

**GENERAL NOTES:** 

- VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION, IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.
- THE ANCHITECT INMEDIATELY.

  ALL EXIT DOOPS AND DOOPS IN THE PATH OF TRAVEL TO EXITS ARE
  TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON
  SERING EGHESS FROM THE BUILDING WITH A SINGLE HANDED
  DOWNWARD ACTION OF PUSHING ACTION ON A SINGLE DEVICE
  WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900mm AND
  1100mm ABOVE THE FINISHED FLOOR LEVEL IN ACCORDANCE WITH
  CLAUSE D2.21 OF THE BUILDING CODE OF AUSTRALIA.
- ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOWE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.
- EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3.
  FIRE INDICES OF MATERIALS, LININGS AND SUPFACE FINISHES TO
  COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF
  AUSTRALIA.
- 5. ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CALKING.
- ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH AS3700.
- FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.
- PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444.
  PROVIDE DRY OHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20m
  FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN
  AND TEA AREA.
- FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES, LOCATION TO BE DETERMINED ON SITE.
- MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1668.2
   AND AS-3666, EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.
- ALL GLAZING TO COMPLY WITH AS-1288, ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBLITY OF THE CALZER / COMPACTOR COMPLIANT INSTALLATION AND PRICED ACCORDINGLY.
- ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULL'
   SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE
   WITH SECTION J3 OF THE BCA.
- ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS.
- ALL FULLY GLAZED DOORS. SIDE LIGHTS OR WALLS TO HAVE A
   SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF
   THE GLAZING. 75mm THICK WITH THE LOWER EDGE BETWEEN 900 1000mm ABOVE FFL.
- 15. ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL.
- ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED. ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE.
- 7. WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740.
- ALL FLASHINGS & CAPPINGS TO BE POWDERCOATED WHERE VISIBLE, ZINCALUME ELSEWHERE, PROFILED WEATHER STOPS TO ALL ROOF AND WALL SHEETING.
- 19. ALL ROOF PENETRATIONS ARE TO HAVE CONTINUOUS FLASHED FROM PENETRATION TO ROOF APEX.
- 20. FACADE SYSTEMS TO COMPLY WITH AND HAVE CURRENT CODEMARK CERTIFICATION FOR COMPLIANCE WITH NCC: FP1.4 FACADE WATERPROOFING CERTIFICATION.
- 21. BUILDING WRAP / SARKING MUST COMPLY WITH NCC C1.9(A)(I),(D) &(E)(N) FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING ELEMENT)
- DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 2009.
- 23. ALL WALL HUNG FIXTURES AND FITTINGS INCLUDING HANDRALS
  AND WC BACK RESTS ARE TO BE FIXED DIRECTLY TO SUITABLE
  TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT.
  STUDS TO BE LOCATED WITH "STUD FINDER PRIOR TO
  INSTALLATION OF FIXTURE.
- 24. NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY WITH WITH AS1170.4 FOR SEISMIC LOADS.
- COMPLET WITH WITH AS 17/4 FUR SEEMIC LOADS.

  2. THESE DRAWNINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPRINDES.

  INCLUDING JUST NOT LIMITED TO THE DOOR SCHEDULE. DOOR HAPDWARE SCHEDULE, COLOUR AND FINISHES SCHEDULE (INTERNAL AND EXTERNAL), FIXTURES, FITTINGS AND APPLIANCES SCHEDULE.

A100

28.03.24 RM

DRAWN

DATE

EXISTING SITE PLAN\_AERIAL

STATUS PRELIMINARY

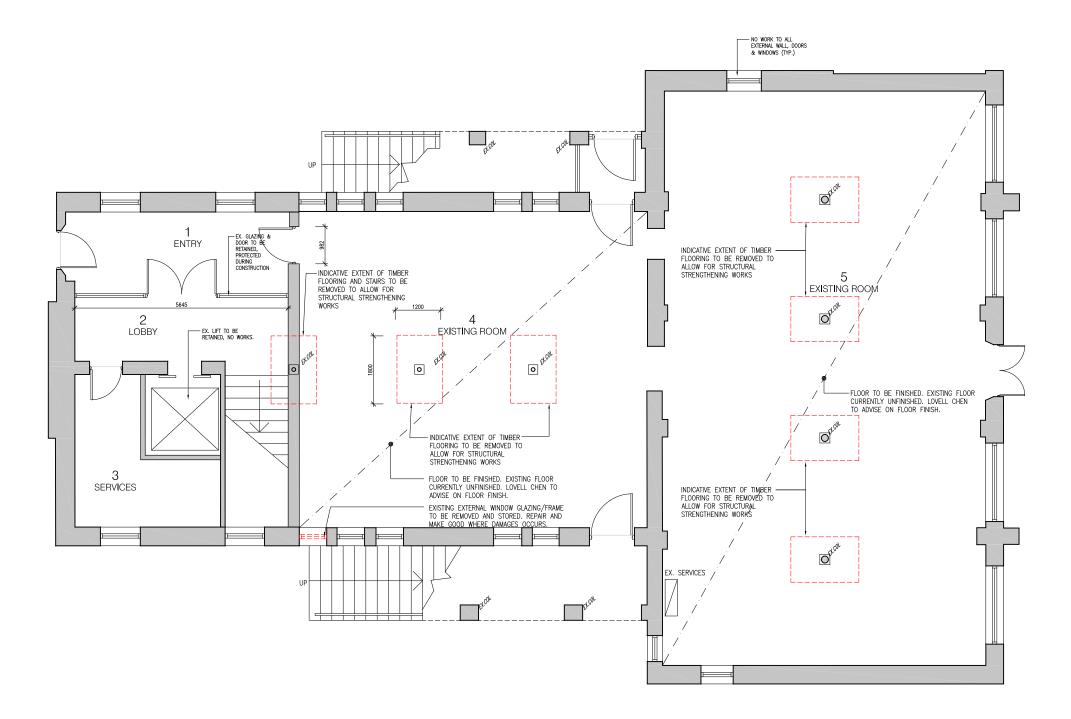
PROJECT 130 LONSDALE ST

PROPRIETOR

REFURBISHMENT







A200

09 02 24 RK

DATE

DRAWING TITLE EXISTING FLOOR PLAN

CHECKED

.IM

STATUS PRELIMINARY

1:100 @ A3

1:50 @ A1

PROJECT 130 LONSDALE ST REFURBISHMENT

CHARTER HALL



NOTES

WWW.MILLARARCH.COM.AU WWW.MILLARARCH.COM.AU INFO@MILLARARCH.COM.AU +61 3 7885 8554 ACN 643 118 834

**GENERAL NOTES:** 

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CLAUSE 02.21 OF THE BUILDING CODE OF AUSTRALIA.

3. ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.

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 ALL GLAZING TO COMPLY WITH AS-1288, ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBLITY OF THE CLAZIER / CONTRACTOR TO PROVIDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY. ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULL'
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 ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING, 75mm THICK WITH THE LOWER EDGE BETWEEN 900 -1000mm ABOVE FFL.

15. ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL. ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED. ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE.

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19. ALL ROOF PENETRATIONS ARE TO HAVE CONTINUOUS FLASHED FROM PENETRATION TO ROOF APEX. FACADE SYSTEMS TO COMPLY WITH AND HAVE CURRENT CODEMARK CERTIFICATION FOR COMPLIANCE WITH NCC: FP1.4 - FACADE WATERPROOFING CERTIFICATION.

21. BUILDING WRAP / SARKING MUST COMPLY WITH NCC C1.9(A)(I),(D) &(E)(N) - FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING ELEMENT)

DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 - 2009.

23. ALL WALL HUNG FIXTURES AND FITTINGS INCLUDING HANDRAILS AND WE BACK RESTS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH 'STUD FINDER' PRIOR TO INSTALLATION OF FIXTURE.

24. NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY MITH WITH AS1170.4 FOR SEISMIC LOADS.

25. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES, INCLUDING BUT NOT LIMITED TO THE DOD SCHEDULE DOOD HARDWAPE SCHEDULE. COLOUR AND FINISHES SCHEDULE (INTERNAL AND EXTERNAL), FIXTURES, FITTINGS AND APPLIANCES SCHEDULE.

CONTRACTOR IS TO ALLOW TO DEMOLISH ALL STRUCTURES & TERMINATE ALL SERVICES ABOVE AND BELOW GROUND THAT ARE NOT REQUIRED FOR PROPOSED WORKS. NEULDE TO REMOVE ALL REDUNDANT SERVICES; CABLES FIC. FROM COLUMNS, WALLS & CEILINGS. MARE GOOD ALL SUPRAGES ON COMPLETION.

CONFIRM ALL DOCUMENTATION/SET OUT DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION, IF DIMENSIONS ON SITE DIFFER FROM THOSE NOTED REFER TO ARCHITECT FOR DIRECTION, PRIOR TO PROCEEDING.

ALL DEMOLITION WORKS ARE TO BE IN ACCORDANCE WITH AS2107
 1994, AS2436 - 1981 & AS2601 - 1991, WORKS MUST COMPLY WITH
THE REQUIREMENTS OF THE BCA & LOCAL COUNCIL

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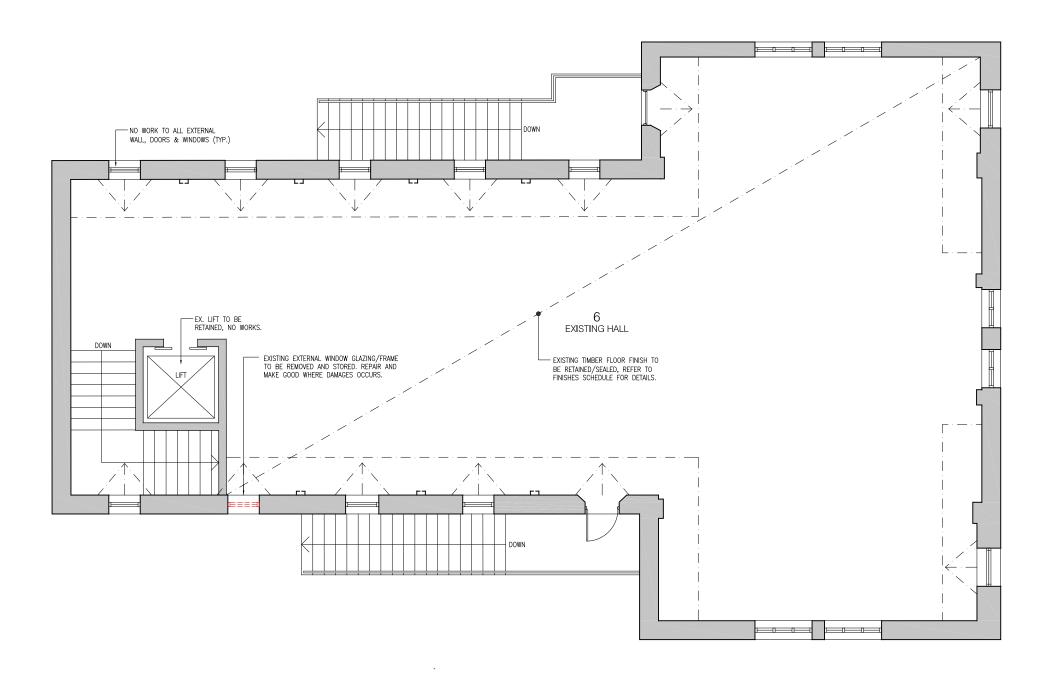
WHERE VINYL AND CARPET HAVE BEEN DEMOLISHED,
 CONTRACTOR TO ALLOW FOR GRINDING OF GLUE AND
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 MANUFACTURERS SPECIFICATION.

**DEMOLITION NOTES:** 

DRAWN

JOB NO.

22 157



P1 28.03.24 PRELIMINARY

A201

09 02 24 RK

DRAWN

DRAWING TITLE

JOB NO.

22 157

STATUS PRELIMINARY

PROJECT 130 LONSDALE ST REFURBISHMENT

PROPRIETOR

CHARTER HALL



Millar ▲ Architects

**GENERAL NOTES:** 

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3. THESE DRAWINGS ARE TO BE READ IN CONJUNICTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES, INCLUDING (BUT NOT LIMITED TO) THE DOOR SCHEDULE, DOOR HARDWARE SCHEDULE, COLOUR AND FINISHES SCHEDULE (MITERNAL AND EXTERNAL), FIXTURES, FITTINGS AND APPLIANCES SCHEDULE.

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 CONTRACTOR TO ALLOW FOR GRINDING OF GLUE AND
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 MANUFACTURERS SPECIFICATION.

**DEMOLITION NOTES:** 

NOTES

WWW.MILLARARCH.COM.AU WWW.MILLARARCH.COM.AU INFO@MILLARARCH.COM.AU +61 3 7885 8554 ACN 643 118 834

DRAWING NO.

DATE

EXISTING FLOOR PLAN

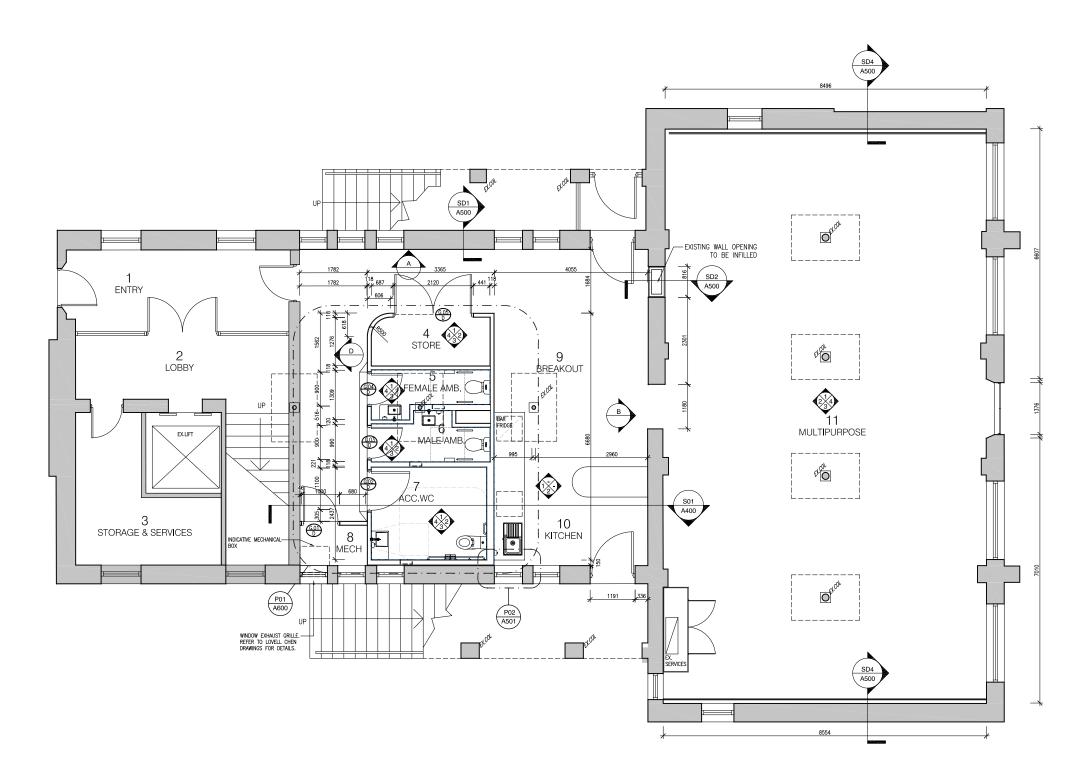
CHECKED

.JM

1:100 @ A3

1:50 @ A1

SCALE



P1 28.03.24 PRELIMINARY RK NM DRAWING NO. A220

28.03.24 RK

DRAWN

DATE

DRAWING TITLE PROPOSED PARTITION FLOOR PLAN GE

JM

CHECKED JOB NO.

22.157

STATUS PRELIMINARY

1:100 @ A3

1:50 @ A1

SCALE

PROJECT

PROPRIETOR

CHARTER HALL

130 LONSDALE ST REFURBISHMENT





NOTES

WWW.MILLARARCH.COM.AU WWW.MILLARARCH.COM.AU INFO@MILLARARCH.COM.AU +61 3 7885 8554 ACN 643 118 834

PARTITIONS NOTES:

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IT IS THE FIT OUT CONTRACTORS RESPONSIBILITY TO CONFIRM OVERALL CRITICAL DIMENSIONS OF WORKSTATIONS PRIOR TO CONSTRUCTION OF FULL HEIGHT WALLS/PARTITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT.

THE FITOUT CONTRACTOR IS TO INCLUDE TO UNDERTAKE A
DILAPIDATION REPORT AND PHOTOGRAPHIC RECORD OF EXISTING
CONDITIONS PRIOR TO COMMENCEMENT OF WORKS. CLIENT
REPRESENTATIVE IS TO BE IN ATTENDANCE.

CARPET PROTECTION IS REQUIRED TO BE SUPPLIED AND INSTALLED BY BITOUT CONTRACTOR. NOTE: CARPET PROTECTION IS TO BE THE BREATHABLE VARIETY TO ALLOW FOR EVAPORATION OF SLAB MOISTURE.

ALL EXIT DORS AND DOORS IN THE PATH OF TRAVEL TO EXITS APE
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5. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. Z5mm THICK WITH THE LOWER EDGE BETWEEN 900 - 1000mm ABOVE FFL.

 EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3.
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9. FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES, LOCATION TO BE DETERMINED ON SITE.

10. MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1688.2 AND AS-3686. EXHAUST AR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.

11. REFER TO SERVICES DRAWINGS FOR THERMOSTAT LOCATIONS.

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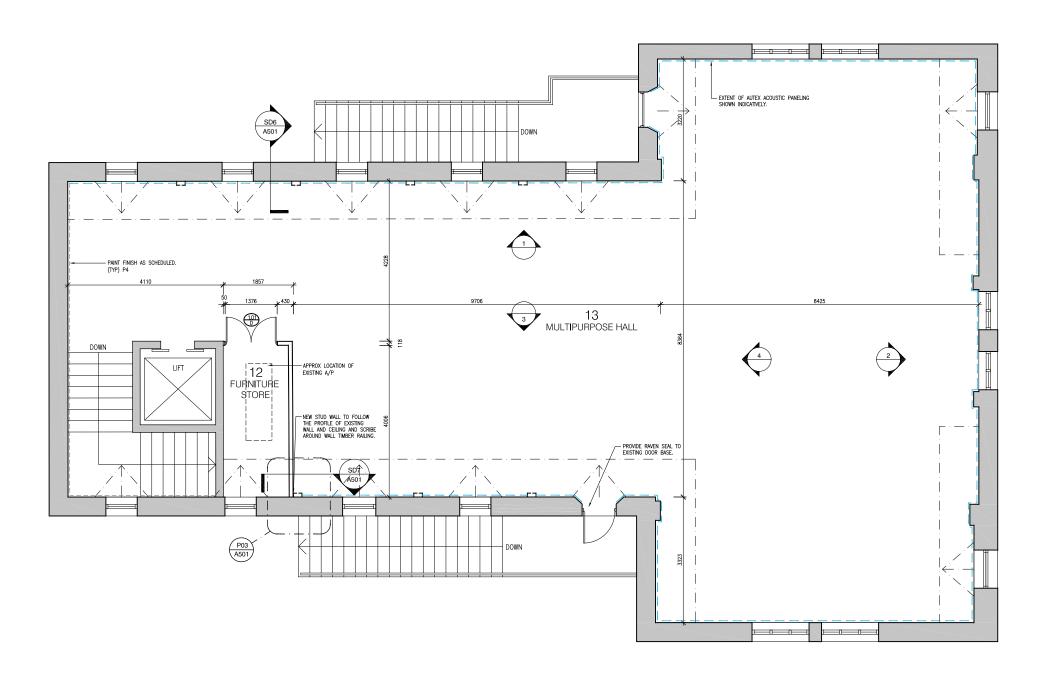
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17. THE FIT OUT CONTRACTOR SHALL CARFELLY CO-ORDINATE WITH ALL REOURED SUB-TRADES, INCLUDING BUT NOT LIMITED TO THE PARTITION INSTALLER, PLUMBER, PAINTER, MECHANICAL AND ELECTRICAL CONTRACTOR. CONFEM SIZES, HEIGHTS AND CLEARANCES TO SUIT WORKS. THE FIT OUT CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CO-ORDINATION AND PROGRAM INCLUDING WORKING THE OFFICIAL CONTRACTOR WITH IT, INSTALLER, SCORTIFY INSTALLER, LOOSE FURNITURE AND WORKSTATION INSTALLERS.

18. THE FITOUR CONTRACTOR IS TO ALLOW FOR ALL SERVICES PENETRATIONS, DUCTING ETC. TO SUIT MECHANICAL AND ELECTRICAL LAYOUT. FOR ALL SERVICES WORKS REFER TO CONSULTING ENGINEERS DRAWNINGS.

12. ALL GLAZING TO COMPLY WITH AS-1288.



NO DATE REVISION
P1 28.03.24 PRELIMINARY

DRAWING NO. A221

DATE DRAWN

28 03 24 RK

DRAWING TITLE PROPOSED PARTITION PLAN LEVEL 1

JM

CHECKED JOB NO.

22.157

STATUS PRELIMINARY

> 1:100 @ A3 1:50 @ A1

SCALE

PROJECT 130 LONSDALE ST

REFURBISHMENT PROPRIETOR

CHARTER HALL



PARTITIONS NOTES:

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 FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441. B. PORTAGE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444, PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20m FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN AND TEA AREA.

AND TEA AREA.

9. FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES, LOCATION TO BE DETERMINED ON SITE.

10. MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1688.2 AND AS-3686. EXHAUST ARR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS. 11. REFER TO SERVICES DRAWINGS FOR THERMOSTAT LOCATIONS.

 WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740. 14. DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 - 2009. 15. ALL WALL HUNG FIXTURES AND FITTINGS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS AND PLYWOOD BACKING PLATES AS REQUIRED LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH STUD FINDER PRIOR TO INSTAL

INSTALDATION OF PAILURE.

16. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES, INCLUDING (BUT NOT LIMITED TO) THE DOOR SCHEDULE, DOOR HARDWARE SCHEDULE, COLOUR AND PINISHES SCHEDULE, FIXTURES, FITTINGS AND APPLIANCES SCHEDULES.

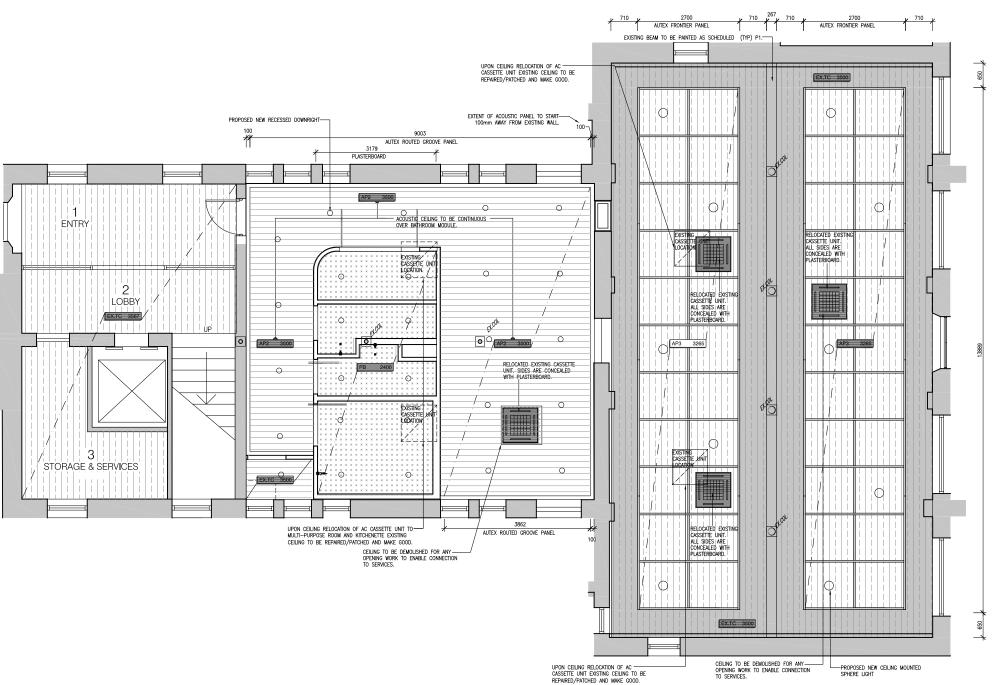
17. THE FIT OUT CONTRACTOR SHALL CARFELLY CO-ORDINATE WITH ALL REOURED SUB-TRADES, INCLUDING BUT NOT LIMITED TO THE PARTITION INSTALLER, PLUMBER, PAINTER, MECHANICAL AND ELECTRICAL CONTRACTOR. CONFEM SIZES, HEIGHTS AND CLEARANCES TO SUIT WORKS. THE FIT OUT CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CO-ORDINATION AND PROGRAM INCLUDING WORKING THE OFFICIAL CONTRACTOR WITH IT, INSTALLER, SCORTIFY INSTALLER, LOOSE FURNITURE AND WORKSTATION INSTALLERS.

THE HTOUT CONTRACTOR IS TO ALLOW FOR ALL SERVICES
 PENETRATIONS, DUCTING ETC. TO SUIT MECHANICAL AND
 ELECTRICAL LAYOUT, FOR ALL SERVICES WORKS REFER TO
 CONSULTING ENGINEERS DRAWNINGS.

12. ALL GLAZING TO COMPLY WITH AS-1288.

Millar

NOTES



## **CEILING NOTES:**

- ALL FLUSH PLASTERBOARD CEILINGS ARE TO HAVE SQUARE SET CORNICE TYPICALLY.
- FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.
- 3. EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3
- MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1668.2 AND AS-3666. EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.
- REFER TO MECHANICAL ENGINEERS DRAWINGS FOR DUCT AND OUTLET LOCATIONS AND TYPES.
- REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR LIGHTING LOCATIONS AND TYPES.

#### **CEILING LEGEND:**



13mm PLASTERBOARD CELLING

EXISTING TIMBER CEILING TO BE RETAINED.

AP3:
AUTEX FRONTIER ACOUSTIC PANEL.

ACT 2700

CEILING HEIGHT ABOVE FINISHED FLOOR LEVEL - CEILING TYPE

## **GENERAL NOTES:**

- VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.
- A LL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON SEEMING EGNESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD ACTION OF ROSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN SOOTH AND 1100mm ABOVE THE RINISHED FLOOR LEVEL IN ACCORDANCE WITH CLAUSE D2.21 OF THE BUILDING CODE OF AUSTRALIA.
- ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500m FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.
- EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3.
  FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.
- 5. ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CALKING.
- ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH AS3700.
- FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.
- PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444, PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20m FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN AND TEA AREA.
- 9. FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES. LOCATION TO BE DETERMINED ON SITE.
- MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1668.2
   AND AS-3666, EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.
- ALL GLAZING TO COMPLY WITH AS-1288, ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBLITY OF THE CLAZIER / CONTRACTOR TO PROVIDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY.
- ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULL'
   SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE
   WITH SECTION J3 OF THE BCA.
- ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS.
- 14. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. 75mm THICK WITH THE LOWER EDGE BETWEEN 900 1000mm ABOVE FFL.
- 15. ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL.
- ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED. ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE. WATERPROCFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740.
- ALL FLASHINGS & CAPPINGS TO BE POWDERCOATED WHERE VISIBLE, ZINCALUME ELSEWHERE, PROFILED WEATHER STOPS TO ALL ROOF AND WALL SHEETING.
- 19. ALL ROOF PENETRATIONS ARE TO HAVE CONTINUOUS FLASHED FROM PENETRATION TO ROOF APEX.
- FACADE SYSTEMS TO COMPLY WITH AND HAVE CURRENT CODEMARK CERTIFICATION FOR COMPLIANCE WITH NCC: FP1.4 FACADE WATERPROOFING CERTIFICATION.
- 21. BUILDING WRAP / SARKING MUST COMPLY WITH NCC C1.9(A)(I),(D) &(E)(N) FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING ELEMENT)
- DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 2009.
- 23. ALL WALL HUNG FIXTURES AND FITTINGS INCLUDING HANDRAILS AND WE BACK RESTS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH 'STUD FINDER' PRIOR TO INSTALLATION OF FIXTURE.
- 24. NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY WITH WITH AS1170.4 FOR SEISMIC LOADS.
- SHEEL RITH WITH AS IT JUST ON SERMIN CLOADS.

  THESE DRAWNINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES.
  INCLUDING (BUT NOT LIMITED TO) THE DOOR SCHEDULE, DOOR HARDWARE SCHEDULE, COLOUR AND FINISHES SCHEDULE (INTERNAL, AND EXTERNAL), FIXTURES, FITTINGS AND APPLIANCES SCHEDULE.

DRAWING NO. A232

DRAWN

DATE

28 03 24 RK

DRAWING TITLE PROPOSED RCP\_GF

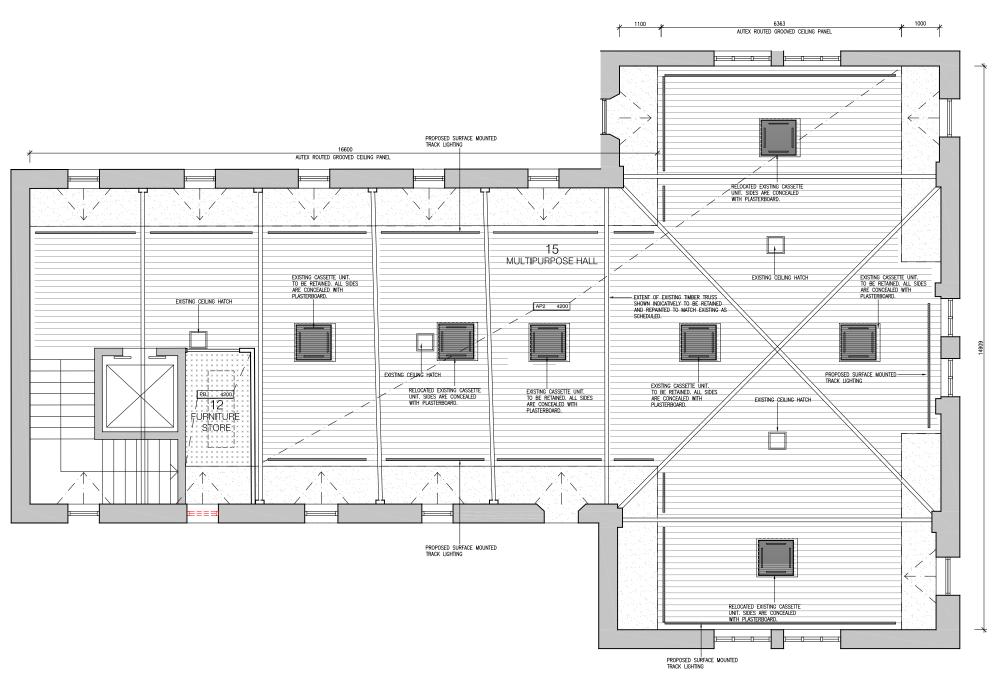
STATUS PRELIMINARY

PROJECT 130 LONSDALE ST REFURBISHMENT





CHECKED JOB NO. SCALE PROPRIETOR NOTES 22 157 1:100 @ A3 CHARTER HALL .IM 1:50 @ A1



**CEILING NOTES:** 

- ALL FLUSH PLASTERBOARD CEILINGS ARE TO HAVE SQUARE SET CORNICE TYPICALLY.
- FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.
- 3. EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3
- MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1668.2
   AND AS-3666. EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.
- REFER TO MECHANICAL ENGINEERS DRAWINGS FOR DUCT AND OUTLET LOCATIONS AND TYPES.
- REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR LIGHTING LOCATIONS AND TYPES.

#### **CEILING LEGEND:**





EXISTING TIMBER CEILING TO BE RETAINED.





CEILING HEIGHT ABOVE FINISHED FLOOR LEVEL - CEILING TYPE

EXISTING BULKHEAD TO BE RETAINED AND REPAINTED TO MATCH EXISTING AS SCHEDULED. PATCH/REPAIR AND MAKE GOOD TO WHERE DAMAGE/LEAKAGE OCCURS. MAKE GOOD TO WHERE DAMAGE LEARNED COURS.
EUSTING TIMBER CEILING TO BE RETAINED AND
PROTECTED DURING CONSTRUCTION.
EUSTING TIMBER TRUSS AND FINISHES TO BE RETAINED
AND PROTECTED DURING CONSTRUCTION.

- **GENERAL NOTES:**
- VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.
- THE ANOTHIECT INMEDIATELY.

  ALL EXIT DOOPS AND DOORS IN THE PATH OF TRAVEL TO EXITS APE
  TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON
  SEERING EGRESS FROM THE BUILDING WITH A SINGLE HANDED
  DOWNWARD ACTION OR PUSHING ACTION ON A SINGLE DEVICE
  WITHOUT THE USE OF A KEY AND LOCATED BETWEEN SOOmM AND
  1100mm ABOVE THE RINSHED ELOOR LEVEL IN ACCORDACE WITH
  CLAUSE D2.21 OF THE BUILDING CODE OF AUSTRALIA.
- ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.
- EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3.
  FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.
- 5. ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CALKING.
- ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH AS3700.
- FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.
- PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444, PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20m FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN AND TEA AREA.
- 9. FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES. LOCATION TO BE DETERMINED ON SITE.
- MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1668.2
   AND AS-3666, EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.
- ALL GLAZING TO COMPLY WITH AS-1288, ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBLITY OF THE CLAZIER / CONTRACTOR TO PROVIDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY.
- ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULL'
   SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE
   WITH SECTION J3 OF THE BCA.
- ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS.
- 14. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. 75mm THICK WITH THE LOWER EDGE BETWEEN 900-1000mm ABOVE FFL.
- 15. ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL.
- ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED. ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANISED UNILESS NOTED OTHERWISE. WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740.
- ALL FLASHINGS & CAPPINGS TO BE POWDERCOATED WHERE VISIBLE, ZINCALUME ELSEWHERE, PROFILED WEATHER STOPS TO ALL ROOF AND WALL SHEETING.
- ALL ROOF PENETRATIONS ARE TO HAVE CONTINUOUS FLASHED FROM PENETRATION TO ROOF APEX.
- FACADE SYSTEMS TO COMPLY WITH AND HAVE CURRENT CODEMARK CERTIFICATION FOR COMPLIANCE WITH NCC: FP1.4 FACADE WATERPROOFING CERTIFICATION.
- 21. BUILDING WRAP / SARKING MUST COMPLY WITH NCC C1.9(A)(I),(D) &(E)(N) FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING ELEMENT)
- DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 2009.
- AS 14 ALL 1 2UUJ.

  23. ALL WALL HUNG FIXTURES AND FITTINGS INCLUDING HANDRALS AND WC BACK RESTS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH 'STUD FINDER' PRIOR TO INSTALLATION OF FIXTURE.
- NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY WITH WITH AS1170.4 FOR SEISMIC LOADS.
- CONTROL WITH WITH AS 11/1/4 FUR SESSING LOADS.

  IT HESE DRAWNAS ARE TO BE FRAD IN CONJUNCTION WITH THE APCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES INCLUDING BUT NOT LIMITED TO THE BOOR SCHEDULE, DOOR HAPDWARE SCHEDULE, COLOUR AND FINISHES SCHEDULE (MITERNAL AND EXTERNAL), FIXTURES, FITTINGS AND APPLIANCES SCHEDULE.

DRAWING NO. A233

18 09 23 RK

DRAWN

DATE

DRAWING TITLE PROPOSED RCP\_LEVEL 1

CHECKED

.IM

JOB NO.

22 157

AS BUILT

STATUS

SCALE

1:100 @ A3

1:50 @ A1

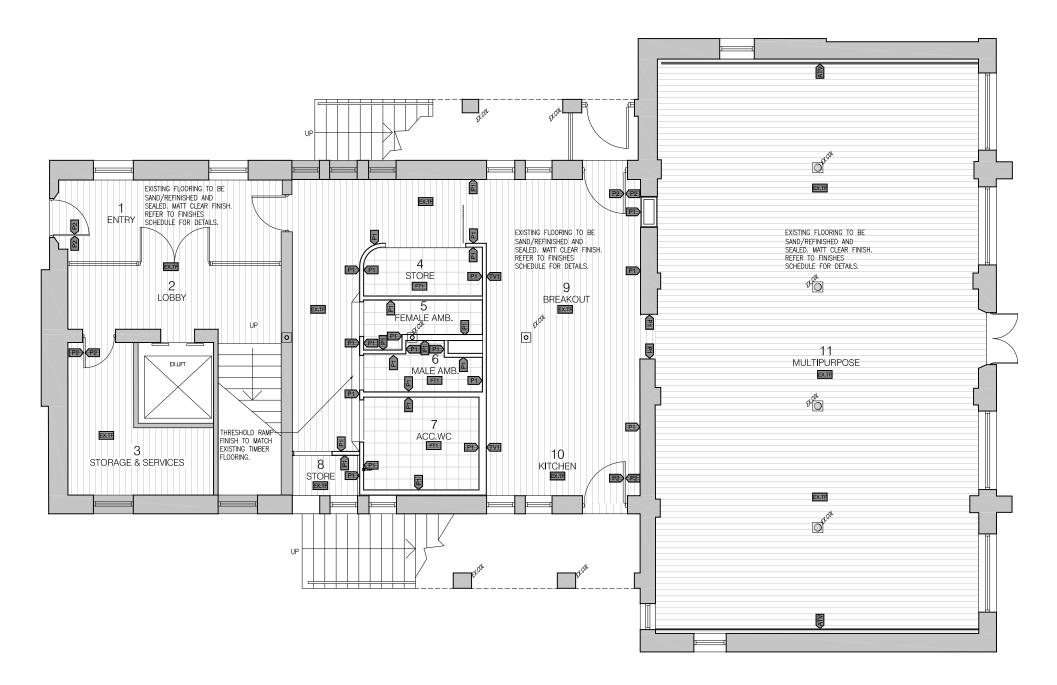
PROJECT 130 LONSDALE ST REFURBISHMENT

PROPRIETOR

CHARTER HALL







# FINISHES LEGEND:

P#
AP#
WT#
WC#
PP# PAINT FINISH AS SCHEDULED ACOUSTIC PANELS AS SCHEDULED WALL TILE AS SCHEDULED

WALL CLADDING AS SCHEDULED PERFORATED VENEER PANEL FT# FLOOR TILES AS SCHEDULED

EX.TF EXISTING TIMBER FLOOR IN FINISH AS SCHEDULED

NOTES:

EXISTING TIMBER FLOORING ON GROUND FLOOR TO BE RETAINED/ PROTECTED DURING CONSTRUCTION AS SHOWN. CONTRACTOR TO REPAIR AND MAKE GOOD TO ALL IMPACT SURFACES.

## **GENERAL NOTES:**

- VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.
- I HE ANCHIECH IMMEDIATELY.

  ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS APE
  TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON
  SERING EGRESS FROM THE BUILDING WITH A SINGLE HANDED
  DOWNWARD ACTION OF USUBING ACTION ON A SINGLE DEVICE
  WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900mm AND
  1100mm ABOVE THE RINISHED ELOOR LEVEL IN ACCORDACE WITH
  CLAUSE 02.21 OF THE BUILDING CODE OF AUSTRALIA.
- ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500m FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.
- EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.
  FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINSHES TO COMPLY MITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.
- 5. ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE
- ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH AS3700.
- FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.
- PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444.
  PROVIDE DRY OHEMICAL FIRE EXTINGUISHER BETWEEN 2.8.20m
  FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN
  AND TEA AREA.
- FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES, LOCATION TO BE DETERMINED ON SITE.
- MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1668.2
   AND AS-3666, EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.
- ALL GLAZING TO COMPLY WITH AS-1288, ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBLITY OF THE CLAZIER / CONTRACTOR TO PROVIDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY.
- ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULL'
   SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE
   WITH SECTION J3 OF THE BCA.
- ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS.
- ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING, 75mm THICK WITH THE LOWER EDGE BETWEEN 900 -1000mm ABOVE FFL.
- 15. ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL.
- ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED. ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE.
- WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740.
- ALL FLASHINGS & CAPPINGS TO BE POWDERCOATED WHERE VISIBLE, ZINCALUME ELSEWHERE, PROFILED WEATHER STOPS TO ALL ROOF AND WALL SHEETING.
- 19. ALL ROOF PENETRATIONS ARE TO HAVE CONTINUOUS FLASHED FROM PENETRATION TO ROOF APEX.
- FACADE SYSTEMS TO COMPLY WITH AND HAVE CURRENT CODEMARK CERTIFICATION FOR COMPLIANCE WITH NCC: FP1.4 FACADE WATERPROOFING CERTIFICATION.
- 21. BUILDING WRAP / SARKING MUST COMPLY WITH NCC C1.9(A)(I),(D) &(E)(N) FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING ELEMENT)
- DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 2009.
- 23. ALL WALL HUNG FIXTURES AND FITTINGS INCLUDING HANDRAILS AND WE BACK RESTS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH 'STUD FINDER' PRIOR TO INSTALLATION OF FIXTURE.
- 24. NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY WITH WITH AS1170.4 FOR SEISMIC LOADS.
- COMPLET MITERATION AS IT AS EVEN SEAMING LOADS.

  3. THESE DRAWINGS ARE TO BE READ IN CONJUNICTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES, INCLUDING (BUT NOT LIMITED TO) THE GOOD SCHEDULE, DOOR HARDWARE SCHEDULE, COLOUR AND FINISHES SCHEDULE (MITERAL AND EXTERNAL), FIXTURES, FITTINGS AND APPLIANCES SCHEDULE.

# SLIP RESISTANCE

NOTE: ALL FLOOR FINISH MUST ACHIEVE THE FOLLOWING SUP RATINGS IN ACCORDANCE WITH HB 198 - "Guide to specification and testing of slip resistance of pedestrian surfaces" & NCC - "D2,14 Slip Resistance Classification"

AMEI •	NITIES (WITH SHOWER/BARE FOOT): Wet Pendulum Test Oil-Wet Inclining Platform Test	- 'P4' &, - 'B'
AMEI •	NITIES (NO SHOWER/SHOES WORN): Wet Pendulum Test OII-Wet Inclining Platform Test	- 'P3' &, - 'R10'
KITCH •	HENETTES / SINK JOINERY Wet Pendulum Test Oil-Wet Inclining Platform Test	- 'P3' &, - 'R10'
KITCH •	HENS (COOK TOP, FOOD PREPARATION) Wet Pendulum Test Oil-Wet Inclining Platform Test	- P5 & - R12
:	RS (TREADS & LANDINGS) DRY SURFACE - Wet Pendulum Test DRY SURFACE - Oil-Wet Inclining Platform Test WET SURFACE - Wet Pendulum Test WET SURFACE - Wet Pendulum Test WET SURFACE - Wet Pendulum Test	- P3 - R10 - P4 - R11
STAIF	R NOSING & LANDINGS DRY SURFACE - Wet Pendulum Test WET SURFACE - Wet Pendulum Test	- 'P3' - 'P4'
RAMF	PS (STEEPER THAN 1:14) DRY SURFACE - Wet Pendulum Test DRY SURFACE - Oil-Wet Inclining Platform Test WET SURFACE - Wet Pendulum Test WET SURFACE - Wet Pendulum Test WET SURFACE - Wet Pendulum Test	- P4 - R11 - P5 - R12
RAMF	P (1:20 - 1:14) DRY SURFACE - Wet Pendulum Test DRY SURFACE - Oil-Wet Inclining Platform Test WET SURFACE - Wet Pendulum Test WET SURFACE - Oil-Wet Inclining Platform Test	- 'P3' - 'R10' - 'P4' - 'R11'

ALL FLOORING PRODUCTS MUST HAVE A VALID TEST CERTIFICATE IN

ALL FLOORING PRODUCTS MUST HAVE A VALID MANUFACTURERS WARRANTEE FOR ONGOING COMPLIANCE WITH AS4663 - 'Slip resistance measurement of existing pedestrian surfaces', Natural Part of Parts (1988) resistance measure IN-SITU TESTING.

> Millar Architects

DATE DRAWN 28 03 24 RK

DRAWING NO.

A240

CHECKED JOB NO. 22.157 .IM

DRAWING TITLE

PROPOSED

FINISHES PLAN

SCALE 1:100 @ A3 1:50 @ A1

STATUS

PRELIMINARY

PROPRIETOR CHARTER HALL

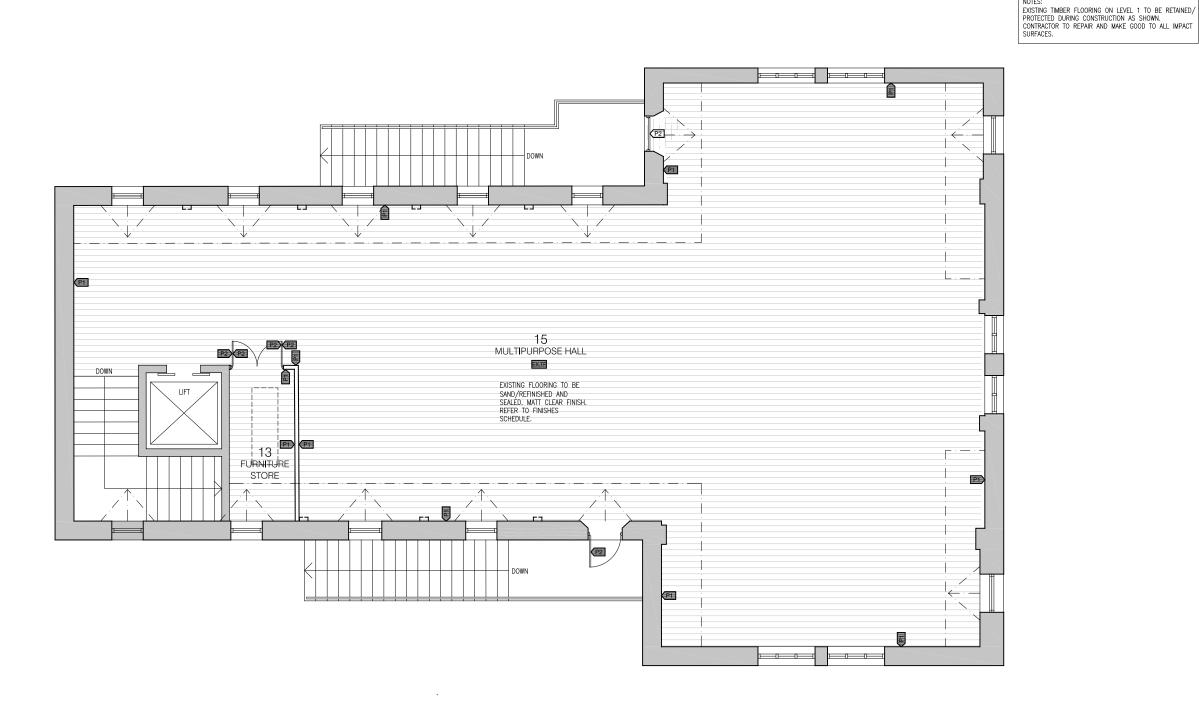
130 LONSDALE ST

REFURBISHMENT

PROJECT

NOTES

WWW.MILLARARCH.COM.AU WWW.MILLARARCH.COM.AU INFO@MILLARARCH.COM.AU +61 3 7885 8554 ACN 643 118 834



REVISION PRELIMINARY ISSUE

DRAWING NO. A241

18 09 23 HM

DRAWN

PROPOSED FINISHES PLAN LEVEL 1

NM

STATUS PRELIMINARY

SCALE

PROJECT



FINISHES LEGEND:

PAINT FINISH AS SCHEDULED ACOUSTIC PANELS AS SCHEDULED

WALL TILE AS SCHEDULED WALL CLADDING AS SCHEDULED PERFORATED VENEER PANEL FT# FLOOR TILES AS SCHEDULED

EX.TF EXISTING TIMBER FLOOR IN FIT

EXISTING TIMBER FLOOR IN FINISH AS SCHEDULED

P#
AP#
WT#
WC#
PP#

**GENERAL NOTES:** 

VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.

ALL ENTO COPES AND TOORS IN THE PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON SEERING CORES FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD ACTION OR POSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900mm AND 1100mm ABOVE THE RINSHED ELOOR LEVEL IN ACCORDANCE WITH CLAUSE 02.21 OF THE BUILDING CODE OF AUSTRALIA.

ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 900mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.

EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.
FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINSHES TO COMPLY MITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.

5. ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CALKING. ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH A\$3700. FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.

 PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444.
PROVIDE DRY OHEMICAL FIRE EXTINGUISHER BETWEEN 2.8.20m
FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN
AND TEA AREA. FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES, LOCATION TO BE DETERMINED ON SITE. MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1668.2
 AND AS-3666, EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.

 ALL GLAZING TO COMPLY WITH AS-1288, ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBLITY OF THE CLAZIER / CONTRACTOR TO PROVIDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY. ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULL'
 SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE
 WITH SECTION J3 OF THE BCA. ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING, 75mm THICK WITH THE LOWER EDGE BETWEEN 900 -1000mm ABOVE FFL. ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL. ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED. ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE. WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740. ALL FLASHINGS & CAPPINGS TO BE POWDERCOATED WHERE VISIBLE, ZINCALUME ELSEWHERE, PROFILED WEATHER STOPS TO ALL ROOF AND WALL SHEETING. 19. ALL ROOF PENETRATIONS ARE TO HAVE CONTINUOUS FLASHED FROM PENETRATION TO ROOF APEX.

FACADE SYSTEMS TO COMPLY WITH AND HAVE CURRENT CODEMARK CERTIFICATION FOR COMPLIANCE WITH NCC: FP1.4 - FACADE WATERPROOFING CERTIFICATION.

 DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 - 2009. 23. ALL WALL HUNG FIXTURES AND FITTINGS INCLUDING HANDRAILS

AND WE BACK RESTS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH 'STUD FINDER' PRIOR TO INSTALLATION OF FIXTURE.

24. NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY MITH WITH AS1170.4 FOR SEISMIC LOADS.

25. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION AND ALLITS APPENDICES.
INCLUDING (BUT NOT LIMITED TO IT HE DOOR SCHEDULE, DOOR
HARDWARE SCHEDULE, COLOUR AND FINISHES SCHEDULE
(INTERNAL AND EXTERNAL), FIXTURES, FITTINGS AND APPLIANCES
SCHEDULE.

NOTE: ALL FLOOR FINISH MUST ACHIEVE THE FOLLOWING SLIP RATINGS IN ACCORDANCE WITH HB 198. "Guide to specification and testing of slip resistance of pedestrian surfaces & NCC - "D2.14 Slip Resistance Classification".

- P3 &, - R10

- P3 &, - R10

SLIP RESISTANCE

AMENITIES (WITH SHOWER/BARE FOOT):

Wet Pendulum Test
Oil-Wet Inclining Platform Test

AMENITIES (NO SHOWER/SHOES WORN):

STAIRS (TREADS & LANDINGS)

DRY SURFACE - Wet Pendulum Test
DRY SURFACE - Oil-Wet Inclining Platform Test
WET SURFACE - Wet Pendulum Test
WET SURFACE - Wet Pendulum Test

RAMPS (STEEPER THAN 1:14)

DRY SURFACE - Wet Pendulum Test

DRY SURFACE - Oil-Wet Inclining Platform Test

WET SURFACE - Wet Pendulum Test

WET SURFACE - Oil-Wet Inclining Platform Test

ALL FLOORING PRODUCTS MUST HAVE A VALID TEST CERTIFICATE IN COMPLIANCE WITH AS4586 - "Slip resistance classification of new pedestrian surface materials". ALL FLOORING PRODUCTS MUST HAVE A VALID MANUFACTURERS WARRANTEE FOR ONGOING COMPLIANCE WITH AS4663 - 'Slip resistance measurement of existing pedestrian surfaces', Natural Part of Parts (1988)

STAIR NOSING & LANDINGS

DRY SURFACE - Wet Pendulum Test
WET SURFACE - Wet Pendulum Test

Wet Pendulum Test
 OIFWet Inclining Platform Test

 Wet Pendulum Test
 Oil-Wet Inclining Platform Test KITCHENS (COOK TOP, FOOD PREPARATION) Wet Pendulum Test
 Oil-Wet Inclining Platform Test

KITCHENETTES / SINK JOINERY



resistance measure IN-SITU TESTING.

NOTES

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DATE

DRAWING TITLE

CHECKED JOB NO.

22 157

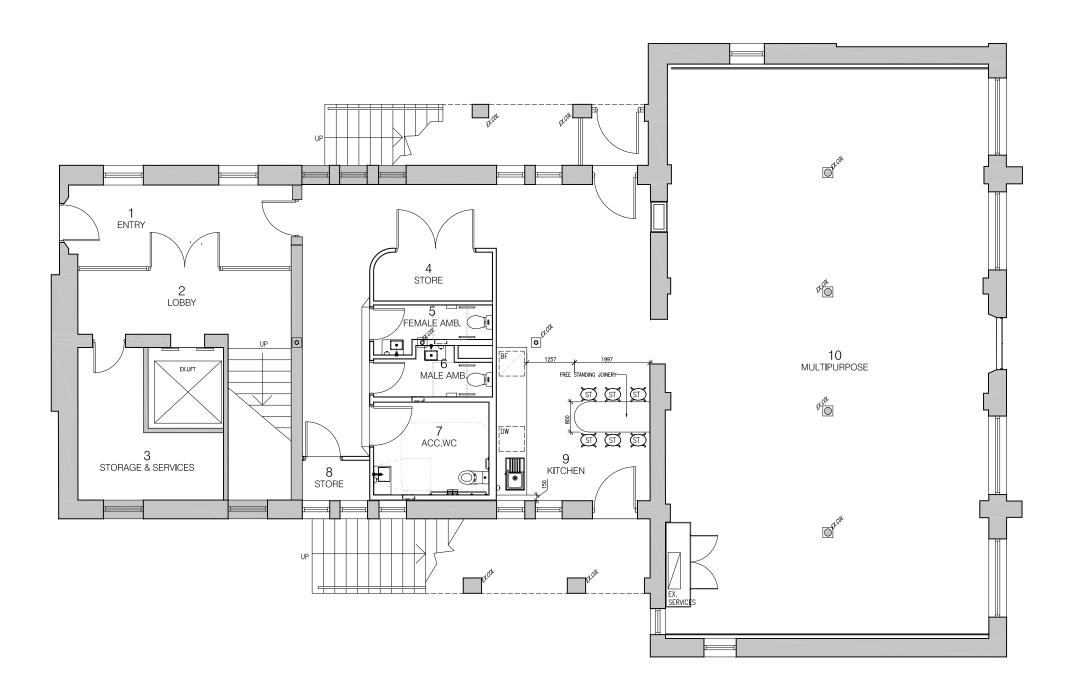
1:100 @ A3

1:50 @ A1

CHARTER HALL

PROPRIETOR

130 LONSDALE ST REFURBISHMENT



 NO,
 DATE
 REVISION
 BY
 CHK

 P1
 28.03.24
 PRELIMINARY ISSUE
 RK
 JM

A260 DRAWING TITLE PROPOSED FURNITURE PLAN GF

DATE DRAWN

28.03.24 RK

TLE REV. SED P1 JRE :

22.157

CHECKED JOB NO.

JM

STATUS PRELIMINARY

1:100 @ A3 1:50 @ A1

SCALE

PROJECT
Y 130 LONSDALE ST
REFURBISHMENT

PROPRIETOR

CHARTER HALL





NOTES

NO LES

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ALL WORK SHALL CONFORM TO THE SPECIFICATION AND OTHER
RELEVANT DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE
OVER SCALED DIMENSIONS. CHECK ALL DIMENSIONS ON SITE.
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ACN 643 118 834

JOINERY NOTES:

 ALL ACCESS TO SITE AND SPECIFIED DIMENSIONS TO BE CHECKED ON SITE BEFORE CONSTRUCTION.
 JOINER SHALL ENSURE STRUCTURAL INTEGRITY OF ALL JOINERY, ALLOW FOR ADDITIONAL FRANING, CLEATS ETC, AS REQUIRED TO SUIT THE APPLICATION & METHODS OF CONSTRUCTION & TO ENSURE STABILITY OF THE COMPLETE INSTALLATION.

ALL WALL HUNG FIXTURES AND FITTINGS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMEER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT, STUDS TO BE LOCATED SPECIFICALLY FOR SUCH SUPPORT, STUDS TO BE LOCATED WITH STUD FINDER PRIOR TO INSTALLATION.

A LAL PENTATION FOR SERVICES & FITTINGS ARE TO BE PROVIDED BY JOINER, LOCATION & SIZES OF PENETRATIONS ARE TO BE CO-OPIDINATED WITH THE RELEVANT TRADES.

REFER TO FIXTURES AND FITTING SCHEDULES FOR DETAILS.

REFER TO SERVICES DRAWINGS FOR ELECTRICAL DETAILS.

PROVIDE ADEQUATE VENTILATION TO ALL BUILT IN ELECTRICAL UNITS.

ALL JOINERY TO WET AREAS BE CONSTRUCTED OF MRIMDF. 32mm THICK FOR BENCH TOP, 18mm EVERTWHERE ELSE UNLESS OTHERWISE NOTED.

ALL EXTERNAL EXPOSED SURFACES ARE TO HAVE SELECTED LAMINATE FINISH UNLESS OTHERWISE NOTED, LAMINATE PATTERN TO RUN VERTICALLY.

ALL INTERNAL SHELVES & DIVISIONS & GENERAL CARCASS ARE TO BE CONSTRUCTED FROM WHITE MELAMINE PRE-RINISHED BOARD UNLESS OTHERWISE SCIPIED.

ONLESS OF HERWISE SPECIFIED.

7. ALL SHELVING TO BE FULLY ADJUSTABLE UNLESS OTHERWISE SPECIFIED.

10. FINISH EXPOSED EDGES OF ALL LAWINATE FACED & MELAMINE FACED PANIELS, DOORS, DIVISIONS, SHELVES ETC. WITH PVC IMPACT EDGING OF MATCHING COLCUR.

11. PROVIDE DOOR BUMPERS TO ALL DRAWERS & CUPBOARDS.

12. DRAWERS ARE TO BE FITTED ON POWDERCOATED STEEL DRAWER SLIDES TO PERMIT OPENING OF THE DRAWERS TO THEIR FULL LENGTH.

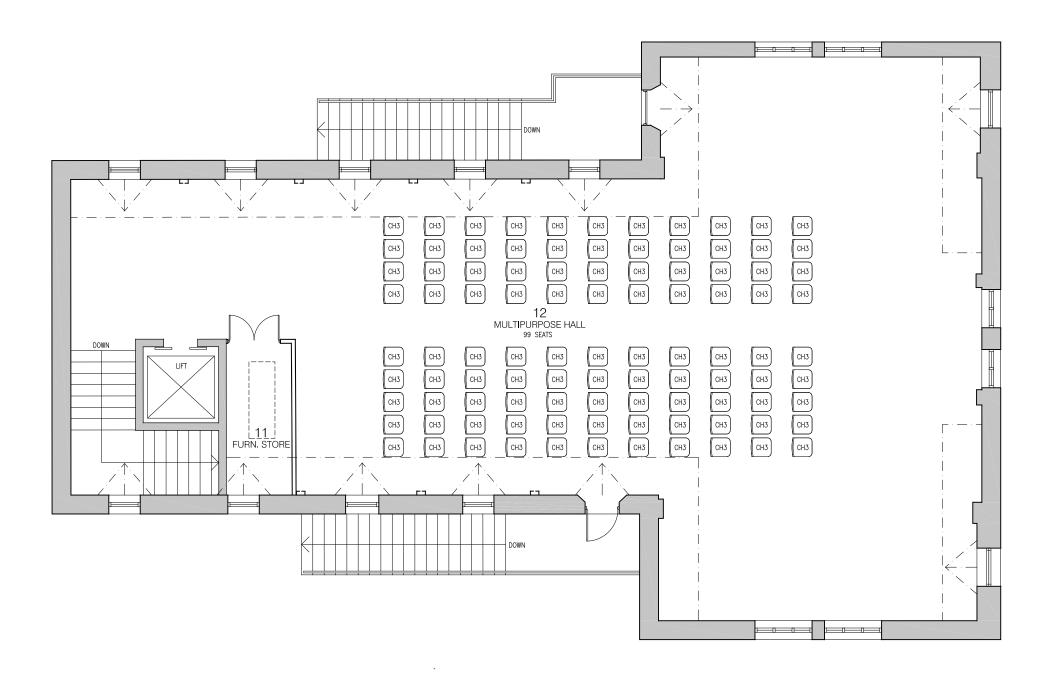
13. SCRIBEE/FILLET AT SIDE PANIEL TO ALL BUILT IN LAMINATED UNITS.

14. SILICON BEAD TO ALL JOINERY, WALL CONNECTIONS TO MATCH WALL COLOR.

15. ALL WALL HUNG FIXTURES AND FITTINGS APE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT, STUDS TO BE LOCATED WITH STUD FINDER PRIOR TO INSTALLATION OF FIXTURE.

FURNITURE LEGEND:

CH CHAIR
MT MULTI PURPOSE TABLE
TB TABLE
BR BAR FRIDGE
ST SEAT



DRAWING NO.

DRAWING TITLE

STATUS PRELIMINARY

PROJECT 130 LONSDALE ST REFURBISHMENT





JOINERY NOTES:

 ALL ACCESS TO SITE AND SPECIFIED DIMENSIONS TO BE CHECKED ON SITE BEFORE CONSTRUCTION. JOINER SHALL ENSURE STRUCTURAL INTEGRITY OF ALL JOINERY.
ALLOW FOR ADDITIONAL FRAMING, CLEATS ETC. AS RECUIRED TO
SUIT THE APPLICATION & METHODS OF CONSTRUCTION & TO
ENSURE STABILITY OF THE COMPLETE INSTALLATION.

 ALL WALL HUNG FIXTURES AND FITTINGS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH STUD FINDER PRIOR TO INSTALLATION. ALL PENETRATION FOR SERVICES & FITTINGS ARE TO BE PROVIDED BY JOINER. LOCATION & SIZES OF PENETRATIONS ARE TO BE CO-ORDINATED WITH THE RELEVANT TRADES. 5. REFER TO FIXTURES AND FITTING SCHEDULES FOR DETAILS. 8. REFER TO SERVICES DRAWINGS FOR ELECTRICAL DETAILS. PROVIDE ADEQUATE VENTILATION TO ALL BUILT IN ELECTRICAL UNITS. ALL JOINERY TO WET AREAS BE CONSTRUCTED OF MRMDF. 32mm THICK FOR BENCH TOP, 18mm EVERYWHERE ELSE UNLESS OTHERWISE NOTED. ALL EXTERNAL EXPOSED SURFACES ARE TO HAVE SELECTED LAMINATE FINISH UNLESS OTHERWISE NOTED. LAMINATE PATTERN TO RUN VERTICALLY.

ALL INTERNAL SHELVES & DIVISIONS & GENERAL CARCASS ARE TO BE CONSTRUCTED FROM WHITE MELAMINE PRE-FINISHED BOARD UNLESS OTHERWISE SPECIFIED.

ONLESS OF HERWISE SPECIFIED.

7. ALL SHELVING TO BE FULLY ADJUSTABLE UNLESS OTHERWISE SPECIFIED.

10. FINISH EXPOSED EDGES OF ALL LAMINATE FACED & MELAMINE FACED PANELS, DOORS, DIVISIONS, SHELVES ETC. WITH PVC IMPACT EDGING OF MATCHING COLOUR. 11. PROVIDE DOOR BUMPERS TO ALL DRAWERS & CUPBOARDS. DOWNERS TO BE FITTED ON POWDERCOATED STEEL DRAWER SLIDES TO PERMIT OPENING OF THE DRAWERS TO THEIR FULL LENGTH. 13. SCRIBE/FILLET AT SIDE PANEL TO ALL BUILT IN LAMINATED UNITS. SILICON BEAD TO ALL JOINERY/WALL CONNECTIONS TO MATCH WALL COLOR. 15. ALL WALL HUNG FIXTURES AND FITTINGS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH STUD FINDER PRIOR TO INSTALLATION OF FIXTURE.

**FURNITURE LEGEND:** 

CHAIR MULTI PURPOSE TABLE TABLE BAR FRIDGE SEAT

NOTES

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A261

28.03.24 RK

DRAWN

DATE

PROPOSED FURNITURE PLAN LEVEL 1

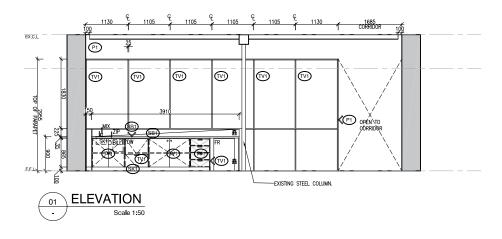
JM

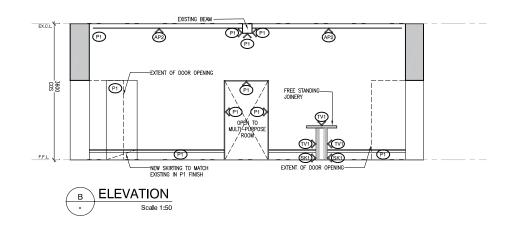
CHECKED JOB NO. 22.157

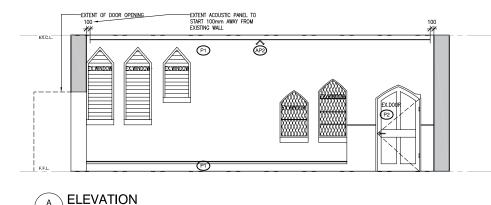
SCALE

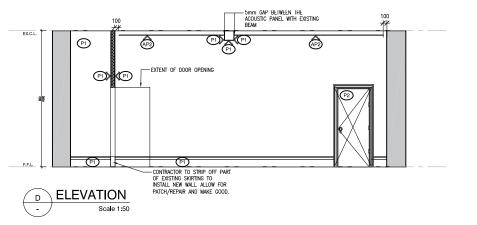
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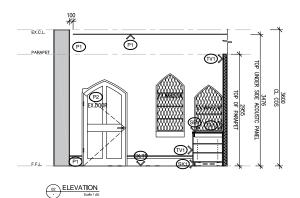
PROPRIETOR CHARTER HALL











NO. DATE REVISION
P1 28.03.24 PRELIMINARY

DRAWING NO DRAWING TITLE ELEVATIONS P1 A300 KITCHENETTE EXISTING WALLS

JM

22.157

28.03.24

RK

PRELIMINARY

1:100 @ A3 1:50 @ A1

130 LONSDALE ST REFURBISHMENT

CHARTER HALL

PROJECT

Millar

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**GENERAL NOTES:** 

VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.

THE ARCHITECT IMMEDIATELY.

ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE
TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON
SEEKING EGRESS FROM THE BUILDING WITH A SINGLE HANDED
DOWNWARD ACTION OF DUSHING ACTION ON A SINGLE EVENCE
WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900mm AND
1100mm ABOVE THE FINSHED FLOOR LEVEL IN ACCORDANCE WITH
CLAUSE D2.21 OF THE BUILDING CODE OF AUSTRALIA.

ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.

 EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3. FIRE INDICES OF MATERIALS, LININGS AND SUPFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA. ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CALKING. ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH AS3700.

7. FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441. B. PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444, PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20m FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN AND TEA AREA.

FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES. LOCATION TO BE DETERMINED ON SITE.

MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1668.2 AND AS-3666. EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.

ALL GLAZING TO COMPLY WITH AS-1288, ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBILITY OF THE GLAZIER / CONTRACTOR TO PROVIDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY.

ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULLY
SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE
WITH SECTION J3 OF THE BCA.

13. ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS.

ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING, 75mm THICK WITH THE LOWER EDGE BETWEEN 900 - 1000mm ABOVE FFL.

15. ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL. ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED. ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE. 17. WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740. ALL FLASHINGS & CAPPINGS TO BE POWDERCOATED WHERE VISBLE, ZINCALUME ELSEWHERE: PROFILED WEATHER STOPS TO ALL ROOF AND WALL SHEETING. ALL ROOF PENETRATIONS ARE TO HAVE CONTINUOUS FLASHED FROM PENETRATION TO ROOF APEX.

20. FACADE SYSTEMS TO COMPLY WITH AND HAVE CURRENT CODEMARK CERTIFICATION FOR COMPLIANCE WITH NCC: FP1.4-FACADE WATERPROOFING CERTIFICATION.

21. BUILDING WRAP / SARKING MUST COMPLY WITH NCC C1.9(A)(i).(D)
&(E)(ii) - FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING
ELEMENT)

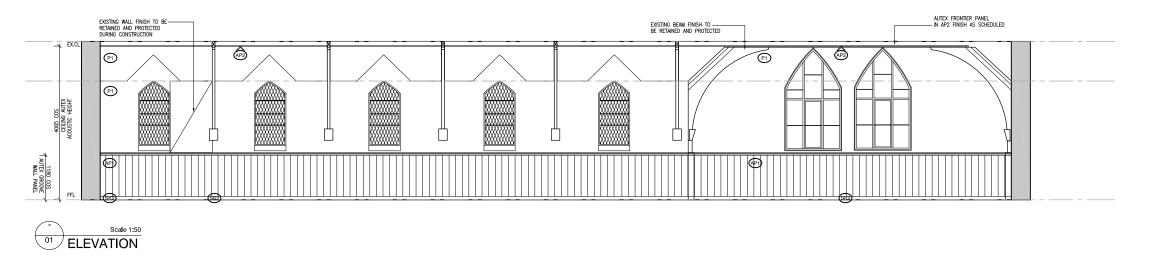
22. DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 - 2009.

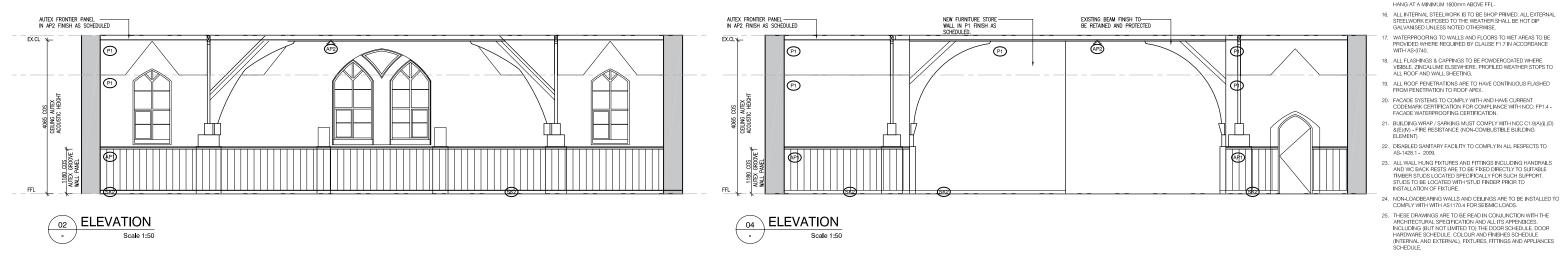
23. ALL WALL HUNG FIXTURES AND FITTINGS INCLUDING HANDRALS AND WC BACK RESTS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDIS LOCATED SPICIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH 'STUD FINDER' PRICR TO INSTALATION OF FORTURE.

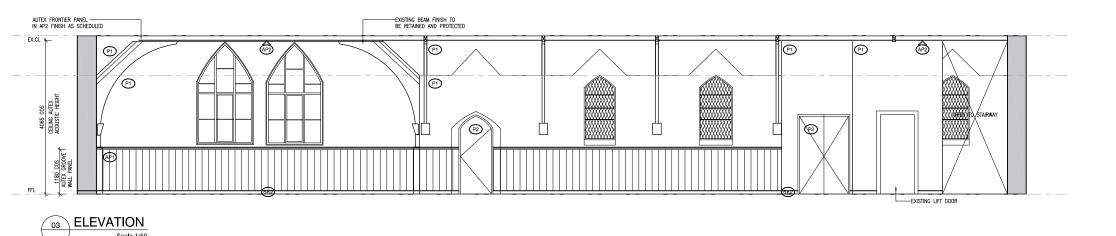
NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY WITH WITH AS1170.4 FOR SEISMIC LOADS.

COMPLY WITH WITH AST 70.4 FOR SESMIC LOURS.

THESE ORAMINGS ARE TO BE READ IN COMUNICTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES.
INCLUDING (BUT NOT LIMITED TO) THE DOOR SCHEDULE, DOOR HARDWARE SCHEDULE, COLOUR AND FINISHES SCHEDULE (INTERNAL AND EXTERNALL), FIXTURES, FITTINGS AND APPLANCES SCHEDULE







NO.	DATE	REVISION	BY	снк
P1	28.03.24	PRELIMINARY	RK	JM

A307 ELEVATIONS LEVEL 1

RK

CHECKED

JM

JOB NO.

22.157

DATE

28.03.24

REV. STATUS
P1 PRELIMINARY

PROJECT 130 LONSDALE ST REFURBISHMENT

Milk Arch

SCALE PROPRIETOR NOTES

1:100 @ A3 CHARTER HALL THIS DRAWNING IS PROTECTED BY COPYRIGHT. E.
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CONFECION TO THE SPECIFICATION AND OTHER ISSUES. FRUIND EMBENOUS TAKE PRECEDENCE EPICED SEC. OFFICE ALL DIMENSIONS ON SITE. PRICED SEC. OFFICE ALL DIMENSIONS ON SITE. SECONMENCEMENT OF AMERICANICAL ACT OF AMERICANICANICAL ACT OF AMERICANICAL ACT OF AMERICANICAL ACT OF AMERICANICA

**GENERAL NOTES:** 

VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION, IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.

THE ARCHITECT IMMEDIATELY.

2. ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON SERVING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD ACTION OF PUSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900mm AND 1100mm ABOVE THE FINSHED ELOOR LEVEL IN ACCOPDANCE WITH CLAUSE D2.21 OF THE BUILDING CODE OF AUSTRALLA.

 ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.

EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3
FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.

6. ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH AS3700.
7. FIRE HYDPANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.
8. PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444. PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20TH FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN AND TEA AFREA.

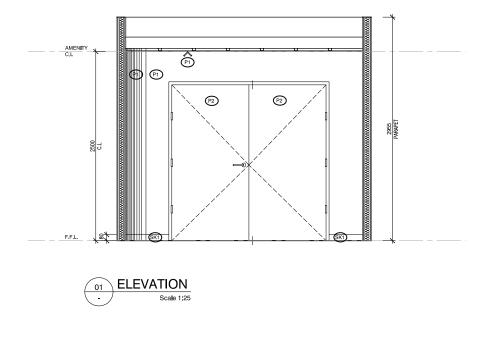
FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES. LOCATION
TO BE DETERMINED ON SITE.
 MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1668.2
AND AS-3666. EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER
THAN 6m TO FRESH AIR INLETS.

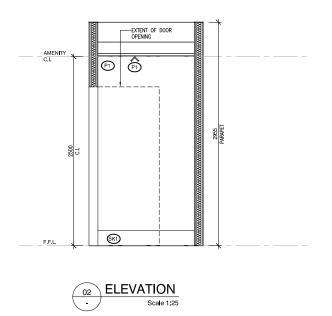
 ALL GLAZING TO COMPLY WITH AS-1288. ANY NOMINATED GLAZING THICKNESS ARE MIMMUM REQUIREMENTS ONLY. IT IS RESPONSIBILITY OF THE GLAZIER / COMPLACTOR TO PROVIDE A COMPLIANT. INSTALLATION AND PRICED ACCORDINGLY.

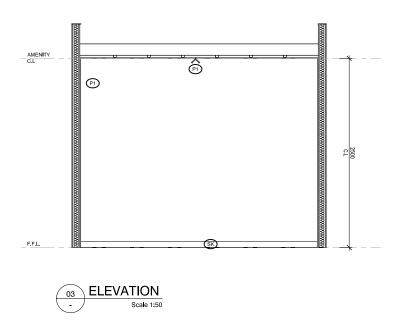
12. ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULLY SEALED AND CALKED TO PREVENT AR LEAKAGE IN ACCORDANCE WITH SECTION 130 FT HE BCA.

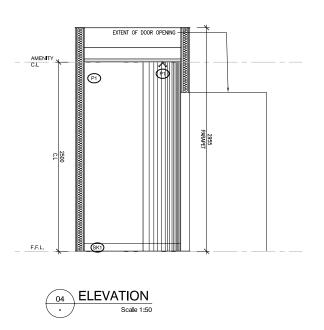
13. ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS.

14. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. STORM THICK WITH THE LOWER EDGE BETWEEN 900-1000mm ABOVE FFL.









# NO. DATE REVISION P1 28.03.24 PRELIMINARY

DRAWING NO A302

RK

28.03.24

DRAWING TITLE ELEVATION STORE ROOM

JM

P1

22.157

PRELIMINARY

1:50 @ A3 1:25 @ A1

130 LONSDALE ST REFURBISHMENT

CHARTER HALL

**GENERAL NOTES:** 

VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.

THE ARCHITECT IMMEDIATELY.

2. ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON SEEKING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD ACTION OF PUSHING ACTION ON A SINGLE BEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN BOOMM AND 1100mm ABOVE THE FINSHED ELOOD EVEL IN ACCORDANCE WITH CLAUSE D2.21 OF THE BUILDING CODE OF AUSTRALIA.

ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.

EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3. FIRE INDICES OF MATERIALS, LININGS AND SUPFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.

ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CALKING.

ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH AS3700.

7. FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441. B. PORTAGE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444.
PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20m
FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN
AND TEA AREA. FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES. LOCATION TO BE DETERMINED ON SITE. MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS 1668.2
 AND AS-3666, EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.

11. ALL GLAZING TO COMPLY WITH AS-1288, ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBILITY OF THE GLAZIER / COMPLATOR TO PROVIDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY.

12. ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULLY SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE WITH SECTION JS OF THE BCA.

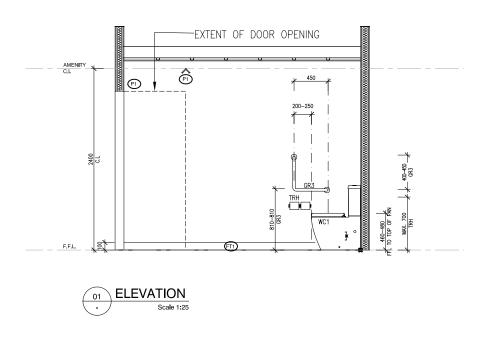
 ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. 75mm THICK WITH THE LOWER EDGE BETWEEN 900 -1000mm ABOVE FFL.

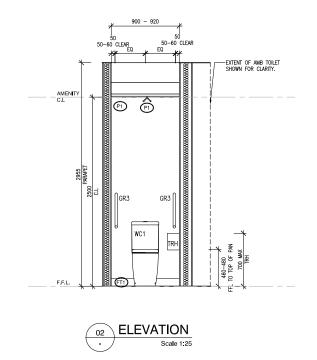
15. ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL. 16. ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED. ALL EXTERNAL
STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP
GALVANISED UNLESS NOTED OTHERWISE. 17. WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740. ALL FLASHINGS & CAPPINGS TO BE POWDERCOATED WHERE VISIBLE, ZINCALUME ELSEWHERE: PROFILED WEATHER STOPS TO ALL ROOF AND WALL SHEETING. ALL ROOF PENETRATIONS ARE TO HAVE CONTINUOUS FLASHED FROM PENETRATION TO ROOF APEX. 20. FACADE SYSTEMS TO COMPLY WITH AND HAVE CURRENT CODEMARK CERTIFICATION FOR COMPLIANCE WITH NCC: FP1.4-FACADE WATERPROOFING CERTIFICATION. 21. BUILDING WRAP / SARKING MUST COMPLY WITH NCC C1.9(A)(i),(D) &(E)(iV) - FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING ELEMENT) DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 - 2009. 23. ALL WALL HUNG FIXTURES AND FITTINGS INCLUDING HANDRALS AND WC BACK RESTS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDIS LOCATED SPICIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH 'STUD FINDER' PRICR TO INSTALATION OF FORTURE.

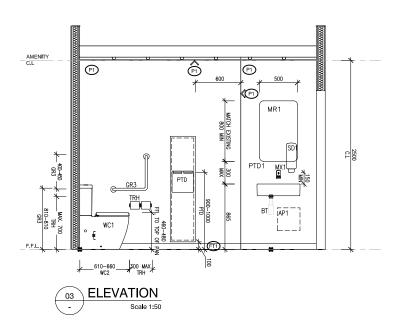
NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY WITH WITH AS1170.4 FOR SEISMIC LOADS.

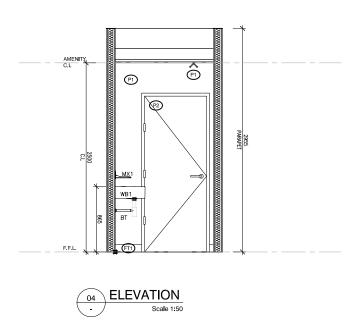
COMPLY WITH WITH AST 70.4 FOR SESMIC LOURS.

THESE ORAMINGS ARE TO BE READ IN COMUNICTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES.
INCLUDING (BUT NOT LIMITED TO) THE DOOR SCHEDULE, DOOR HARDWARE SCHEDULE, COLOUR AND FINISHES SCHEDULE (INTERNAL AND EXTERNALL), FIXTURES, FITTINGS AND APPLANCES SCHEDULE









# NO. DATE REVISION BY CHK P1 28.03.24 PRELIMINARY RK JM

A303 DRAWING TITLE ELEVATION FEMALE AMB. TOILET

RK

JM

28.03.24

status PRELIMINARY

> 1:50 @ A3 1:25 @ A1

P1

22.157

130 LONSDALE ST REFURBISHMENT

PROJECT

Millar Architects

**GENERAL NOTES:** 

 VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.

THE ARCHITECT IMMEDIATELY.

ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE
TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON
SEEKING EGRESS FROM THE BUILDING WITH A SINGLE HANDED
DOWNWARD ACTION OF DUSHING ACTION ON A SINGLE EVENCE
WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900mm AND
1100mm ABOVE THE FINSHED FLOOR LEVEL IN ACCORDANCE WITH
CLAUSE D2.21 OF THE BUILDING CODE OF AUSTRALIA.

 ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.

 EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3. FIRE INDICES OF MATERIALS, LININGS AND SUPFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.

 ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CALKING.

ALL MASONFY WALLS TO BE INSTALLED IN ACCORDANCE WITH ASSTOR.

 FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH ASSZIPA AND ASSZ441.

PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444.
PROVIDE DRY CHEMICAL, FIRE EXTINGUISHER BETWEEN 2.8.200
FROM EACH ELECTRICAL SWITCHEDARD, PLANT ROOM, KITCHEN
AND TEA AREA.

PRITE BLANKETS TO ALL KITCHENS AND KITCHENETTES. LOCATION
TO BE DETERMINED ON SITE.

10. MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1688.2
AND AS-3666. EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER
THAN 611 OF PRESH AND RUETS.

 ALL GLAZING TO COMPLY WITH AS-1288. ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBILITY OF THE GLAZIER / CONTRACTOR TO PROVIDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY.

12. ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULLY SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE WITH SECTION JS OF THE BCA.

13. ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE RITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS.

14. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. 75mm THICK WITH THE LOWER EDGE BETWEEN 900-1000mm ABOVE FIL.

ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL.
 ALL INTERNAL STEELWORK IS TO BE 9HOP PRIMED. ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE.
 WATERPROCEING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740.
 ALL FLASHINGS & CAPPINGS TO BE POWDERCOATED WHERE VISIBLE. ZINCALLIME BLSEWHERE. PROFILED WEATHER STOPS TO ALL ROOF AND WALL SHEETING.
 ALL ROOF PENETRATIONS ARE TO HAVE CONTINUOUS FLASHED FROM PENETRATION TO ROOF AREX.
 FACADE SYSTEMS TO COMPLY WITH AND HAVE CURPENT CODEMARK CERTIFICATION.
 BUILDING WARP. / SARKING MUST COMPLY WITH NCC C1.9(A)(B).(D) & (E)(M) - FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING ELEMENT)
 DISABLED SANITARY FACILITY TO COMPLY WITH ALL RESPECTS TO AS-1428.1 - 2009.
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 NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY WITH WITH AS1170.4 FOR SEISMIC LOADS.

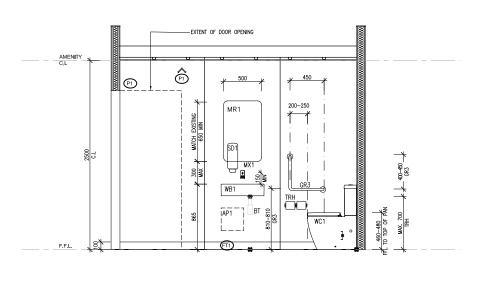
COMPLY WITH WITH AST 70.4 FOR SESMIC LOURS.

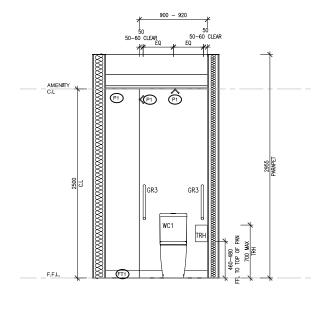
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PROPRIETOR
CHARTER HALL

NOTIES

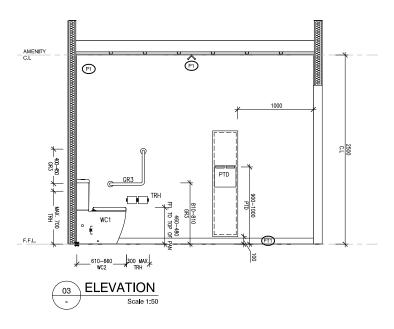
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SHOP DRAWINGS SHALL BE SUBMITTED TO THIS OFFICE FOR

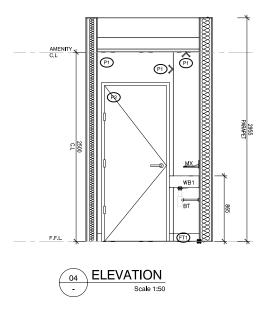












# NO. DATE REVISION BY CHK P1 28,03,24 PRELIMINARY RK JM

A304 DRAWING TITLE ELEVATION MALE AMB. TOILET

RK

JM

22.157

28.03.24

REV. STATUS
P1 PRELIMINARY

1:50 @ A3 1:25 @ A1 130 LONSDALE ST REFURBISHMENT

PROJECT

# Millar Architects

**GENERAL NOTES:** 

 VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.

THE ARCHITECT IMMEDIATELY.

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DOWNWARD ACTION OF DUSHING ACTION ON A SINGLE EVENCE
WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900mm AND
1100mm ABOVE THE FINSHED FLOOR LEVEL IN ACCORDANCE WITH
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 EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3. FIRE INDICES OF MATERIALS, LININGS AND SUPFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.

 ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CAUCING.
 ALL MASON: WALLS TO BE INSTALLED IN ACCORDANCE WITH ASSTOR.

FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.
 PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444.
 PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20m FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, NITCHEN AND TEA AREA.

 FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES. LOCATION TO BE DETERMINED ON SITE.

10. MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1688.2 AND AS-3666, EXHAUST AR OUTLETS NOT TO SE LOCATED CLOSER THAN 60 IN OF REESH ARI NILETS.

11. ALL GLAZING TO COMPLY WITH AS-1288. ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBILITY OF THE GLAZIER / CONTRACTOR TO PROMDE A COMPLIANT INSTALLATION AND PRICE DACORDINGLY.

12. ALL OPENINGS & FLOOR WALL & ROOF JUNCTIONS MUST BE FULLY SEALED AND CALKED TO PREVENT AIR LEAKAGIN ACCORDINGLY.

13. ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FULLY SEALED AND CALKED TO PREVENT AIR LEAKAGIN ACCORDINGLY.

 ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. Z5mm THICK WITH THE LOWER EDGE BETWEEN 900 -1000mm ABOVE FFL.

ALL WINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL.
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 BUILDING WARP. / SARKING MUST COMPLY WITH NCC C1.9(A)(B).(D) & (E)(M) - FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING ELEMENT)
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 ALL WULL HUNG FIXTURES AND FITTINGS INCLUDING HANDRAILS AND WC BACK RESTS ARE TO BE FIXED DIRECTLY TO SUTHABLE TIMBER STUDS LOCATED WITH STUD FINDER PRIOR TO INSTALLATION OF FIXTURE.

 NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY WITH WITH AS1170.4 FOR SEISMIC LOADS.

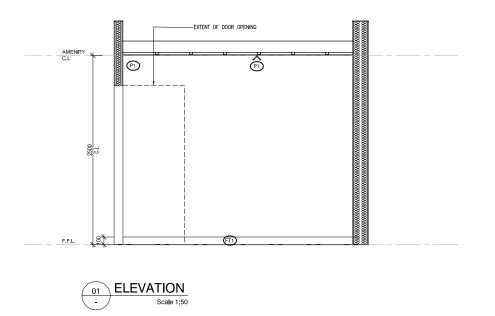
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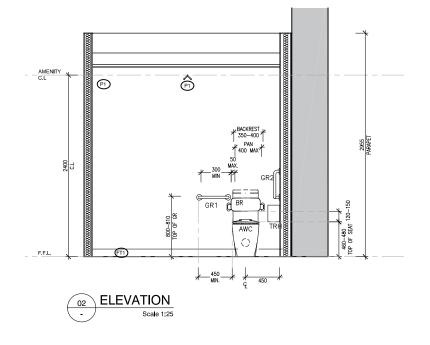
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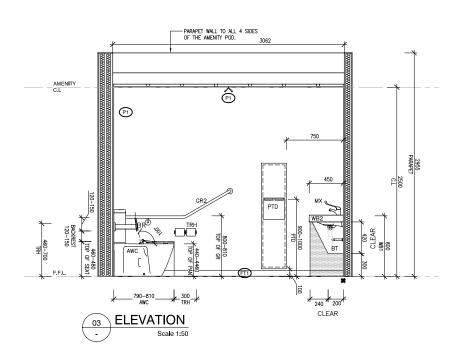
PROPRIETOR

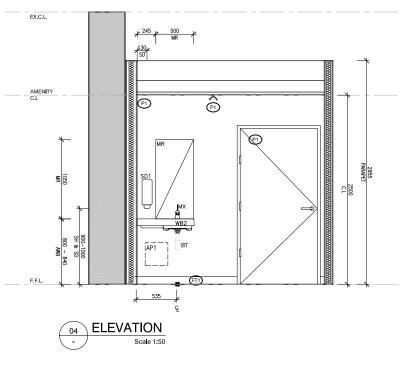
CHARTER HALL

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# NO. DATE REVISION BY CHK P1 28.03.24 PRELIMINARY RK JM

A305 DRAWING TITLE ELEVATION ACC. WC

RK

JM

DATE

28.03.24

P1 PRELIMINARY

1:50 @ A3 1:25 @ A1

22.157

PROJECT 130 LONSDALE ST REFURBISHMENT

PROPRIETOR
CHARTER HALL

Millar Architects

**GENERAL NOTES:** 

 VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.

THE ARCHITECT IMMEDIATELY.

2. ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON SEEKING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD ACTION OF DUSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900rm AND 1100rm ABOVE THE FINSHED FLOOR LEVEL IN ACCORDANCE WITH CLAUSE D2.21 OF THE BUILDING CODE OF AUSTRALIA.

 ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.

4. EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3. FIRE INDICES OF MATERIALS, LININGS AND SUFFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.

5. ALL CONCRETE PANEL JOINTS WITHIN 3m OF ANY BOUNDARY ARE TO HAVE FIRE RATED CAUSING.

6. ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH ASS700.

7. FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.

POOTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444.

PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2.8 20m FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN AND TEA AREA.

9. FIRE BLANKETS TO ALL KITCHENS AND KITCHENTETES. LOCATION TO BE DETERMINED ON SITE.

 MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS 1668.2 AND AS-3666. EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6m TO FRESH AIR INLETS.

ALL GLAZING TO COMPLY WITH AS-1288, ANY NOMINATED GLAZING THICKNESS ARE MINIMUM REQUIREMENTS ONLY. IT IS RESPONSIBILITY OF THE GLAZIER / CONTRACTOR TO PROMDE A COMPLIANT INSTALLATION AND PRICED ACCORDINGLY.

12. ALL OPENINGS 8 FLOOR WALL 8 ROOF JUNCTIONS MUST BE FULLY SEALED AND CALKED TO PREVENT AIR LEAKAGE IN ACCORDANCE WITH SECTION J3 OF THE BCA.

 ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS.

14. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. 75mm THICK WITH THE LUWER EDGE BETWEEN 900-1000mm ABOVE FFL.

15. ALL MINDOW BLIND CORDS OR CHAINS ARE TO BE INSTALLED TO HANG AT A MINIMUM 1600mm ABOVE FFL.

16. ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED. ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE.

17. WATERPROPENING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740.

18. ALL FLASHINGS & CAPPINGS TO BE POWDERCOATED WHERE VISIBLE. ZINCALUME ELSEWHERE. PROFILED WEATHER STOPS TO ALL ROOF PRINETRATION TO ROOF APEX.

20. FACADE SYSTEMS TO COMPLY WITH AND HAVE CURRENT CODEMARK CERTIFICATION FOR COMPLIANCE WITH NCC. FP1.4 FACADE WATERPROCINED CERTIFICATION FOR COMPLIANCE WITH NCC. FP1.4 FACADE WATERPROCINED.

21. BUILDING WRAP / SARKING MUST COMPLY WITH NCC C1.9(A)(i),(D) &(E)(iV) - FIRE RESISTANCE (NON-COMBUSTIBLE BUILDING ELEMENT)

22. DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 - 2009.

23. ALL WALL HUNG FIXTURES AND FITTINGS INCLUDING HANDRALLS AND WC BACK RESTS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH 'STUD FINDER' PRICR TO INSTALATION OF FORTURE.

 NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY WITH WITH AS1170.4 FOR SEISMIC LOADS.

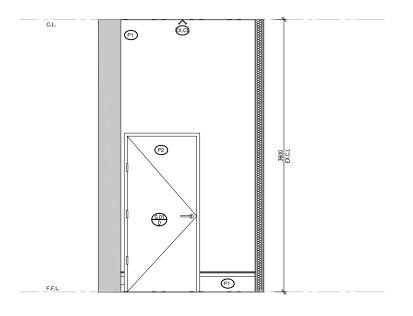
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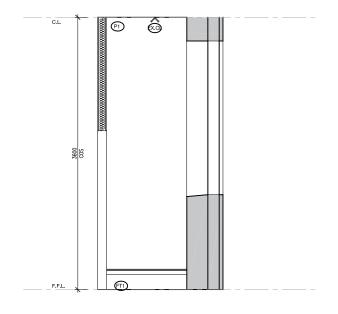
NOTES

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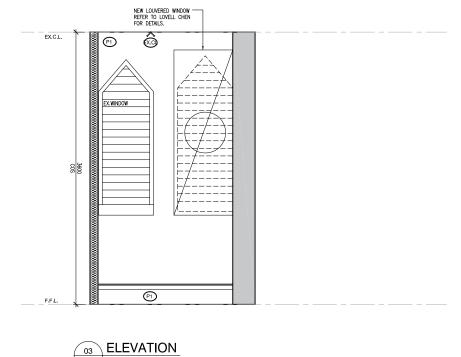
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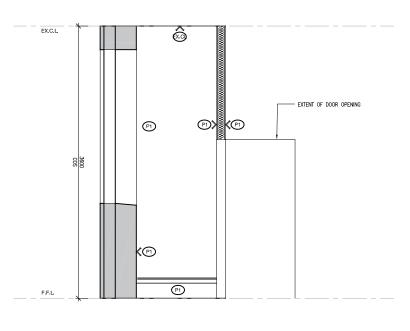












ELEVATION

NO. DATE REVISION
P1 28.03.24 PRELIMINARY

DRAWING NO DRAWING TITLE A306

RK

28.03.24

ELEVATION P1

22.157

JM

PRELIMINARY

PROJECT 130 LONSDALE ST REFURBISHMENT

CHARTER HALL



**GENERAL NOTES:** 

VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.

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DOWNWARD ACTION OF BUSHING ACTION AS INSIGE BETWICE
WITHOUT THE USE OF A KEY AND LOCATED BETWEEN BOOMM AND
1100mm ABOVE THE BINSHED FLOOR LEVEL IN ACCORDANCE WITH
CLAUSE D221 OF THE BUILDING CODE OF AUSTRALIA.

ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.

 EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3.
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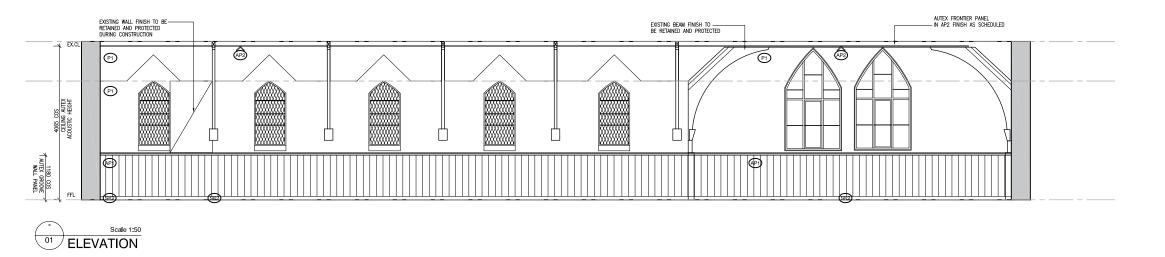
NON-LOADBEARING WALLS AND CEILINGS ARE TO BE INSTALLED TO COMPLY WITH WITH AS1170.4 FOR SEISMIC LOADS.

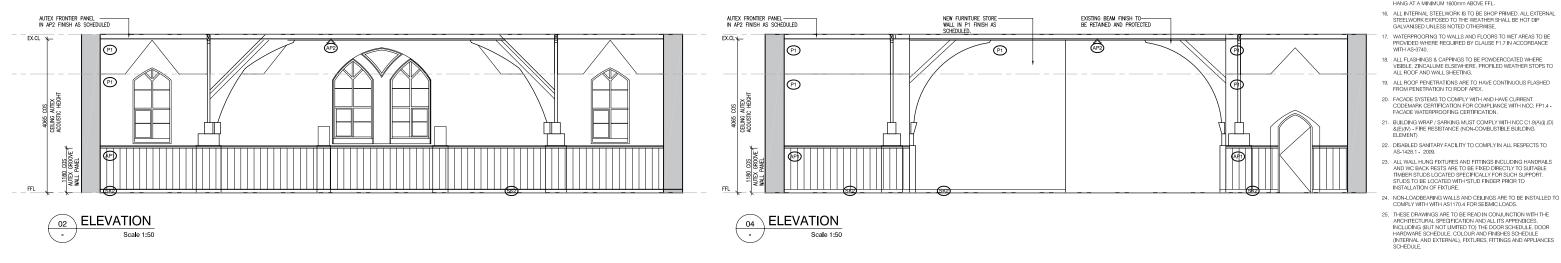
COMPLY WITH WITH AST 70.4 FOR SESMIC LOURS.

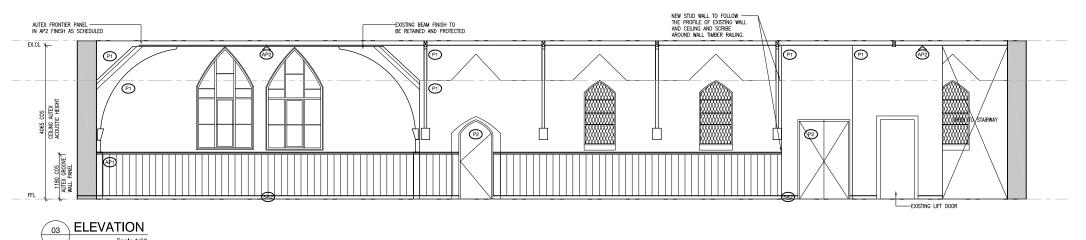
THESE ORAMINGS ARE TO BE READ IN COMUNICTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES.
INCLUDING (BUT NOT LIMITED TO) THE DOOR SCHEDULE, DOOR HARDWARE SCHEDULE, COLOUR AND FINISHES SCHEDULE (INTERNAL AND EXTERNALL), FIXTURES, FITTINGS AND APPLANCES SCHEDULE

MECH STORE

1:50 @ A3 1:25 @ A1







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 BY
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 P1
 28.03.24
 PRELIMINARY
 RK
 JM

A307

DATE

28.03.24

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PROJECT 130 LONSDALE ST REFURBISHMENT Millar Architects

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 JOB NO.
 SCALE
 PROPRIETOR

 JM
 22.157
 1:100 @ A3
 CHARTER HALL

 1:50 @ A1

NOTES

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**GENERAL NOTES:** 

VERIFY ALL DIMENSION / SET OUT DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE DETECTED, ADVISE THE ARCHITECT IMMEDIATELY.

THE ARCHITECT IMMEDIATELY.

2. ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPERATED AT ALL TIMES BY A PERSON SERVING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD ACTION OF PUSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900mm AND 1100mm ABOVE THE FINSHED ELOOR LEVEL IN ACCOPDANCE WITH CLAUSE D2.21 OF THE BUILDING CODE OF AUSTRALLA.

 ALL ELECTRICAL SWITCHES, CONTROLS, INTERCOMS, ETC ARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FINISHED FLOOR LEVEL AND NO CLOSER THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH CLAUSE 14.1 OF AS1428.1.

EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2293.3
FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 OF THE BUILDING CODE OF AUSTRALIA.

 ALL MASONRY WALLS TO BE INSTALLED IN ACCORDANCE WITH AS3700.

ASS/00.

FIRE HYDRANT AND FIRE HOSE REEL INSTALLATIONS TO COMPLY WITH AS-2419 AND AS-2441.

PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS-2444. PROVIDE DRY CHEMICAL FIRE EXTINGUISHER BETWEEN 2 & 20'M FROM EACH ELECTRICAL SWITCHBOARD, PLANT ROOM, KITCHEN AND TEA AFREA.

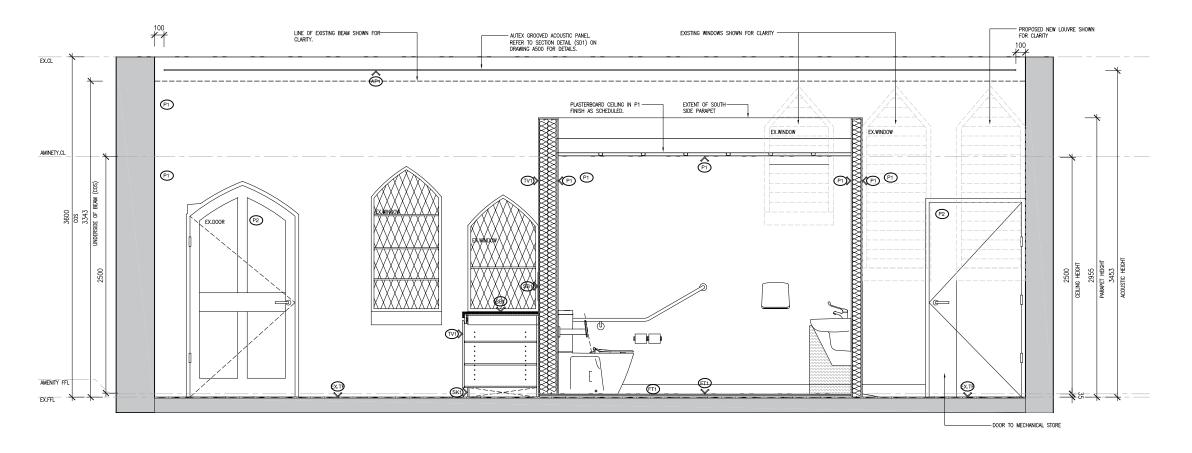
FIRE BLANKETS TO ALL KITCHENS AND KITCHENETTES. LOCATION
TO BE DETERMINED ON SITE.
 MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS-1668.2
AND AS-3666. EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER
THAN 6m TO FRESH AIR INLETS.

 ALL GLAZING TO COMPLY WITH AS-1288. ANY NOMINATED GLAZING THICKNESS ARE MIMMUM REQUIREMENTS ONLY. IT IS RESPONSIBILITY OF THE GLAZIER / COMPLACTOR TO PROVIDE A COMPLIANT. INSTALLATION AND PRICED ACCORDINGLY.

12. ALL OPENINGS & FLOOR, WALL & ROOF JUNCTIONS MUST BE FULLY SEALED AND CALKED TO PREVENT AR LEAKAGE IN ACCORDANCE WITH SECTION 130 FT HE BCA.

13. ALL EXTERNAL OPENINGS (DOORS & OPERABLE WINDOWS) MUST BE FITTED WITH DRAFT SEALS TO ALL SIDES OF OPENINGS.

14. ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. STORM THICK WITH THE LOWER EDGE BETWEEN 900-1000mm ABOVE FFL.





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A400 SEC S01

DATE DRAWN

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SECTION - P1 S01

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STATUS PRELIMINARY

SCALE

1:40 @ A3

1:20 @ A1

PROJECT 130 LONSDALE ST REFURBISHMENT

CHARTER HALL

PROPRIETOR





NOTES

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THE FITOUT CONTRACTOR IS TO INCLUDE TO UNDERTAKE A
DILAPIDATION REPORT AND PHOTOGRAPHIC RECORD OF EXISTING
CONDITIONS PRIOR TO COMMENCEMENT OF WORKS. CLIENT
REPRESENTATIVE IS TO BE IN ATTENDANCE.

 CARPET PROTECTION IS REQUIRED TO BE SUPPLIED AND INSTALLED BY BITOUT CONTRACTOR. NOTE: CARPET PROTECTION IS TO BE THE BREATHABLE VARIETY TO ALLOW FOR EVAPORATION OF SLAB MOISTURE.

ALL ENT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE
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WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900mm AND
1200mm ABOVET THE FLOOR LEVEL IN ACCORDANCE WITH CLAUSE
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 ALL FULLY GLAZED DOORS, SIDE LIGHTS OR WALLS TO HAVE A SOLID CONTRASTING LINE OF FILM ACROSS THE FULL EXTENT OF THE GLAZING. 75mm THICK WITH THE LOWER EDGE BETWEEN 900-1000mm ABOVE FFL.

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11. REFER TO SERVICES DRAWINGS FOR THERMOSTAT LOCATIONS.

WATERPROOFING TO WALLS AND FLOORS TO WET AREAS TO BE PROVIDED WHERE REQUIRED BY CLAUSE F1.7 IN ACCORDANCE WITH AS-3740.

 DISABLED SANITARY FACILITY TO COMPLY IN ALL RESPECTS TO AS-1428.1 - 2009.

15. ALL WALL HUNG FIXTURES AND FITTINGS ARE TO BE FIXED DIRECTLY TO SUITABLE TIMBER STUDS AND PLYWOOD BACKING PLATES AS REQUIRED LOCATED SPECIFICALLY FOR SUCH SUPPORT. STUDS TO BE LOCATED WITH STUD FINDER PRIOR TO INSTALLATION OF FIXTURE.

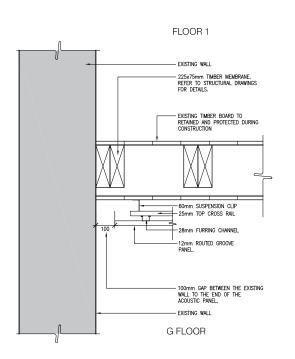
INSTALDATION OF PAILURE.

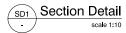
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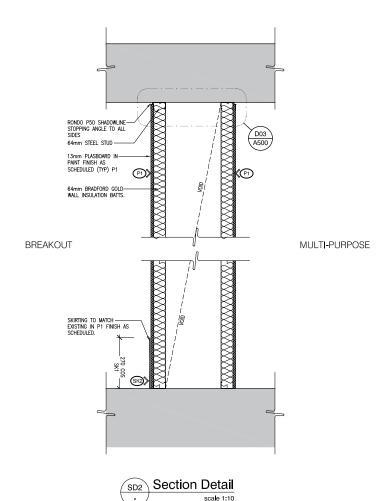
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 PENETRATIONS, DUCTING ETC. TO SUIT MECHANICAL AND
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12. ALL GLAZING TO COMPLY WITH AS-1288.

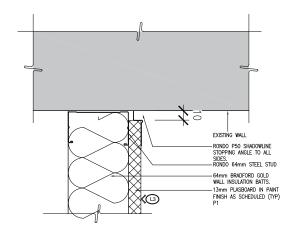


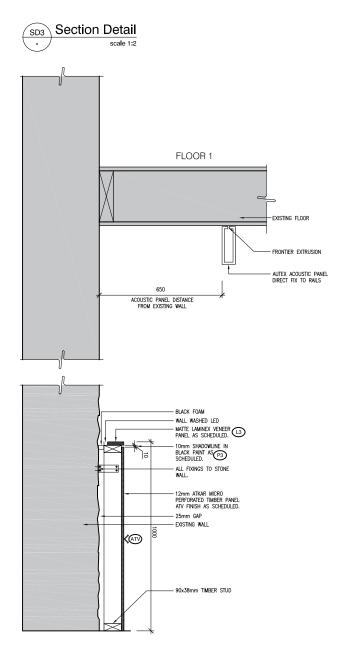


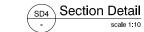


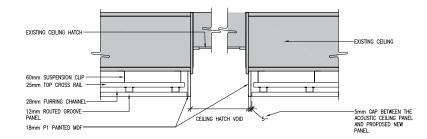
RK JM

P1 28.03.24 PRELIMINARY











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PROJECT 130 LONSDALE ST REFURBISHMENT Millar Architects

DATE DRAWN CHECKED JOB NO. SCALE PROPRIETOR NOTES

28.03.24 RK JM 22.157 1:20 @ A3 CHARTER HALL THIS DRAWNING IS PROTECTED BY COPPRIGHT © MILLAR ARCH
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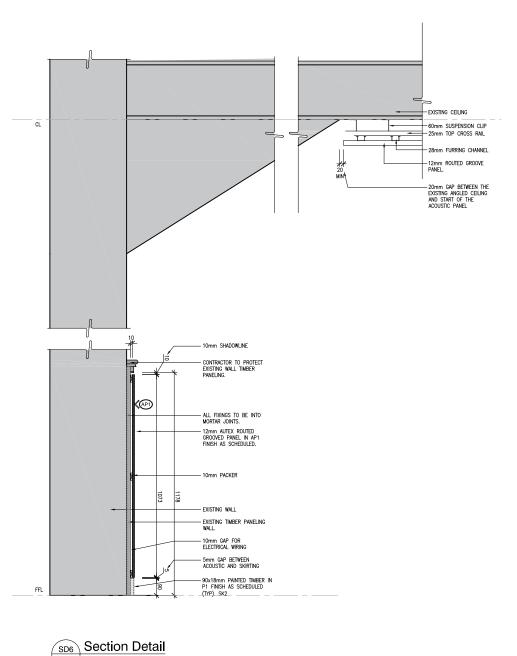
INSTALDATION OF PAILURE.

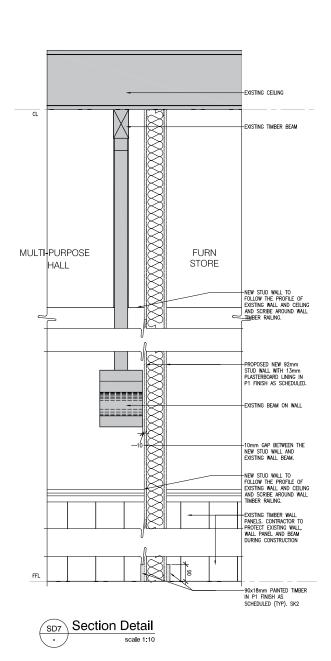
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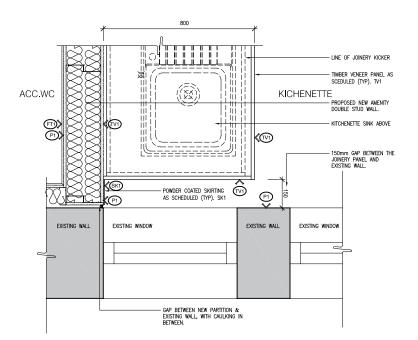
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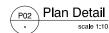
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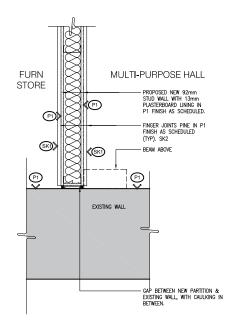
12. ALL GLAZING TO COMPLY WITH AS-1288.











Plan Detail

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A501 PLAN & P1 PRELIMINARY 130 LONSDALE ST REFURBISHMENT

SCALE

1.20 @ A3

1:10 @ A1

PROPRIETOR

CHARTER HALL

JOB NO.

22 157

PARTITIONS NOTES:

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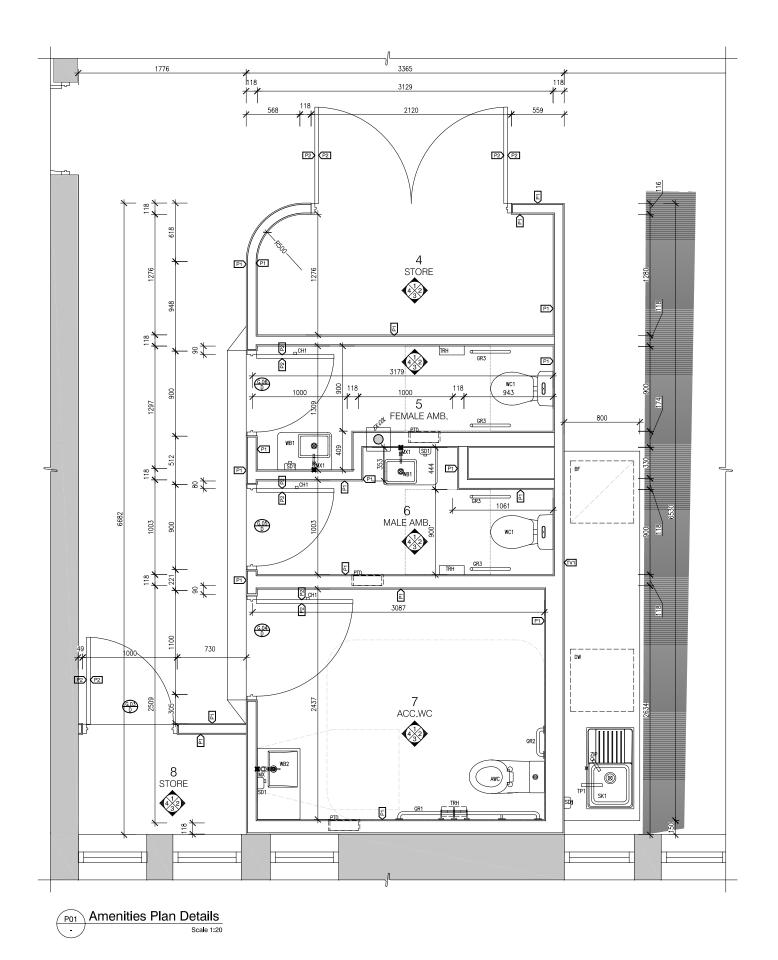
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A600 DRAWING TITLE REAL AMENITIES PLAN DETAILS - PO3

NM

CHECKED JOB NO.

22.157

DATE DRAWN

02.04.24 HM

STATUS PRELIMINARY

> 1:40 @ A3 1:20 @ A1

SCALE

PROJECT
REFURBISHMENT

PROPRIETOR

CHARTER HALL

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PARTITIONS NOTES:

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INSTALDATION OF PAILURE.

16. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION AND ALL ITS APPENDICES, INCLUDING (BUT NOT LIMITED TO) THE DOOR SCHEDULE, DOOR HARDWARE SCHEDULE, COLOUR AND PINISHES SCHEDULE, FIXTURES, FITTINGS AND APPLIANCES SCHEDULES.

17. THE FIT OUT CONTRACTOR SHALL CARFELLY CO-ORDINATE WITH ALL REOURED SUB-TRADES, INCLUDING BUT NOT LIMITED TO THE PARTITION INSTALLER, PLUMBER, PAINTER, MECHANICAL AND ELECTRICAL CONTRACTOR. CONFEM SIZES, HEIGHTS AND CLEARANCES TO SUIT WORKS. THE FIT OUT CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CO-ORDINATION AND PROGRAM INCLUDING WORKING THE OFFICIAL CONTRACTOR WITH IT, INSTALLER, SCORTIFY INSTALLER, LOOSE FURNITURE AND WORKSTATION INSTALLERS.

18. THE FITOUR CONTRACTOR IS TO ALLOW FOR ALL SERVICES PENETRATIONS, DUCTING ETC. TO SUIT MECHANICAL AND ELECTRICAL LAYOUT. FOR ALL SERVICES WORKS REFER TO CONSULTING ENGINEERS DRAWNINGS.

12. ALL GLAZING TO COMPLY WITH AS-1288.

NOTES

NOTES

THIS DRAWING IS PROTECTED BY COPYRIGHT © MILLAR ARCHITECTS,
ALL WORK SHALL CONFORM TO THE SPECIFICATION AND OTHER
RELEWANT DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE
OVER SCALED DIMENSIONS. CHECK ALL DIMENSIONS ON SITE.
SHOP DRAWINGS SHALL BE SUBMITTED TO THIS OFFICE FOR



# Appendix 02 - INTERNAL COLOURS & FINISHES SCHEDULE

Date	02.04.24	Revision	P1
Project	Charter Hall - School House	Project No	21.157

Images are for illustrative purposes only and not meant to reflect the required item exactly. Reference must be made to 'Description' for detailed requirements.

Code	Image	Location	Item Description	Suggested Supplier	Comments		
PAINT FINISHES							
P1		General Paint to walls, columns, ceilings	Item: Paint Finish General walls Colour: Natural White Code: 15W Finish: Low sheen to walls	Dulux Wash and Wear www.dulux.com.au			
P2		All solid doors and door frames	Item: Paint Finish to solid doors.  Colour: Black Caviar  Code: SN4G7  Finish: Semi-gloss enamel	Dulux Wash and Wear www.dulux.com.au			
P3		Shadow Lines	Item: Paint Finish to shadow lines Colour: Theatre Black Finish: Matte	Dulux Wash and Wear www.dulux.com.au			
P4		Paint to match acoustic panelling	Item: Paint Finish to match acoustic wall treatment Feature Walls and Ceilings Colour: White Duck or Mt Aspiring 53 Finish: Low sheen to walls	Dulux Wash and Wear www.dulux.com.au	Contractor to provide test sample of paint for review by architect on site prior to commencement of painting.		
LAMINATE	s						
L1			Item: Laminate Finish- Multipurpose Colour/ Code: White 200 Finish: Absolute Matte	Laminex www.laminex.com.au			
FT1		Amenities	Item: Floor Tiles Product Range: Fiadre Core Shade Colour: Core Shade Cloudy Narual Size: 300x600, 11mm thick	Artedomus www.bettastone.com. au			



<i>,</i> 41 O11	116613				
Code	Image	Location	Item Description	Suggested Supplier	Comments
EX TF	Bona Traffic HD	Existing Timber Floor	Item: Timber Floor Sealer Product: Bona Traffic HD Finish: Satin Thickness: 2mm  All existing timber floors to be sanded and finishes with Bona Traffic HD	<b>Bona</b> www.bona.com.au	
FEATURE '	TREATMENTS				
ATV	Option 1	Multipurpose Room	Item: Acoustic Panel Product: Opt 1 - Perforated timber panel Range: Inluxe Veneer Colour: Victoria Ash	AtkarGroup www.atkar.com.au	
TV1		Joinery	Item: Supawood Timber Veneer Colour: American Oak Finish: Natural	Joiner to supply	
BENCHTO	PS				
SB1		Kitchenette	Item: Stone Benchtop Colour: Smeraldo Finish: Honed	Artedomus www.bettastone.com. au	
ACOUSTIC	TREATMENTS				
AP1	Pattern	Refer to plans	Item: Acoustic Panels Range: Groove Pattern: Linear, routed widths to match existing timber paneling Thickness: 12mm Color: Opera	Autex www.autex.com.au	



	ItCCtS				
Code	Image	Location	Item Description	Suggested Supplier	Comments
	l I			555	
	Colour				
AP2	Pattern	Refer to plans	Item: Acoustic Panels Range: Groove, Cube Pattern: Linear, routed widths to match existing timber paneling Thickness: 12mm Color: Pavilion	Autex www.autex.com.au	
			Item: Acoustic Baffles		
			Range: Acoustic Timber Raft Beam 250		
			Colour: Eucalyptus /		
			Color: Opera		
4.00				Autex	
AP3			Include color matched acoustic timber 'end	www.autex.com.au	
			caps' to exposed ends of beams.		
			Provide all fixings, refer page 18-20 of		
			"Frontier Installation		
			Instructions_Metric_Feb2021"		
MISC.					
MISC.		Kitchenette	Item: Joinery Handle Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass	Manvoella www.manovelladesign .com	
		Kitchenette	Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass	www.manovelladesign	
		Kitchenette	Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass	www.manovelladesign .com	
		Kitchenette  Kitchenette	Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass  Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio	www.manovelladesign	
Н1			Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass  Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio Size: Medium 170mm overall	www.manovelladesign .com	
Н1			Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass  Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio	www.manovelladesign .com  Manvoella www.manovelladesign	
Н1			Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass  Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio Size: Medium 170mm overall Finish: Aged Brass	www.manovelladesign .com  Manvoella www.manovelladesign	
H1		Kitchenette	Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass  Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio Size: Medium 170mm overall Finish: Aged Brass  Item: Skirting Size: 80 x 1.6 mm	www.manovelladesign .com  Manvoella www.manovelladesign	
Н1			Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass  Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio Size: Medium 170mm overall Finish: Aged Brass  Item: Skirting Size: 80 x 1.6 mm Finish: Powder coat colour to match acoustic	www.manovelladesign .com  Manvoella www.manovelladesign	
H1		Kitchenette	Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass  Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio Size: Medium 170mm overall Finish: Aged Brass  Item: Skirting Size: 80 x 1.6 mm	www.manovelladesign .com  Manvoella www.manovelladesign	
H1		Kitchenette	Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass  Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio Size: Medium 170mm overall Finish: Aged Brass  Item: Skirting Size: 80 x 1.6 mm Finish: Powder coat colour to match acoustic	www.manovelladesign .com  Manvoella www.manovelladesign	
H1		Kitchenette	Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass  Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio Size: Medium 170mm overall Finish: Aged Brass  Item: Skirting Size: 80 x 1.6 mm Finish: Powder coat colour to match acoustic panels.	www.manovelladesign .com  Manvoella  www.manovelladesign .com	
H1		Kitchenette Skirting	Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass  Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio Size: Medium 170mm overall Finish: Aged Brass  Item: Skirting Size: 80 x 1.6 mm Finish: Powder coat colour to match acoustic panels.  Item: Skirting (Interim SK51)	www.manovelladesign .com  Manvoella www.manovelladesign .com  Interim	
H1		Kitchenette	Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass  Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio Size: Medium 170mm overall Finish: Aged Brass  Item: Skirting Size: 80 x 1.6 mm Finish: Powder coat colour to match acoustic panels.  Item: Skirting (Interim SK51) Size: 90 x 18 mm	www.manovelladesign .com  Manvoella  www.manovelladesign .com	
H1		Kitchenette Skirting	Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass  Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio Size: Medium 170mm overall Finish: Aged Brass  Item: Skirting Size: 80 x 1.6 mm Finish: Powder coat colour to match acoustic panels.  Item: Skirting (Interim SK51)	www.manovelladesign .com  Manvoella www.manovelladesign .com  Interim https://intrimmoulding	
H1		Kitchenette Skirting	Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass  Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio Size: Medium 170mm overall Finish: Aged Brass  Item: Skirting Size: 80 x 1.6 mm Finish: Powder coat colour to match acoustic panels.  Item: Skirting (Interim SK51) Size: 90 x 18 mm Finish: Natural White P1	www.manovelladesign .com  Manvoella www.manovelladesign .com  Interim https://intrimmoulding	
H1		Kitchenette Skirting	Product: Aged Brass Round Profile Cabinet Knob - Olivia Size: 33mm Finish: Aged Brass  Item: Joinery Pull Product: Aged Brass Straight Profile Cabinet Pull - Clio Size: Medium 170mm overall Finish: Aged Brass  Item: Skirting Size: 80 x 1.6 mm Finish: Powder coat colour to match acoustic panels.  Item: Skirting (Interim SK51) Size: 90 x 18 mm Finish: Natural White P1	www.manovelladesign .com  Manvoella www.manovelladesign .com  Interim https://intrimmoulding	



Code	Image	Location	Item Description		Suggested Supplier	Comments	
	Product Type/Sub Cat	tegory		Max TVOC Content (g/L of ready to use product)			
•	Walls and Ceilings - Into	erior Gloss		75			
•	Walls and Ceilings - Into	erior Semi Gloss		16			
•	Walls and Ceilings - Inte	erior Low Sheen		16			
•	Walls and Ceilings – Interior Flat Washable						
•	Ceilings – Interior Flat						
•	Trim Gloss, Semi Gloss, Satin, Varnish and Wood Stains						
•	Timber and binding primers			60			
•	Interior Sealer						
•	One and Two Pack Performance Coatings     200						
*TBC VO	C LIMITS. MA TO ENSU	IRE VOC CONTEN	IT ALLIGNS WITH DEAKIN D	ESIGN STANDARDS	6		