIP RATINGS IN ACCORDANCE WITH HB 198 - "Guide to specification and testing of slip resistance of pedestrian surfaces" & NCC - '02.14 Slip Resistance Classification':

- AMENITIES (WITH SHOWER/BARE FOOT):**
 - Wet Pendulum Test - 'P4' &
 - Oil-Wet Inclining Platform Test - 'B'
- AMENITIES (NO SHOWERS/SHOES WORN):**
 - Wet Pendulum Test - 'P3' &
 - Oil-Wet Inclining Platform Test - 'R10'
- KITCHENETTES / SINK JOINERY**
 - Wet Pendulum Test - 'P3' &
 - Oil-Wet Inclining Platform Test - 'R10'
- KITCHENS (COOK TOP, FOOD PREPARATION)**
 - Wet Pendulum Test - 'P3' &
 - Oil-Wet Inclining Platform Test - 'R12'
- STAIRS (TREADS & LANDINGS)**
 - DRY SURFACE - Wet Pendulum Test - 'P3'
 - DRY SURFACE - Oil-Wet Inclining Platform Test - 'R10'
 - WET SURFACE - Wet Pendulum Test - 'P4'
 - WET SURFACE - Oil-Wet Inclining Platform Test - 'R11'
- STAIR NOSING & LANDINGS**
 - DRY SURFACE - Wet Pendulum Test - 'P3'
 - WET SURFACE - Wet Pendulum Test - 'P4'
- RAMPS (STEEPER THAN 1:14)**
 - DRY SURFACE - Wet Pendulum Test - 'P4'
 - DRY SURFACE - Oil-Wet Inclining Platform Test - 'R11'
 - WET SURFACE - Wet Pendulum Test - 'P3'
 - WET SURFACE - Oil-Wet Inclining Platform Test - 'R12'
- RAMP (1:20 - 1:14)**
 - DRY SURFACE - Wet Pendulum Test - 'P3'
 - DRY SURFACE - Oil-Wet Inclining Platform Test - 'R10'
 - WET SURFACE - Wet Pendulum Test - 'P4'
 - WET SURFACE - Oil-Wet Inclining Platform Test - 'R11'

ALL FLOORING PRODUCTS MUST HAVE A VALID TEST CERTIFICATE IN COMPLIANCE WITH AS4586 - "Slip resistance classification of new pedestrian surface materials".

ALL FLOORING PRODUCTS MUST HAVE A VALID MANUFACTURERS WARRANTY FOR ONGOING COMPLIANCE WITH AS4663 - "Slip resistance measurement of existing pedestrian surfaces", IN-SITU TESTING.

NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY ISSUE	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A241	PROPOSED FINISHES PLAN LEVEL 1	P1	PRELIMINARY	130 LONSDALE ST REFRUBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
18.09.23	HM	NM	22.157	1:100 @ A3 1:50 @ A1	CHARTER HALL



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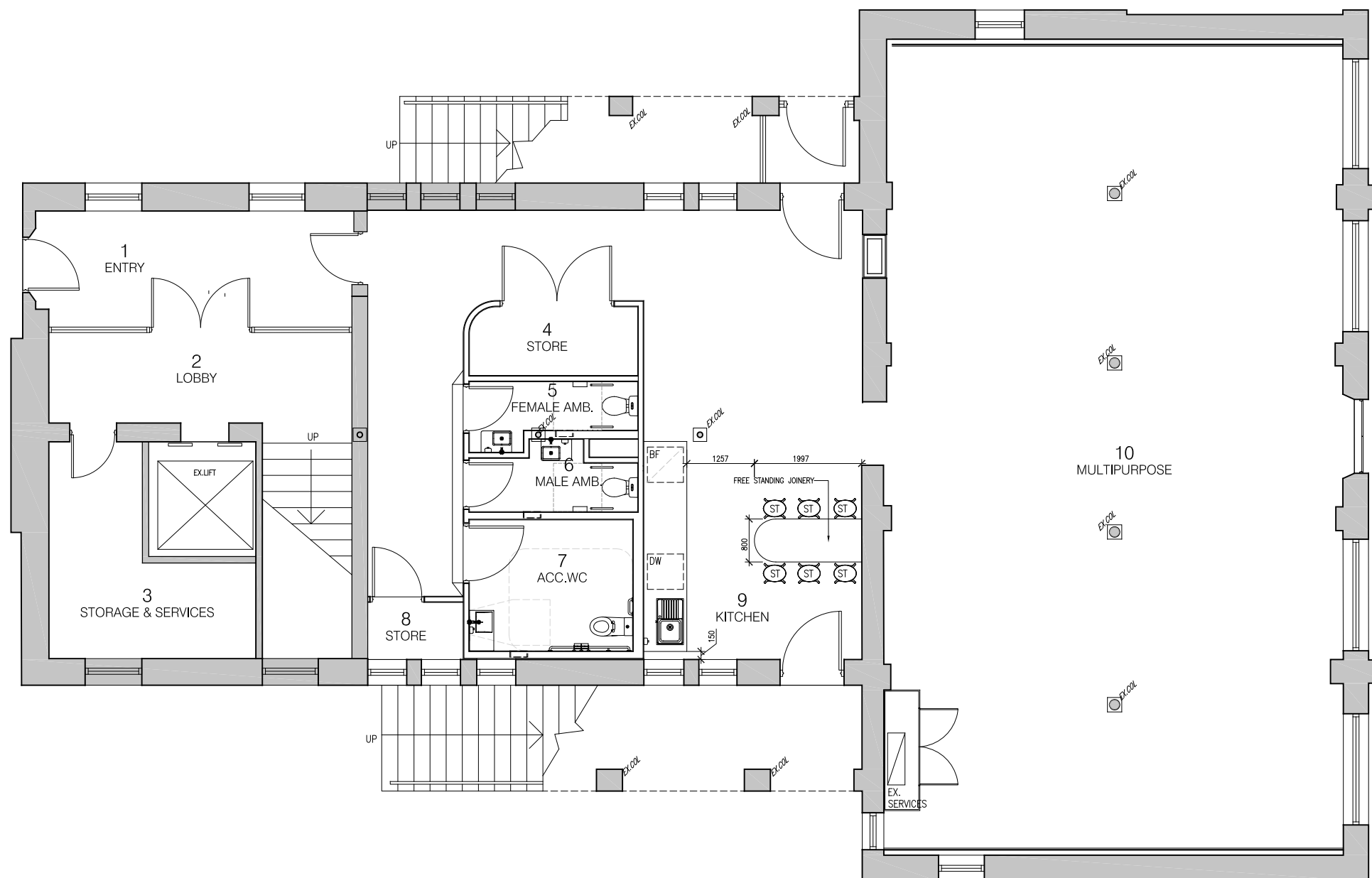
Millar Architects
WWW.MILLARARCH.COM.AU
INFO@MILLARARCH.COM.AU
+61 3 7885 8554
ACN 643 118 834

JOINERY NOTES:

1. ALL ACCESS TO SITE AND SPECIFIED DIMENSIONS TO BE CHECKED ON SITE BEFORE CONSTRUCTION.
2. JOINER SHALL ENSURE STRUCTURAL INTEGRITY OF ALL JOINERY. ALLOW FOR ADDITIONAL FRAMING, CLEATS ETC. AS REQUIRED TO SUIT THE APPLICATION & METHODS OF CONSTRUCTION & TO ENSURE STABILITY OF THE COMPLETE INSTALLATION.
3. ALL WALL HUNG FIXTURES AND FITTINGS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH STUD FINDER PRIOR TO INSTALLATION.
4. ALL PENETRATION FOR SERVICES & FITTINGS ARE TO BE PROVIDED BY JOINER. LOCATION & SIZES OF PENETRATIONS ARE TO BE CO-ORDINATED WITH THE RELEVANT TRADES.
5. REFER TO FIXTURES AND FITTING SCHEDULES FOR DETAILS.
6. REFER TO SERVICES DRAWINGS FOR ELECTRICAL DETAILS.
7. PROVIDE ADEQUATE VENTILATION TO ALL BUILT IN ELECTRICAL UNITS.
8. ALL JOINERY TO WET AREAS BE CONSTRUCTED OF MFMDF. 32mm THICK FOR BENCH TOP, 18mm EVERYWHERE ELSE UNLESS OTHERWISE NOTED.
9. ALL EXTERNAL EXPOSED SURFACES ARE TO HAVE SELECTED LAMINATE FINISH UNLESS OTHERWISE NOTED. LAMINATE PATTERN TO RUN VERTICALLY.
10. ALL INTERNAL SHELVES & DIVISIONS & GENERAL CARCASS ARE TO BE CONSTRUCTED FROM WHITE MELAMINE PRE-FINISHED BOARD UNLESS OTHERWISE SPECIFIED.
11. ALL SHELVING TO BE FULLY ADJUSTABLE UNLESS OTHERWISE SPECIFIED.
12. FINISH EXPOSED EDGES OF ALL LAMINATE FACED & MELAMINE FACED PANELS, DOORS, DIVISIONS, SHELVES ETC. WITH PVC IMPACT EDGING OF MATCHING COLOUR.
13. PROVIDE DOOR BUMPERS TO ALL DRAWERS & CUPBOARDS.
14. DRAWERS ARE TO BE FITTED ON POWDERCOATED STEEL DRAWER SLIDES TO PERMIT OPENING OF THE DRAWERS TO THEIR FULL LENGTH.
15. SCRIBE/FILLET AT SIDE PANEL TO ALL BUILT IN LAMINATED UNITS.
16. SILICON BEAD TO ALL JOINERY/WALL CONNECTIONS TO MATCH WALL COLOR.
17. ALL WALL HUNG FIXTURES AND FITTINGS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH STUD FINDER PRIOR TO INSTALLATION OF FIXTURE.

FURNITURE LEGEND:

CH	CHAIR
MT	MULTI PURPOSE TABLE
TB	TABLE
BR	BAR FRIDGE
ST	SEAT



NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY ISSUE	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A260	PROPOSED FURNITURE PLAN GF	P1	PRELIMINARY	130 LONSDALE ST REFURBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:100 @ A3 1:50 @ A1	CHARTER HALL



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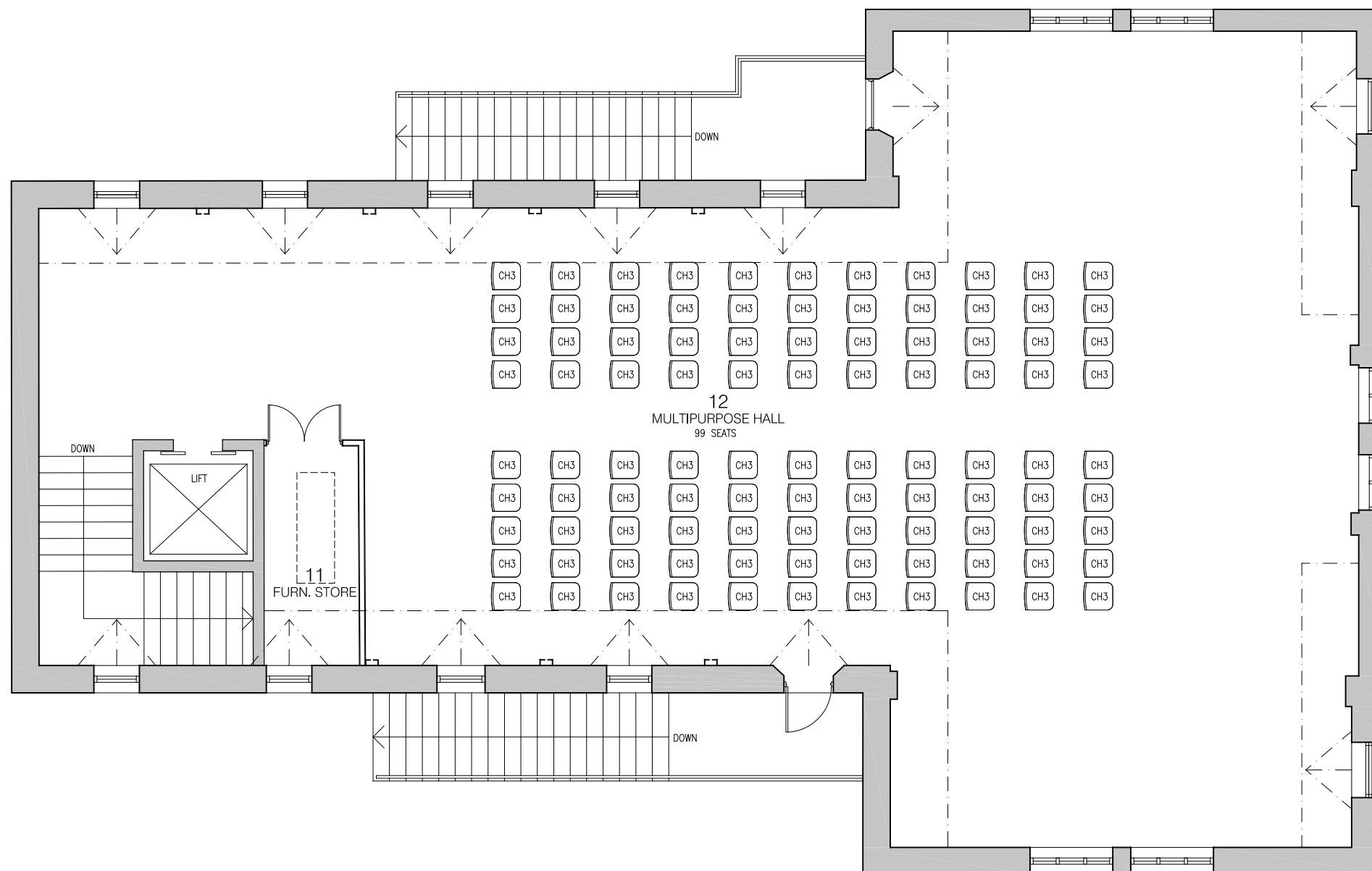
Millar Architects
 WWW.MILLARARCH.COM.AU
 INFO@MILLARARCH.COM.AU
 +61 3 7885 8554
 ACN 643 118 834

JOINERY NOTES:

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3. ALL WALL HUNG FIXTURES AND FITTINGS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH STUD FINDER PRIOR TO INSTALLATION.
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6. REFER TO SERVICES DRAWINGS FOR ELECTRICAL DETAILS.
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11. ALL SHELVING TO BE FULLY ADJUSTABLE UNLESS OTHERWISE SPECIFIED.
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FURNITURE LEGEND:

CH	CHAIR
MT	MULTI PURPOSE TABLE
TB	TABLE
BR	BAR FRIDGE
ST	SEAT



NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A261	PROPOSED FURNITURE PLAN LEVEL 1	P1	PRELIMINARY	130 LONSDALE ST REFURBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:100 @ A3 1:50 @ A1	CHARTER HALL



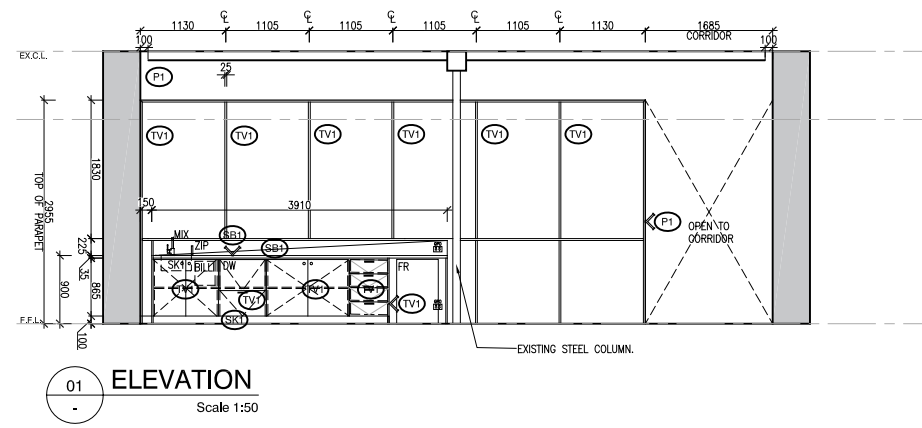
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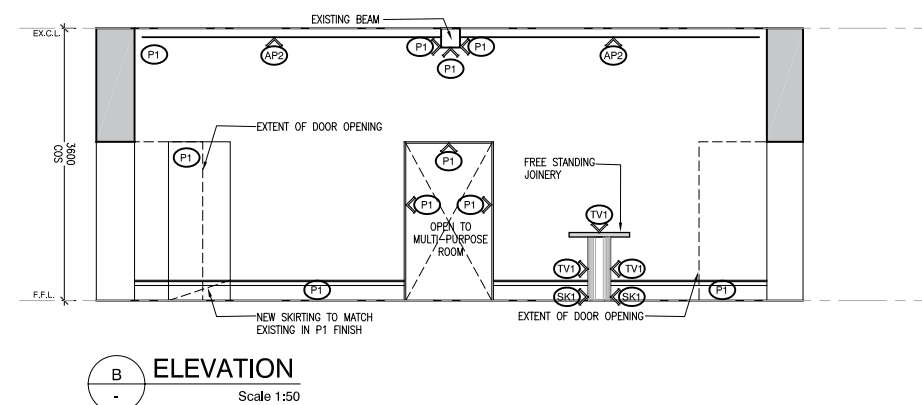
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 WWW.MILLARARCH.COM.AU
 INFO@MILLARARCH.COM.AU
 +61 3 7885 8554
 ACN 643 118 834

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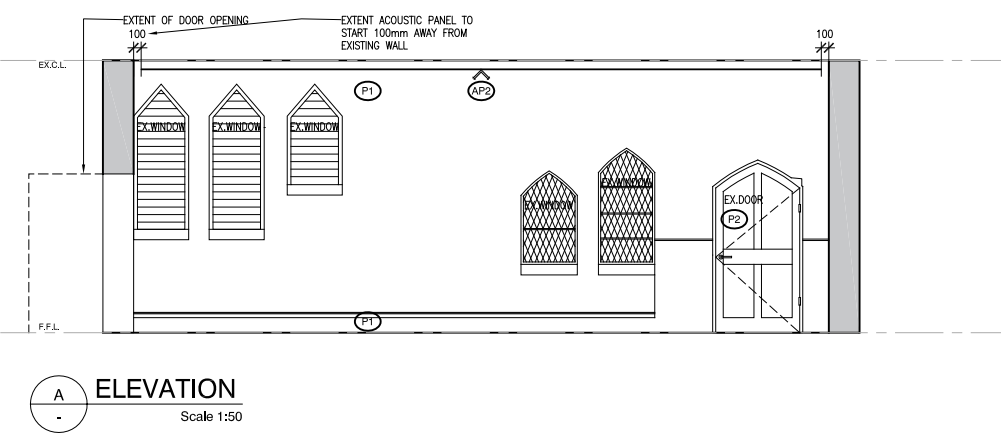
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3. ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.
4. EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3. FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.
5. ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CALKING.
6. ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH AS3700.
7. FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.
8. PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444. PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20m FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN AND TEA AREA.
9. FIRE BLANKETS TO ALL HITCHENS AND KITCHENETTES. LOCATION TO BE DETERMINED ON SITE.
10. MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1668.2 AND AS-3686. EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.
11. ALL GLAZING TO COMPLY WITH AS-1288. ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBILITY OF THE GLAZIER / CONTRACTOR TO PROVIDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY.
12. ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULLY SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE WITH SECTION J3 OF THE BCA.
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20. FACADE SYSTEMS TO COMPLY WITH AND HAVE CURRENT CODEMARK CERTIFICATION FOR COMPLIANCE WITH NCC F1.4 - FACADE WATERPROOFING CERTIFICATION.
21. BUILDING WRAP / SARKING MUST COMPLY WITH NCC C1.9(A),(D) & (E)(IV) - FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING ELEMENT)
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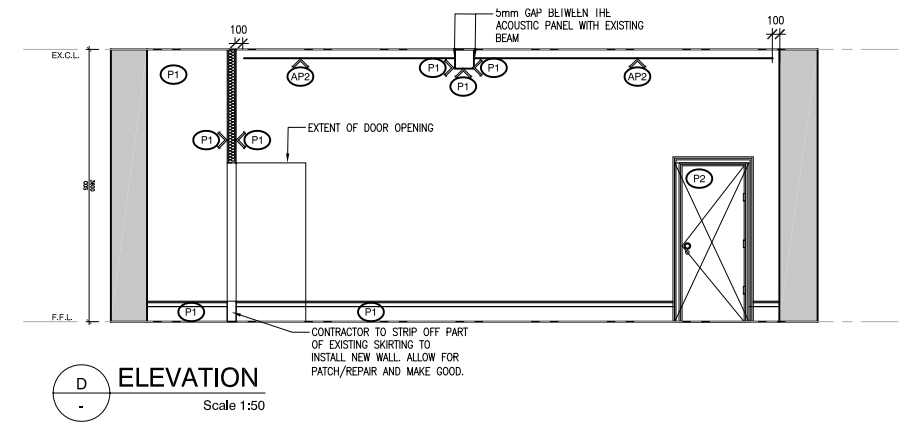
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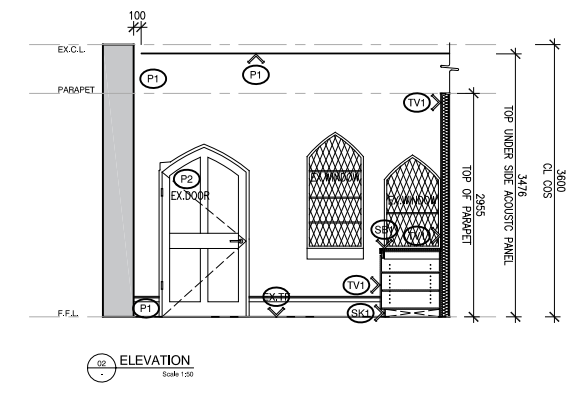
B ELEVATION
Scale 1:50



A ELEVATION
Scale 1:50



D ELEVATION
Scale 1:50



02 ELEVATION
Scale 1:50

NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A300	ELEVATIONS KITCHENETTE EXISTING WALLS	P1	PRELIMINARY	130 LONSDALE ST REFURBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:100 @ A3 1:50 @ A1	CHARTER HALL

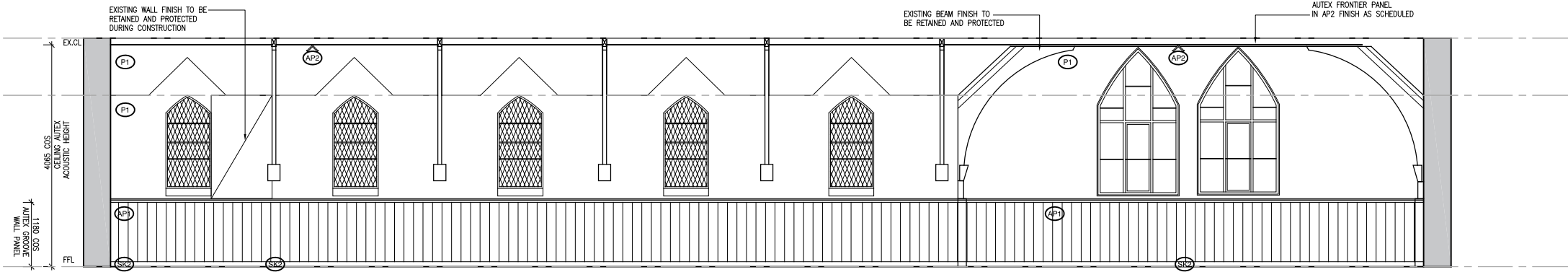
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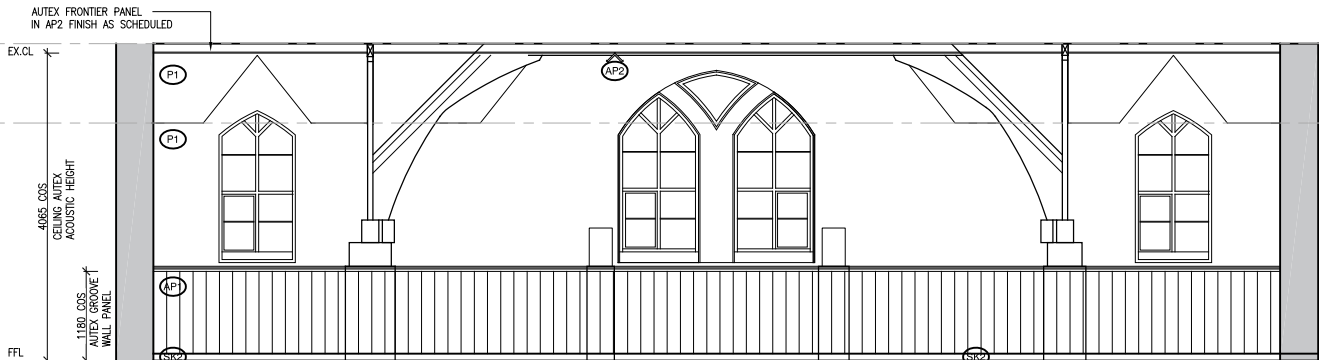
WWW.MILLARARCH.COM.AU
INFO@MILLARARCH.COM.AU
+61 3 7885 8554
ACN 643 118 834

GENERAL NOTES:

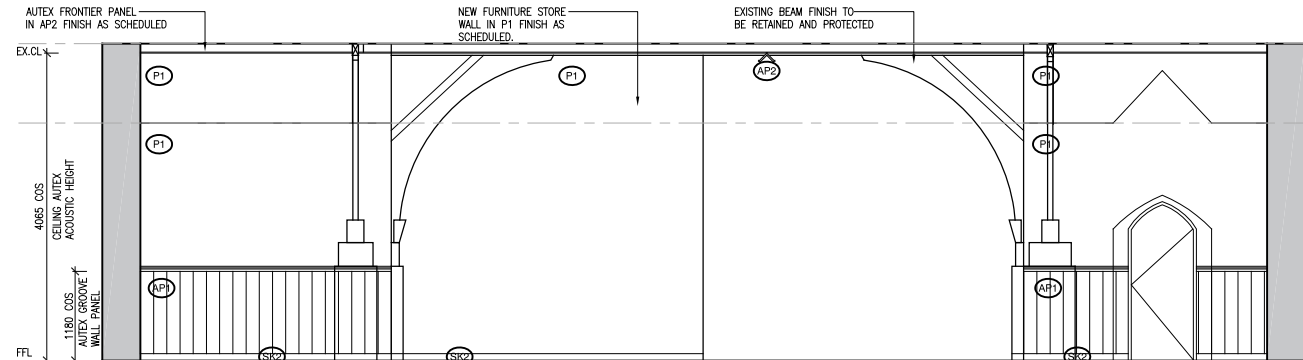
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3. ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.
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7. FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.
8. PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444. PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20m FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN AND TEA AREA.
9. FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES. LOCATION TO BE DETERMINED ON SITE.
10. MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1668.2 AND AS-3686. EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.
11. ALL GLAZING TO COMPLY WITH AS-1288. ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBILITY OF THE GLAZER / CONTRACTOR TO PROVIDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY.
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14. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. 75mm THICK WITH THE LOWER EDGE BETWEEN 900 - 1000mm ABOVE FFL.
15. ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL.
16. ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED. ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE.
17. WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740.
18. ALL FLASHINGS & CAPPINGS TO BE POWDERCOATED WHERE VISIBLE. ZINCALUME ELSEWHERE. PROFILED WEATHER STOPS TO ALL ROOF AND WALL SHEETING.
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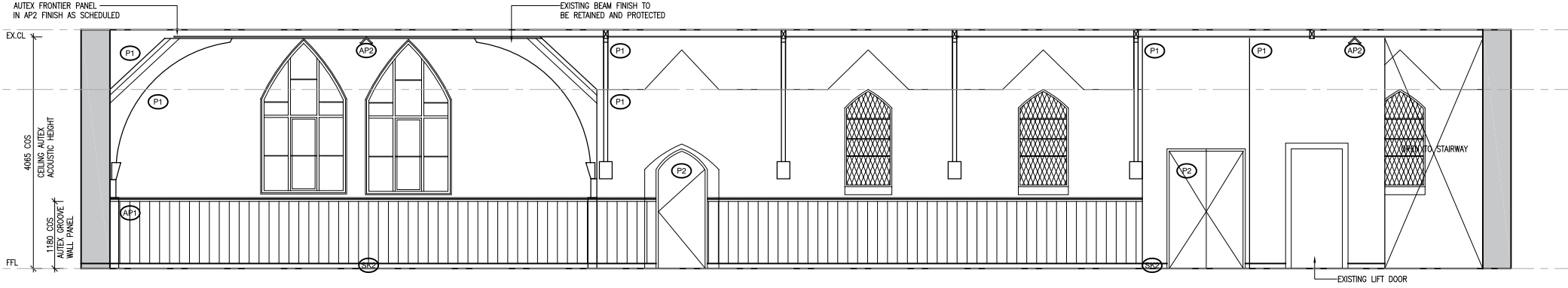
01 ELEVATION
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NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A307	ELEVATIONS LEVEL 1	P1	PRELIMINARY	130 LONSDALE ST REFRUBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:100 @ A3 1:50 @ A1	CHARTER HALL

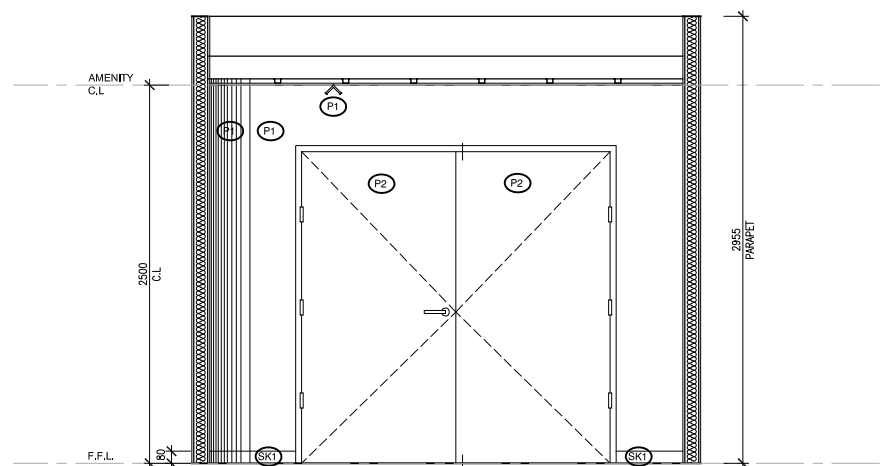
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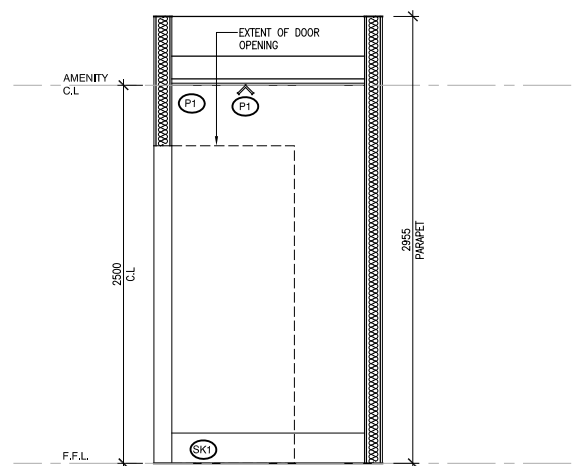
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GENERAL NOTES:

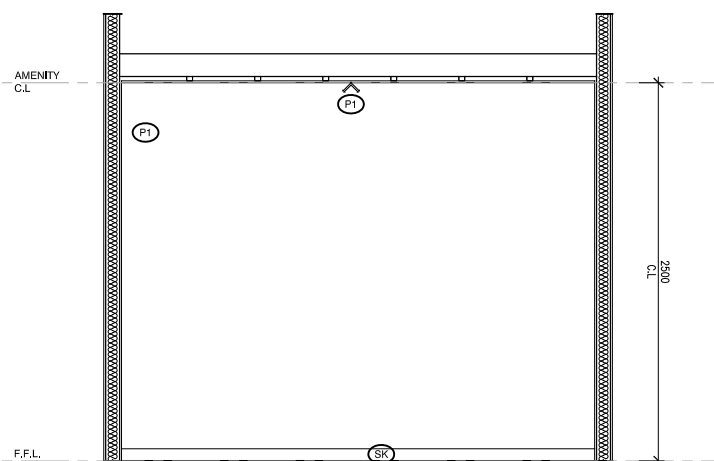
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3. ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.
4. EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3. FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.
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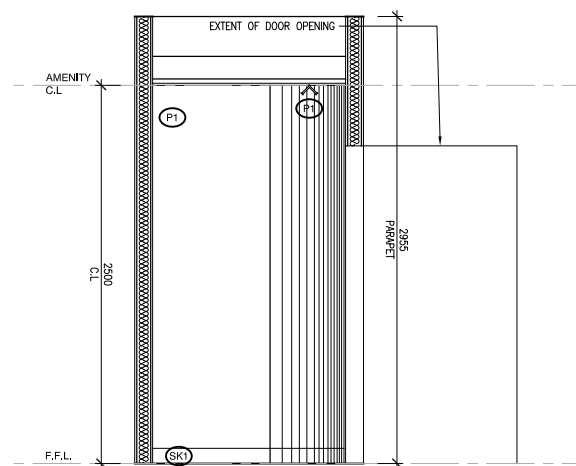
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NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A302	ELEVATION STORE ROOM	P1	PRELIMINARY	130 LONSDALE ST REFURBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:50 @ A3 1:25 @ A1	CHARTER HALL

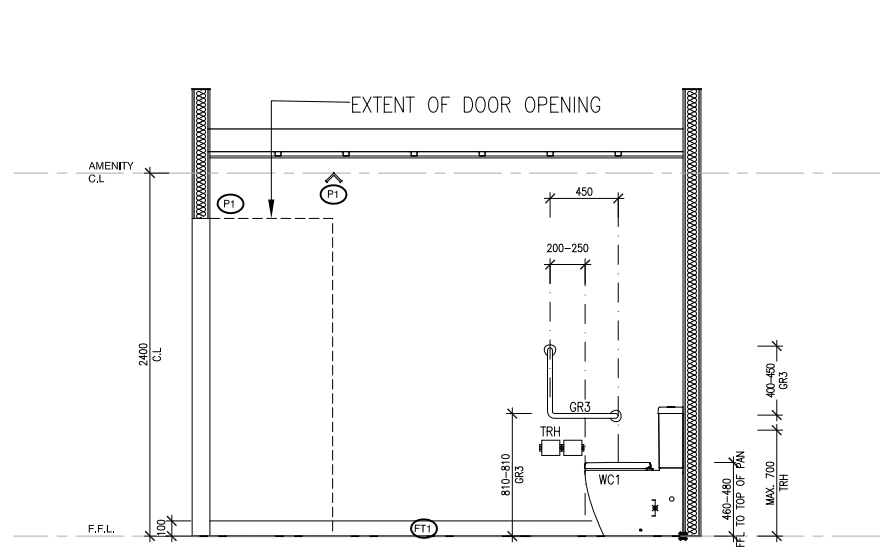
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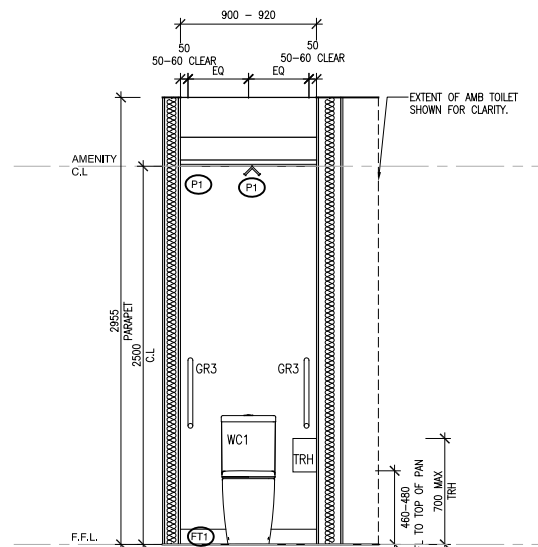
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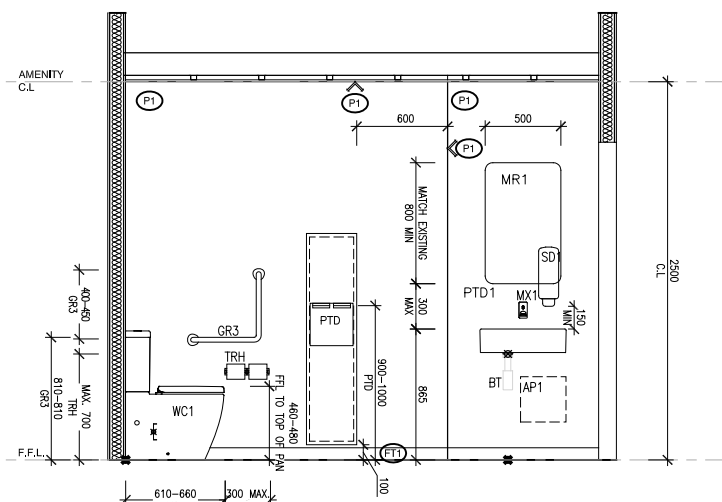
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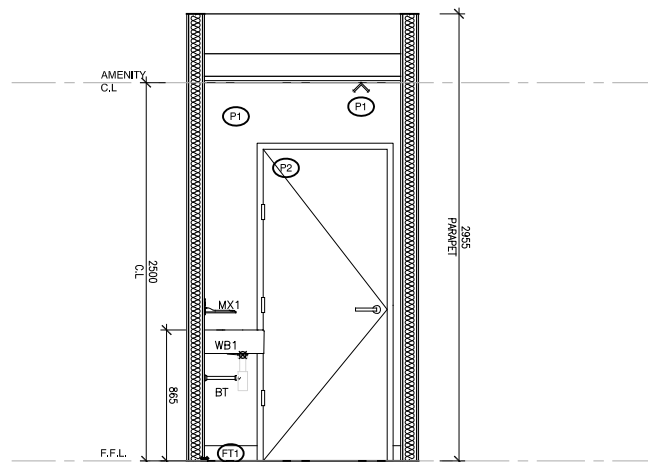
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NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A303	ELEVATION FEMALE AMB. TOILET	P1	PRELIMINARY	130 LONSDALE ST REFURBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:50 @ A3 1:25 @ A1	CHARTER HALL

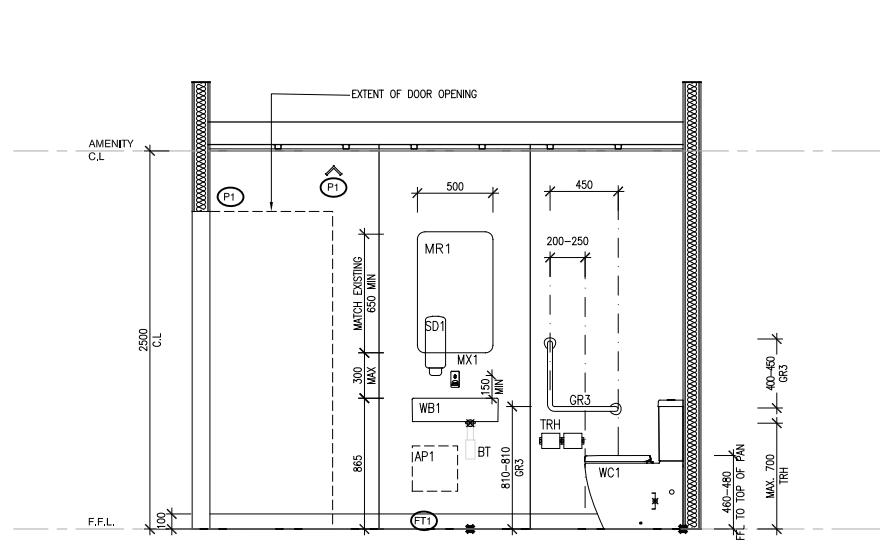
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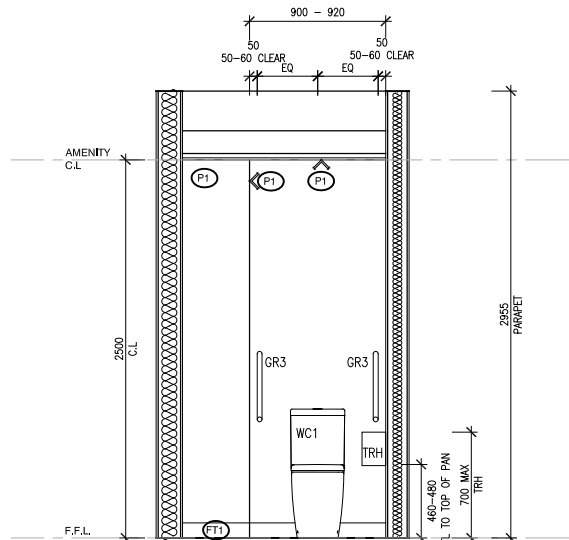
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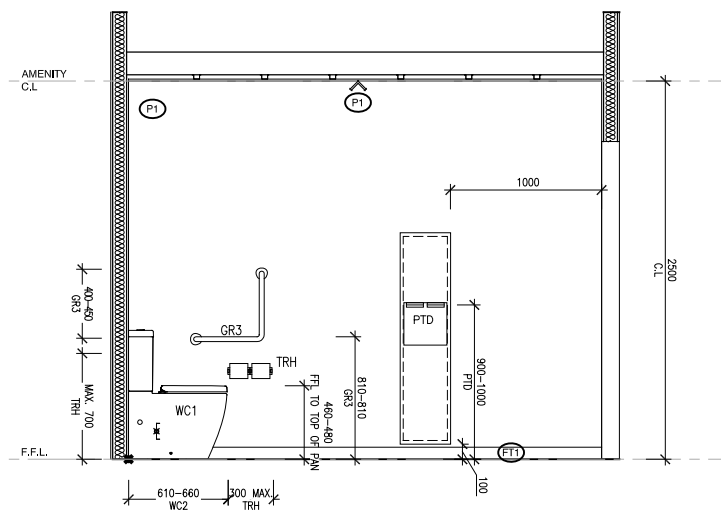
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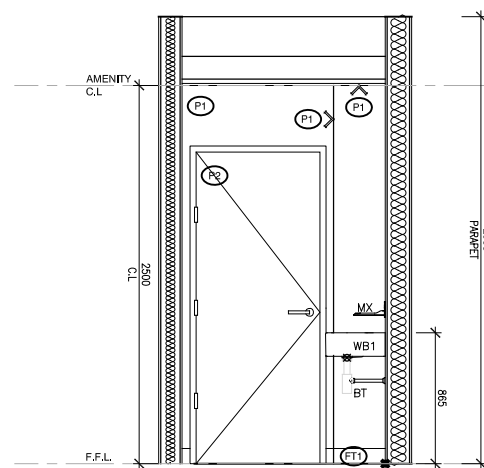
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NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A304	ELEVATION MALE AMB. TOILET	P1	PRELIMINARY	130 LONSDALE ST REFURBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:50 @ A3 1:25 @ A1	CHARTER HALL

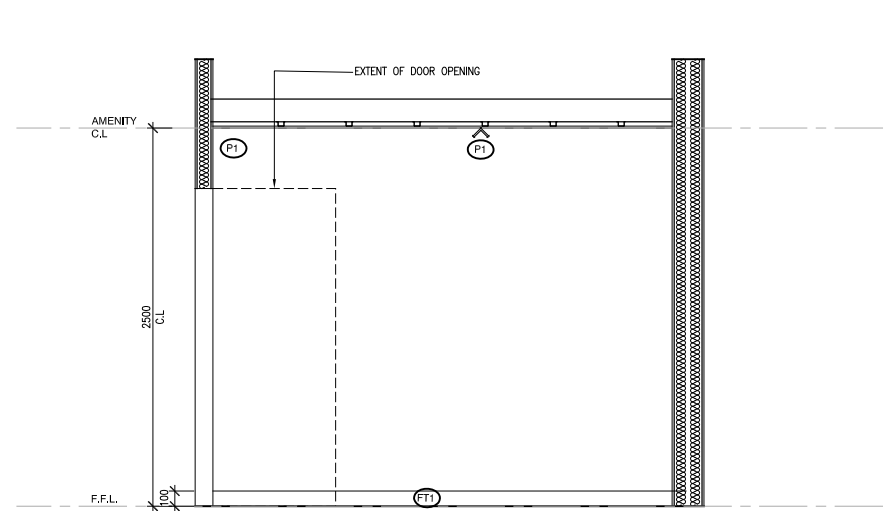
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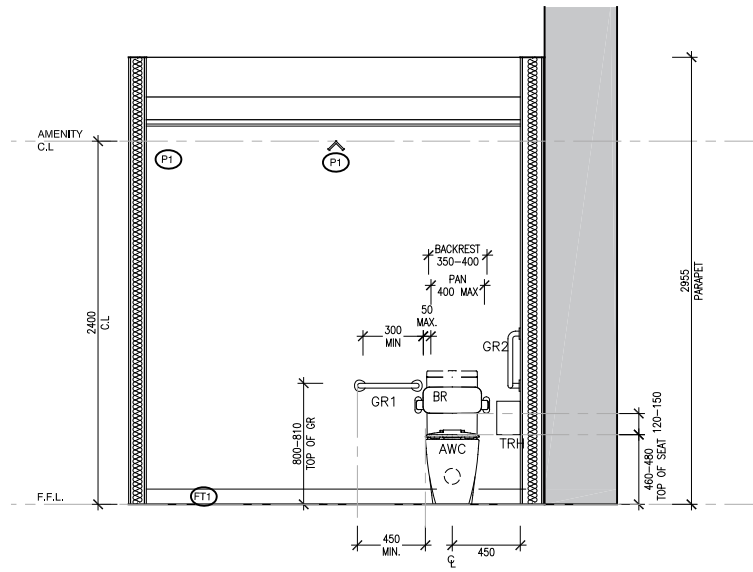
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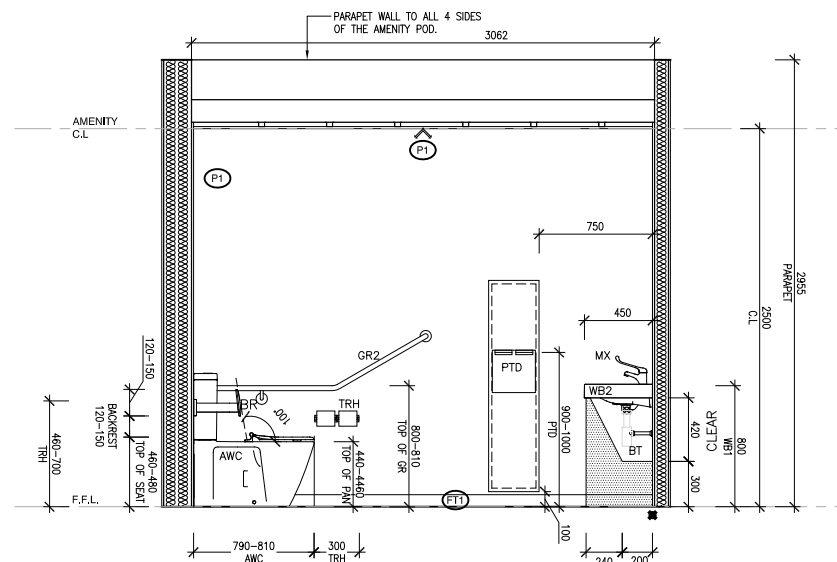
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3. ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.
4. EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3. FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.
5. ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CALKING.
6. ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH AS3700.
7. FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.
8. PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444. PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20m FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN AND TEA AREA.
9. FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES. LOCATION TO BE DETERMINED ON SITE.
10. MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1668.2 AND AS-3666. EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.
11. ALL GLAZING TO COMPLY WITH AS-1288. ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBILITY OF THE GLAZIER / CONTRACTOR TO PROVIDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY.
12. ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULLY SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE WITH SECTION J3 OF THE BCA.
13. ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS.
14. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. 75mm THICK WITH THE LOWER EDGE BETWEEN 900 - 1000mm ABOVE FFL.
15. ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL.
16. ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED. ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE.
17. WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740.
18. ALL FLASHINGS & CAPRINGS TO BE POWDERCOATED WHERE VISIBLE. ZINCALUME ELSEWHERE. PROFILED WEATHER STOPS TO ALL ROOF AND WALL SHEETING.
19. ALL ROOF PENETRATIONS ARE TO HAVE CONTINUOUS FLASHED FROM PENETRATION TO ROOF APEX.
20. FACADE SYSTEMS TO COMPLY WITH AND HAVE CURRENT CODEMARK CERTIFICATION FOR COMPLIANCE WITH NCC F1.4 - FACADE WATERPROOFING CERTIFICATION.
21. BUILDING WRAP / SARKING MUST COMPLY WITH NCC C1.9(A)(i), (D) & (E)(iv) - FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING ELEMENT)
22. DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 - 2009.
23. ALL WALL HUNG FIXTURES AND FITTINGS INCLUDING HANDRAILS AND WC BACK RESTS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH 'STUD FINDER' PRIOR TO INSTALLATION OF FIXTURE.
24. NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY WITH WITH AS1170.4 FOR SEISMIC LOADS.
25. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES INCLUDING (BUT NOT LIMITED TO) THE DOOR SCHEDULE, DOOR HARDWARE SCHEDULE, COLOUR AND FINISHES SCHEDULE (INTERNAL AND EXTERNAL), FIXTURES, FITTINGS AND APPLIANCES SCHEDULE.



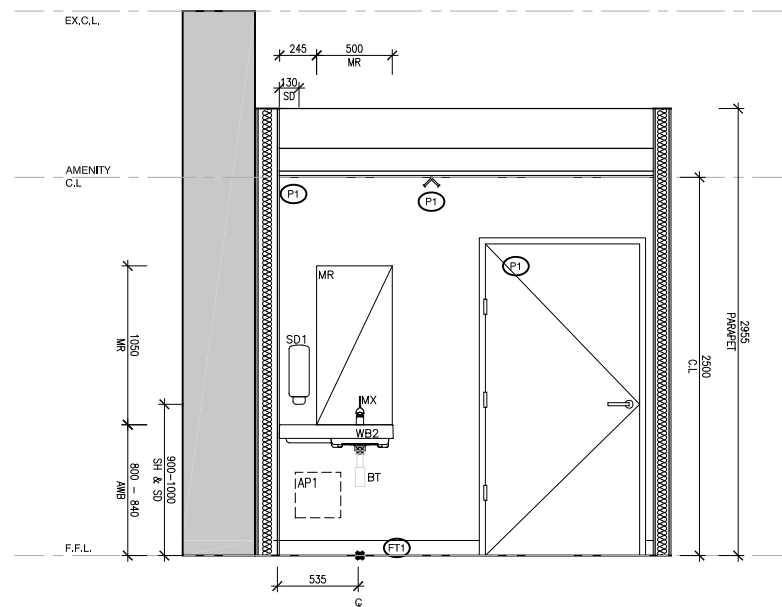
01 ELEVATION
Scale 1:50



02 ELEVATION
Scale 1:25



03 ELEVATION
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04 ELEVATION
Scale 1:50

NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A305	ELEVATION ACC. WC	P1	PRELIMINARY	130 LONSDALE ST REFURBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:50 @ A3 1:25 @ A1	CHARTER HALL

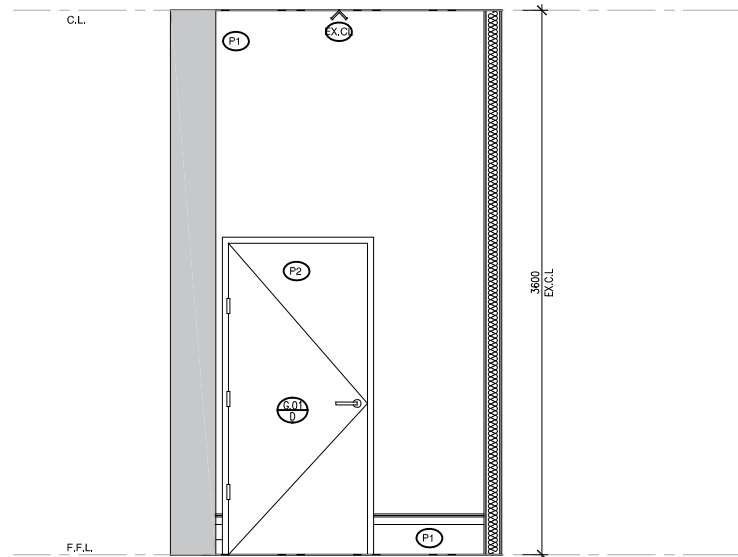
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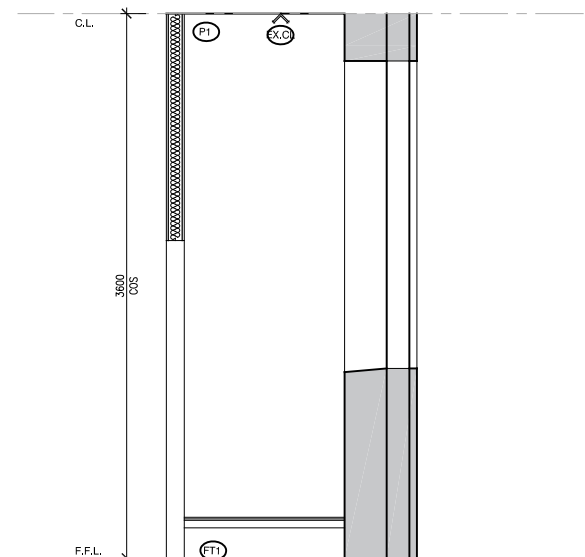
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INFO@MILLARARCH.COM.AU
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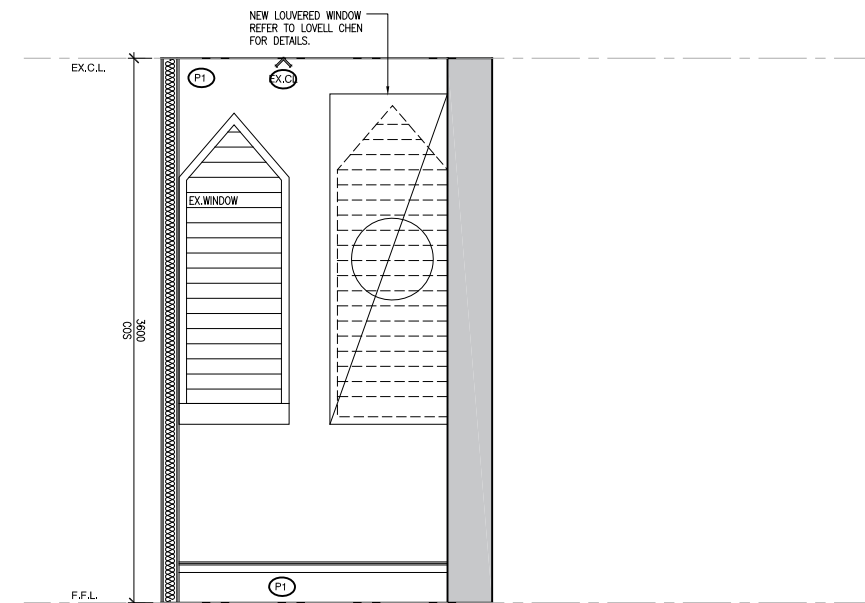
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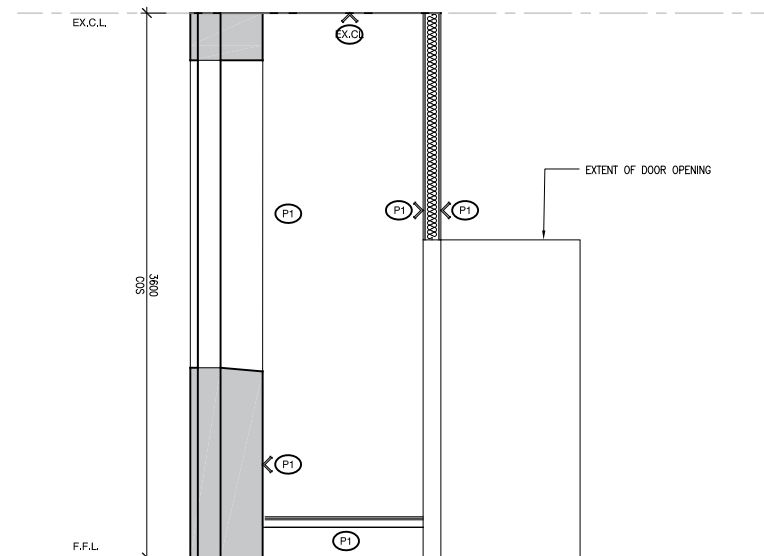
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02 ELEVATION
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04 ELEVATION
Scale 1:25

NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A306	ELEVATION MECH STORE	P1	PRELIMINARY	130 LONSDALE ST REFURBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:50 @ A3 1:25 @ A1	CHARTER HALL

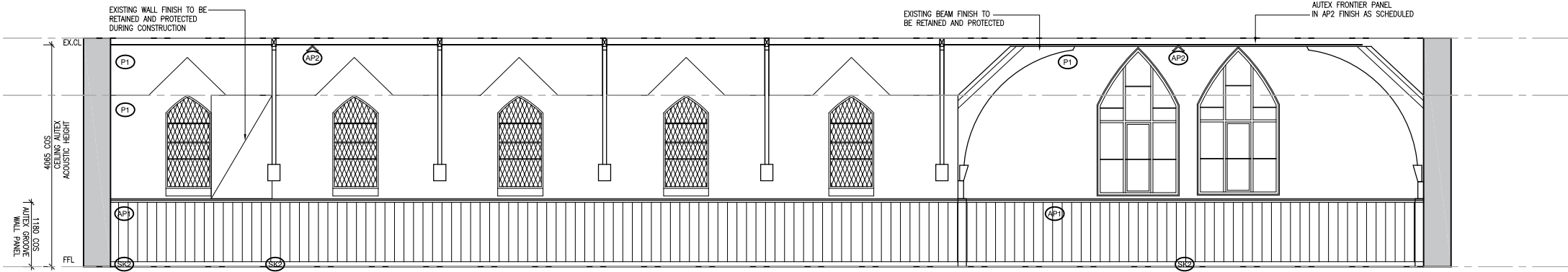
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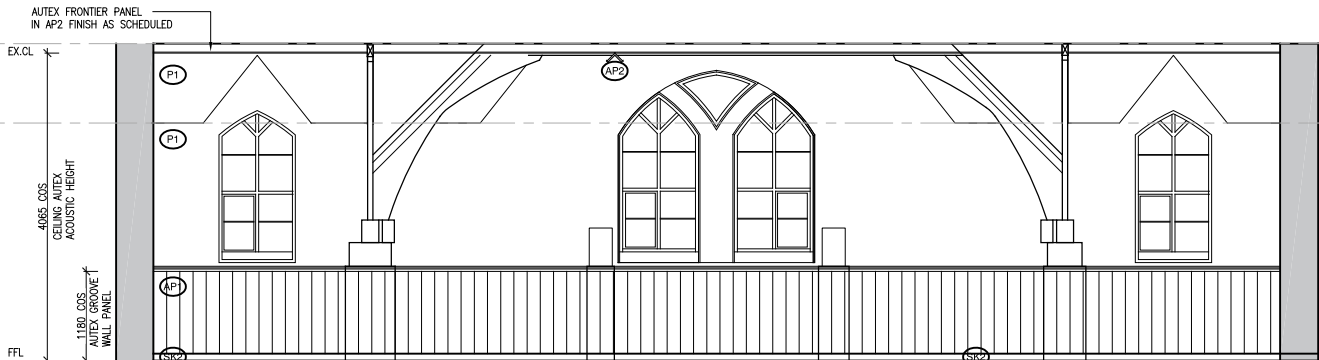
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INFO@MILLARARCH.COM.AU
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GENERAL NOTES:

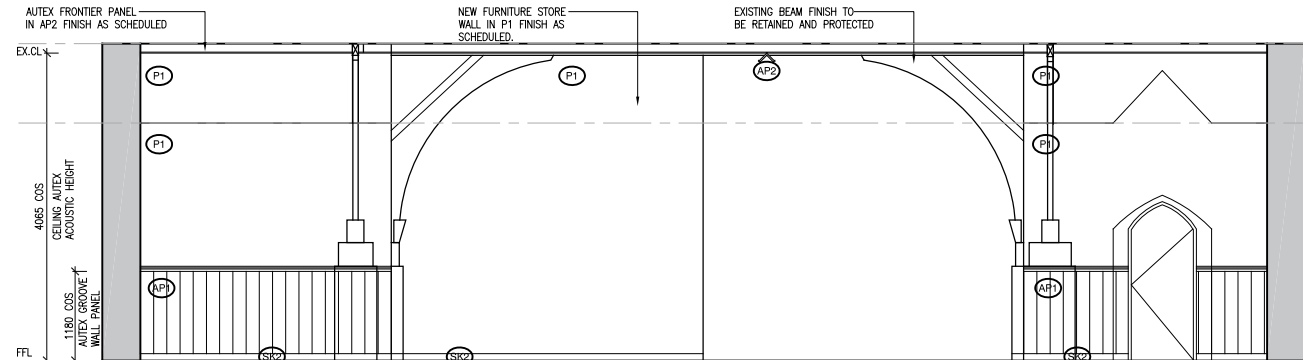
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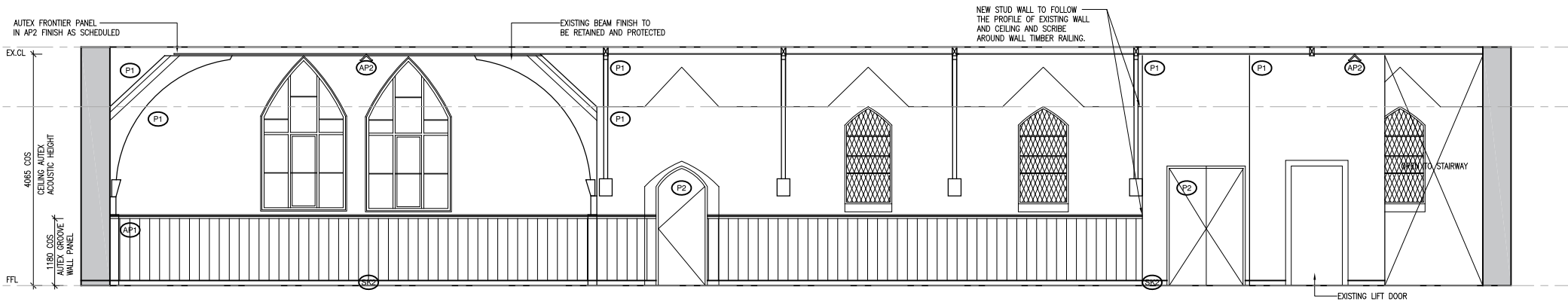
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03 ELEVATION
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NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A307	ELEVATIONS LEVEL 1	P1	PRELIMINARY	130 LONSDALE ST REBURFISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:100 @ A3 1:50 @ A1	CHARTER HALL

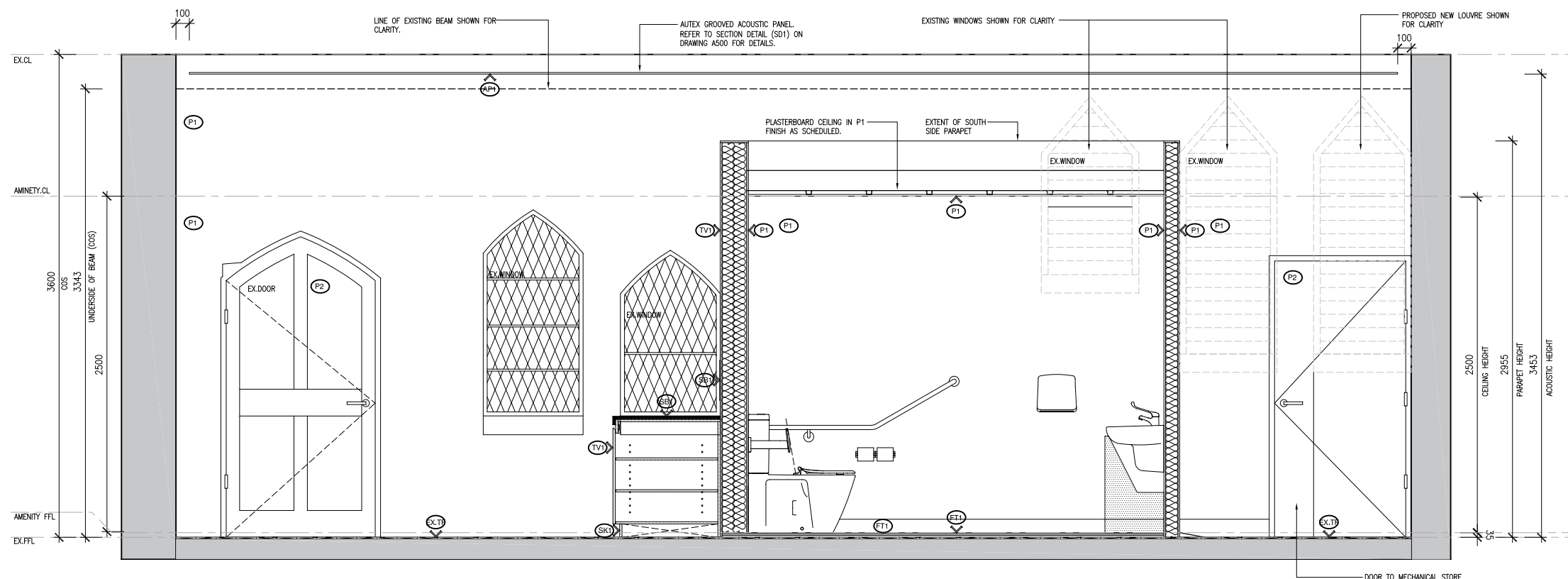
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2. IT IS THE FIT OUT CONTRACTORS RESPONSIBILITY TO CONFIRM OVERALL CRITICAL DIMENSIONS OF WORKSTATIONS PRIOR TO CONSTRUCTION OF FULL HEIGHT WALLS/PARTITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
3. THE FITOUT CONTRACTOR IS TO INCLUDE TO UNDERTAKE A DILAPIDATION REPORT AND PHOTOGRAPHIC RECORD OF EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORKS. CLIENT REPRESENTATIVE IS TO BE IN ATTENDANCE.
4. CARPET PROTECTION IS REQUIRED TO BE SUPPLIED AND INSTALLED BY FITOUT CONTRACTOR. NOTE: CARPET PROTECTION IS TO BE THE BREATHABLE VARIETY TO ALLOW FOR EVAPORATION OF SLAB MOISTURE.
5. ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON SEEKING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD ACTION OR PUSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900mm AND 1200mm ABOVE THE FLOOR LEVEL IN ACCORDANCE WITH CLAUSE D2.21 OF THE BUILDING CODE OF AUSTRALIA.
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18. THE FIT OUT CONTRACTOR SHALL CAREFULLY CO-ORDINATE WITH ALL REQUIRED SUB-TRADES, INCLUDING BUT NOT LIMITED TO THE PARTITION INSTALLER, PLUMBER, PAINTER, MECHANICAL AND ELECTRICAL CONTRACTOR. CONFIRM SIZES, HEIGHTS AND CLEARANCES TO SUIT WORKS. THE FIT OUT CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CO-ORDINATION AND PROGRAM INCLUDING WORKING IN CONJUNCTION WITH AND CO-ORDINATE WITH I.T. INSTALLER, SECURITY INSTALLER, LOOSE FURNITURE AND WORKSTATION INSTALLERS.
19. THE FITOUT CONTRACTOR IS TO ALLOW FOR ALL SERVICES PENETRATIONS, DUCTING ETC. TO SUIT MECHANICAL AND ELECTRICAL LAYOUT. FOR ALL SERVICES WORKS REFER TO CONSULTING ENGINEERS DRAWINGS.



S01 ELEVATION
Scale 1:20

NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JK

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A400	SECTION - S01	P1	PRELIMINARY	130 LONSDALE ST REFURBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:40 @ A3 1:20 @ A1	CHARTER HALL

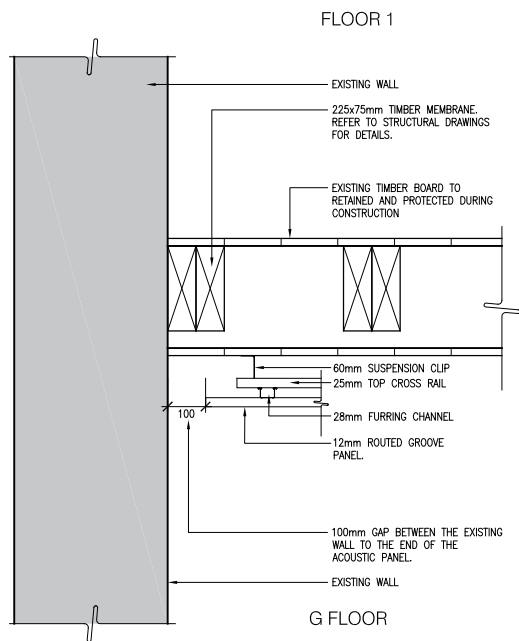


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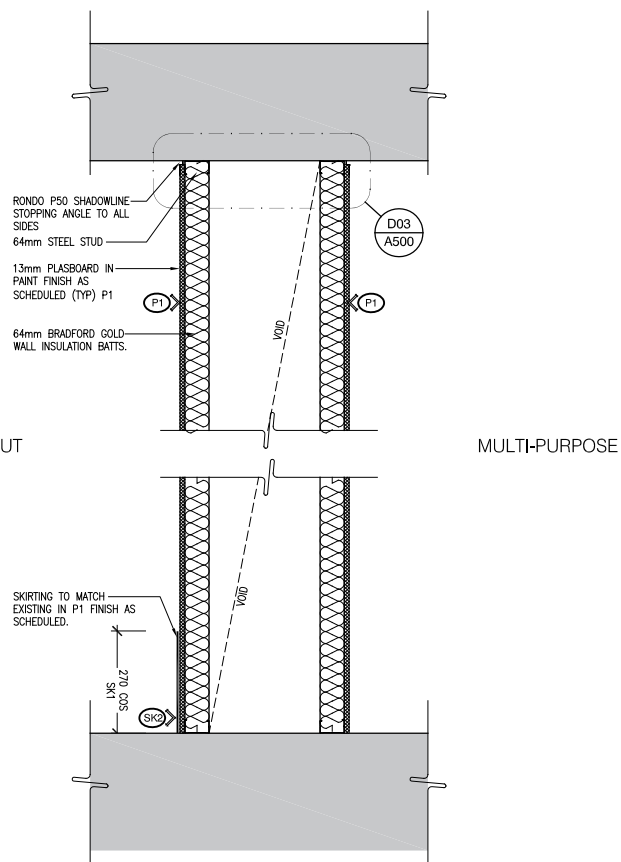
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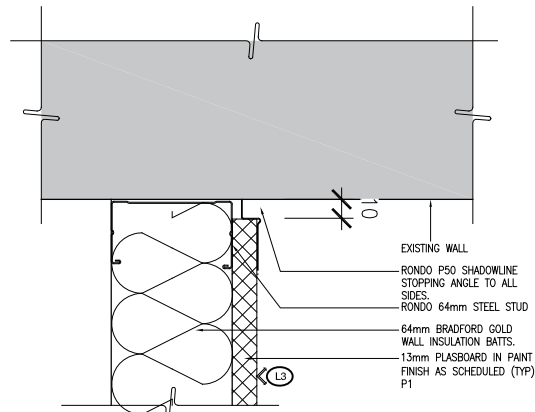
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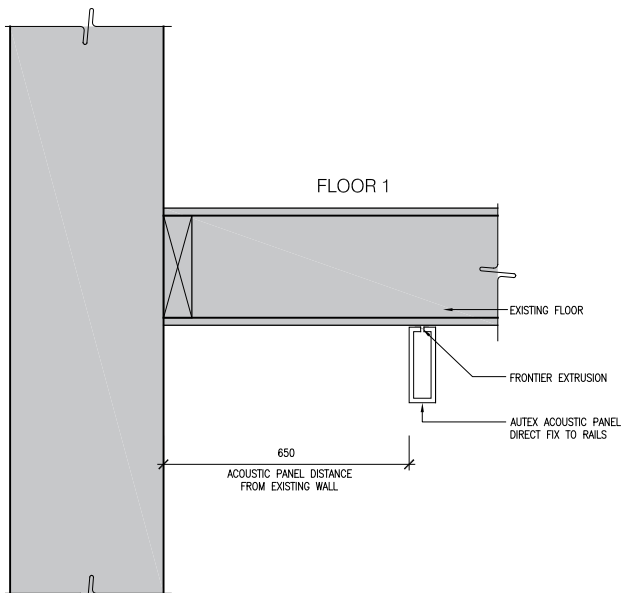
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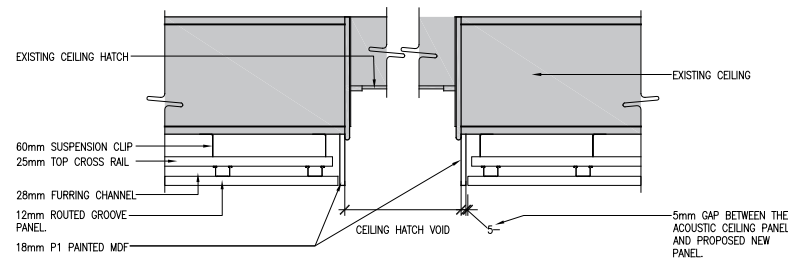
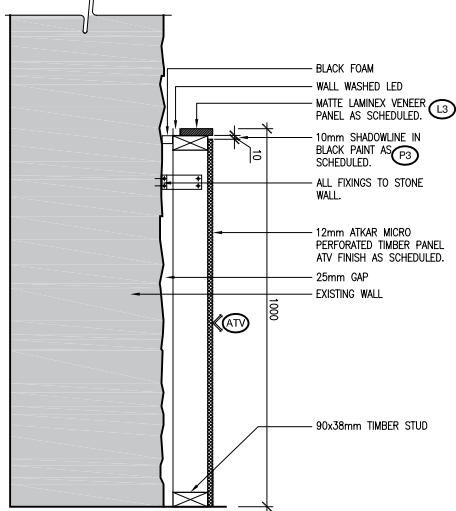
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scale 1:10



SD3 Section Detail
scale 1:2



SD4 Section Detail
scale 1:10



SD5 Ex. Ceiling Hatch Section Detail L1
scale 1:10

NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A500	PLAN & SECTION DETAILS	P1	PRELIMINARY	130 LONSDALE ST REFRUBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
28.03.24	RK	JM	22.157	1:20 @ A3 1:10 @ A1	CHARTER HALL

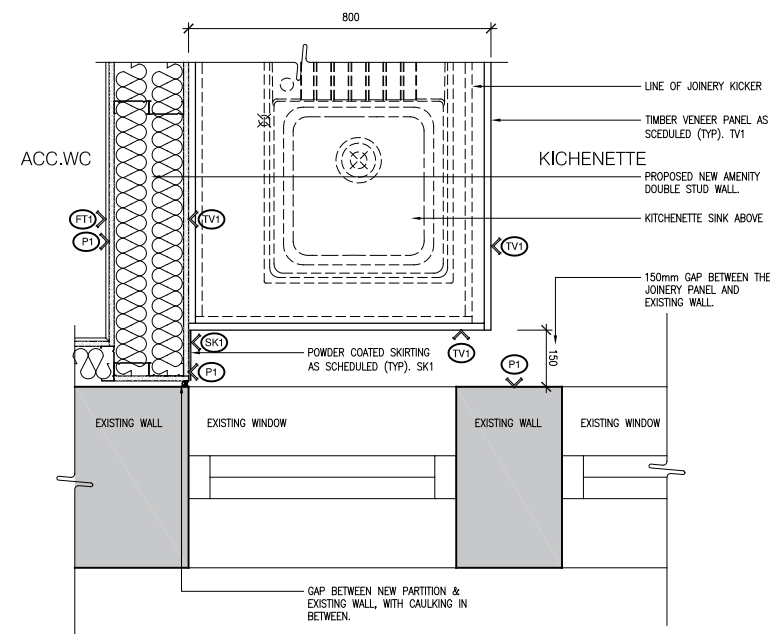
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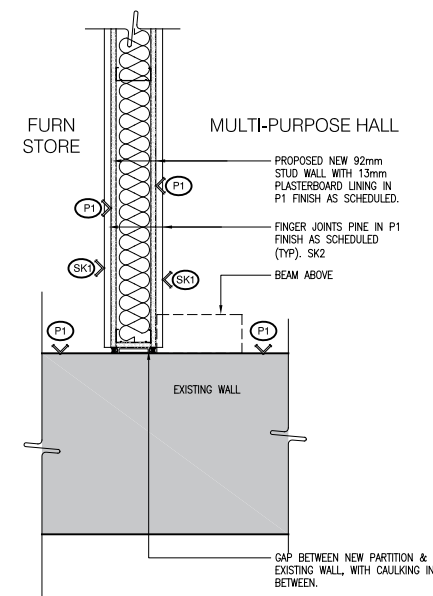
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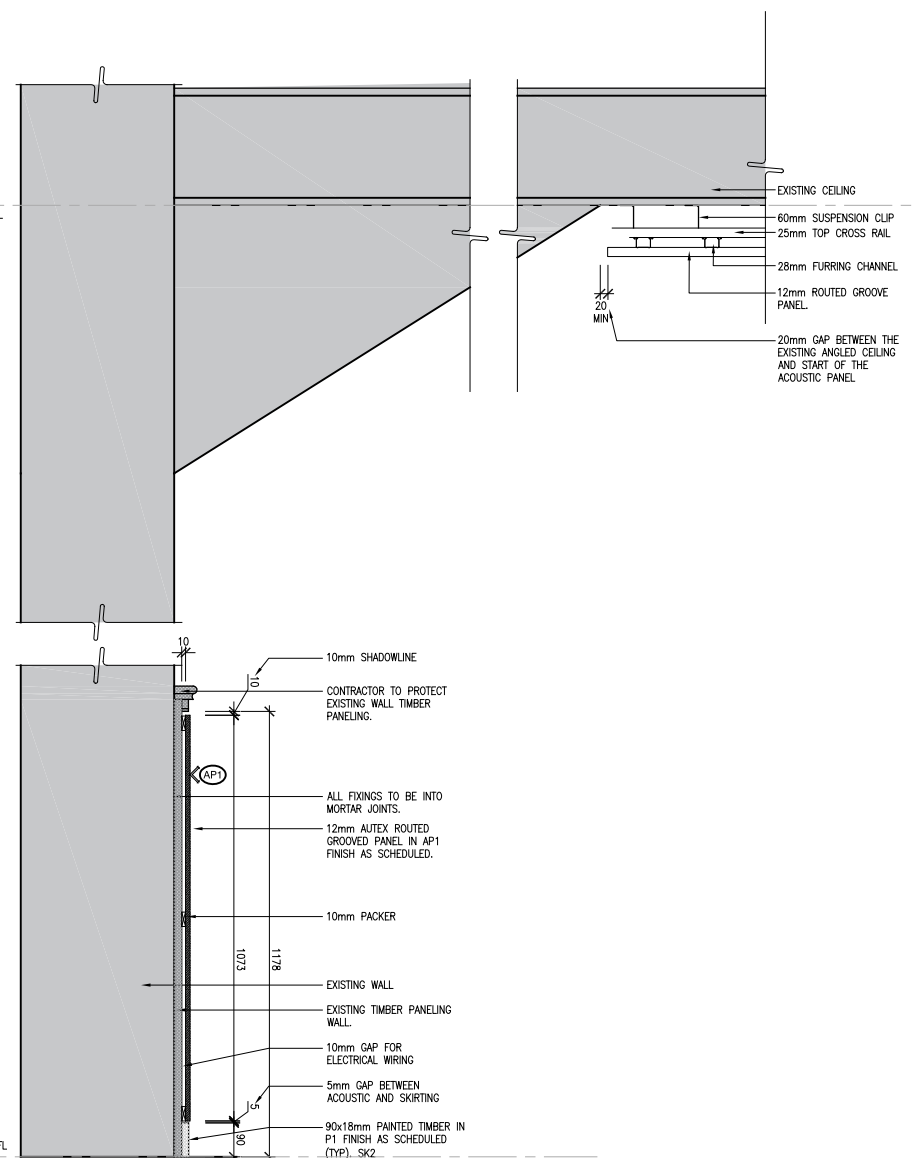
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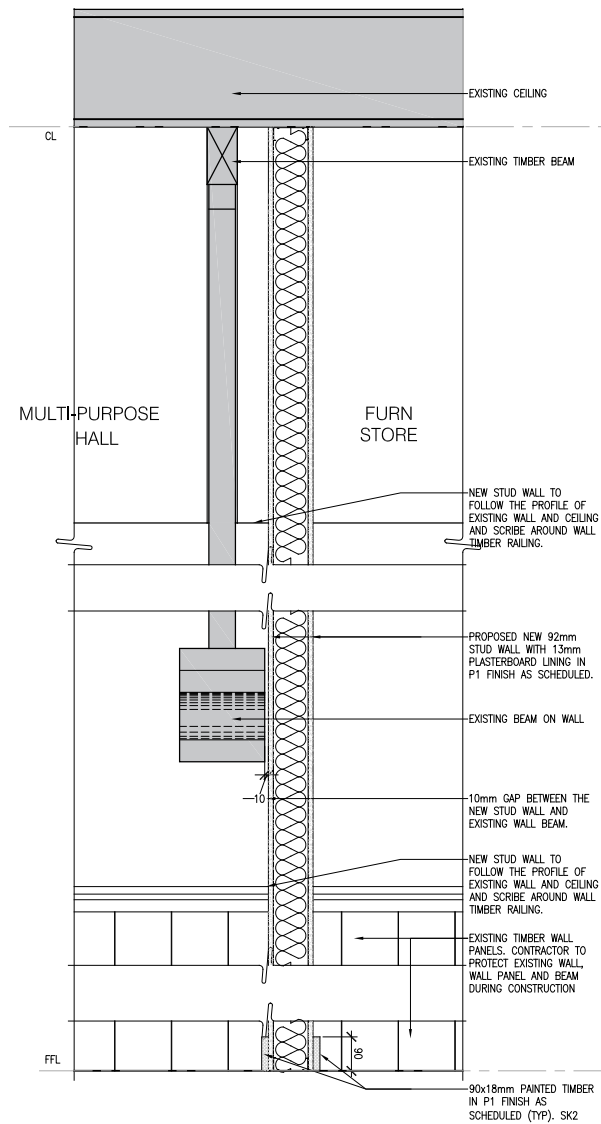
P02 Plan Detail
scale 1:10



P03 Plan Detail
scale 1:10



SD6 Section Detail
scale 1:10



SD7 Section Detail
scale 1:10

NO.	DATE	REVISION	BY	CHK
P1	28.03.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A501	PLAN & SECTION DETAILS	P1	PRELIMINARY	130 LONSDALE ST REFRUBISHMENT

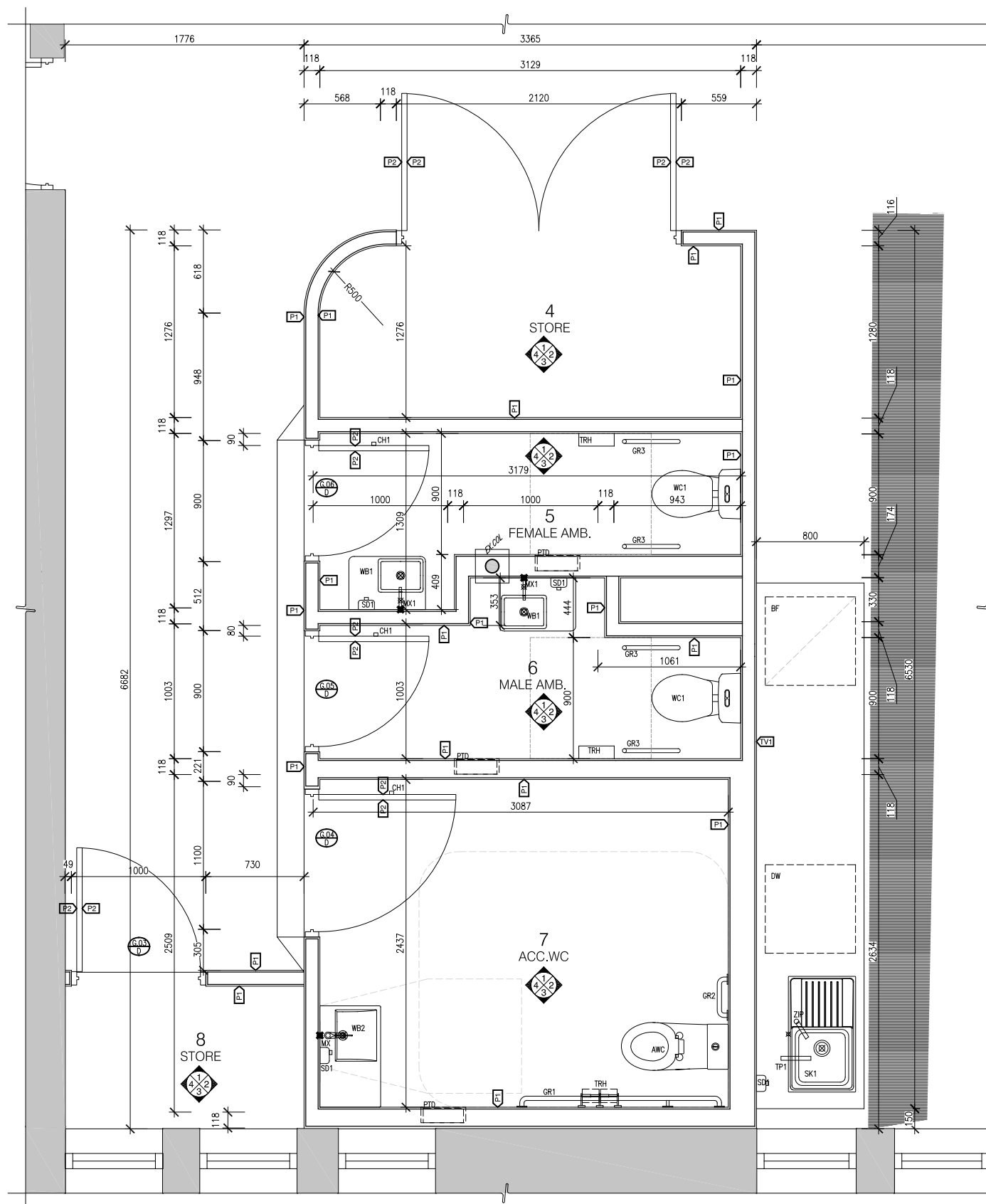
DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR	NOTES
28.03.24	RK	JM	22.157	1:20 @ A3 1:10 @ A1	CHARTER HALL	THIS DRAWING IS PROTECTED BY COPYRIGHT © MILLAR ARCHITECTS. ALL WORK SHALL CONFORM TO THE SPECIFICATION AND OTHER RELEVANT DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CHECK ALL DIMENSIONS ON SITE. SHOP DRAWINGS SHALL BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE COMMENCEMENT OF ANY FABRICATION.



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P01 Amenities Plan Details
Scale 1:20

NO.	DATE	REVISION	BY	CHK
P1	02.04.24	PRELIMINARY	RK	JM

DRAWING NO.	DRAWING TITLE	REV.	STATUS	PROJECT
A600	AMENITIES PLAN DETAILS - P03	P1	PRELIMINARY	130 LONSDALE ST REFURBISHMENT

DATE	DRAWN	CHECKED	JOB NO.	SCALE	PROPRIETOR
02.04.24	HM	NM	22.157	1:40 @ A3 1:20 @ A1	CHARTER HALL



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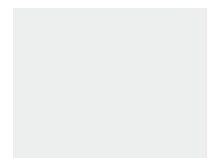

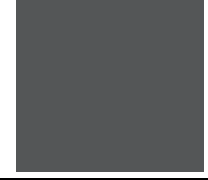
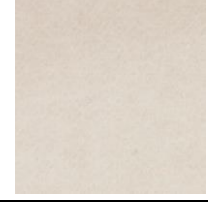
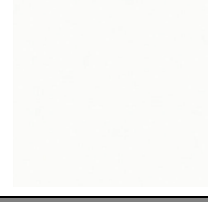



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Appendix 02 - INTERNAL COLOURS & FINISHES SCHEDULE

Date	02.04.24	Revision	P1
Project	Charter Hall – School House	Project No	21.157

Images are for illustrative purposes only and not meant to reflect the required item exactly. Reference must be made to 'Description' for detailed requirements.

Code	Image	Location	Item Description	Suggested Supplier	Comments
PAINT FINISHES					
P1		General Paint to walls, columns, ceilings	Item: Paint Finish General walls Colour: Natural White Code: 15W Finish: Low sheen to walls	Dulux Wash and Wear www.dulux.com.au	
P2		All solid doors and door frames	Item: Paint Finish to solid doors. Colour: Black Caviar Code: SN4G7 Finish: Semi-gloss enamel	Dulux Wash and Wear www.dulux.com.au	
P3		Shadow Lines	Item: Paint Finish to shadow lines Colour: Theatre Black Finish: Matte	Dulux Wash and Wear www.dulux.com.au	
P4		Paint to match acoustic panelling	Item: Paint Finish to match acoustic wall treatment Feature Walls and Ceilings Colour: White Duck or Mt Aspiring 53 Finish: Low sheen to walls	Dulux Wash and Wear www.dulux.com.au	Contractor to provide test sample of paint for review by architect on site prior to commencement of painting.
LAMINATES					
L1			Item: Laminate Finish- Multipurpose Colour/ Code: White 200 Finish: Absolute Matte	Laminex www.laminex.com.au	
FT1		Amenities	Item: Floor Tiles Product Range: Fiadre Core Shade Colour: Core Shade Cloudy Narual Size: 300x600, 11mm thick	Artedomus www.bettastone.com.au	

Code	Image	Location	Item Description	Suggested Supplier	Comments
EX TF		Existing Timber Floor	Item: Timber Floor Sealer Product: Bona Traffic HD Finish: Satin Thickness: 2mm All existing timber floors to be sanded and finishes with Bona Traffic HD	Bona www.bona.com.au	
FEATURE TREATMENTS					
ATV	Option 1 	Multipurpose Room	Item: Acoustic Panel Product: Opt 1 - Perforated timber panel Range: Inluxe Veneer Colour: Victoria Ash	AtkarGroup www.atkar.com.au	
TV1		Joinery	Item: Supawood Timber Veneer Colour: American Oak Finish: Natural	Joiner to supply	
BENCHTOPS					
SB1		Kitchenette	Item: Stone Benchtop Colour: Smeraldo Finish: Honed	Artedomus www.bettastone.com.au	
ACOUSTIC TREATMENTS					
AP1	Colour Pattern 	Refer to plans	Item: Acoustic Panels Range: Groove Pattern: Linear, routed widths to match existing timber paneling Thickness: 12mm Color: Opera	Autex www.autex.com.au	

Code	Image	Location	Item Description	Suggested Supplier	Comments
AP2	<p>Colour</p>  <p>Pattern</p> 	Refer to plans	<p>Item: Acoustic Panels Range: Groove, Cube Pattern: Linear, routed widths to match existing timber paneling Thickness: 12mm Color: Pavilion</p>	<p>Autex www.autex.com.au</p>	
AP3			<p>Item: Acoustic Baffles Range: Acoustic Timber Raft Beam 250 Colour: Eucalyptus / Color: Opera</p> <p>Include color matched acoustic timber 'end caps' to exposed ends of beams.</p> <p>Provide all fixings, refer page 18-20 of "Frontier Installation Instructions_Metric_Feb2021"</p>	<p>Autex www.autex.com.au</p>	
MISC.					
H1		Kitchenette	<p>Item: Joinery Handle Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass</p>	<p>Manvoella www.manovelladesign.com</p>	
H2		Kitchenette	<p>Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio Size: Medium 170mm overall Finish: Aged Brass</p>	<p>Manvoella www.manovelladesign.com</p>	
SK1		Skirting	<p>Item: Skirting Size: 80 x 1.6 mm Finish: Powder coat colour to match acoustic panels.</p>		
SK2		Skirting	<p>Item: Skirting (Interim SK51) Size: 90 x 18 mm Finish: Natural White P1 Note: Skirting to match wall finish</p>	<p>Interim https://intrimmouldings.com.au/</p>	



Code	Image	Location	Item Description	Suggested Supplier	Comments
			<u>Product Type/Sub Category</u>	<u>Max TVOC Content (g/L of ready to use product)</u>	
			• Walls and Ceilings – Interior Gloss		75
			• Walls and Ceilings – Interior Semi Gloss		16
			• Walls and Ceilings – Interior Low Sheen		16
			• Walls and Ceilings – Interior Flat Washable		14
			• Ceilings – Interior Flat		75
			• Trim Gloss, Semi Gloss, Satin, Varnish and Wood Stains		30
			• Timber and binding primers		60
			• Interior Sealer		140
			• One and Two Pack Performance Coatings		200
*TBC VOC LIMITS. MA TO ENSURE VOC CONTENT ALLIGNS WITH DEAKIN DESIGN STANDARDS					