

Melbourne International Flower and Garden Show, Royal Exhibition Building and Carlton Gardens (south)

Heritage Impact Statement (Final)

Prepared for International Management Group

11 December 2023



Acknowledgement of Country

We respect and acknowledge the Wurundjeri Woi Wurrung Cultural Heritage Aboriginal Corporation, their lands and waterways, their rich cultural heritage and their deep connection to Country, and we acknowledge their Elders past and present. We are committed to truth-telling and to engaging with Wurundjeri Woi Wurrung Cultural Heritage Aboriginal Corporation to support the protection of their culture and heritage. We strongly advocate social and cultural justice and support the Uluru Statement from the Heart.

Report register

The following report register documents the development of this report, in accordance with GML’s Quality Management System.

Job no.	Issue no.	Notes/description	Issue date
3406	1	Draft Report	3 December 2023
3406	2	Draft Report	4 December 2023
3406	3	Final Report	6 December 2023
3406	4	Revised Final Report	11 December 2023

Quality management

The report has been reviewed and approved for issue in accordance with the GML quality management policy and procedures.

It aligns with best-practice heritage conservation and management, *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance, 2013* and heritage and environmental legislation and guidelines relevant to the subject place.

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1 Introduction

1.1 Purpose of this report

This Heritage Impact Statement (HIS) has been prepared to accompany a four-year permit application for the Melbourne International Flower and Garden Show (MIFGS) at the Royal Exhibition Building and Carlton Gardens (a World Heritage Place), commencing in 2024. GML Heritage was commissioned by IMG (International Management Group) to prepare the HIS.

1.2 Background

Heritage Impact Statement for:

Royal Exhibition Building and Carlton Gardens (World Heritage Place). The Royal Exhibition Building and Carlton Gardens are also included on the National Heritage List and the Victorian Heritage Register.

Victorian Heritage Register Number:

VHR H1501

The Royal Exhibition Buildings and Carlton Gardens are of historical, architectural, aesthetic, social and scientific (botanical) significance to the State of Victoria.

This Heritage Impact Statement forms part of a permit application for:

The 2024 to 2027 presentations of the Melbourne International Flower and Garden Show in Carlton Gardens South and the Royal Exhibition Building (REB) (a World Heritage Place), Nicholson Street, Carlton.

Previous applications were for a single year period. There was an intention in 2023 to apply for a multi-year permit, however this did not eventuate and a single year permit was sought and granted.

This HIS addresses the application for a four-year (2024, 2025, 2026 and 2027) permit. Draft programs indicating the proposed milestone dates have been provided in Sections 3.2 and 4.1 of this report.

Pre-application meeting number:

P38511

A pre-application meeting was held with IMG representatives and a Heritage Officer (Permits), from Heritage Victoria, and written advice was provided by Heritage Victoria

on 3 August 2023, in relation to a future four-year MIFGS permit application, this advice is summarised below:

- High level documentation submitted for the permit application would need to be supplemented with approximate timelines outlining dates as follows:
 - for future event seasons including bump in, event program and bump-out,
 - for timely submissions of documentation to satisfy yearly pre-commencement conditions,
 - for submission of documentation to satisfy post event conditions including landscape remediation works.
- The length of time the gardens are proposed to be closed to the public should be carefully explored, minimised and justified;
- Outline how previous recommendations for the improved protection of the landscape and the interior of the REB have been incorporated and implemented, for example improved ground protection measures;
- Detailed documentation submitted prior to each event would be a condition of the permit, including the submission of Tree Protection Plan, a Heritage Protection Plan, a Pre-Event Condition Report and a Final Event Layout Plan;
- Post event site inspections to monitor conditions would be likely to be a requirement.

A further online meeting was held between GML Heritage, Heritage Victoria and IMG on 12 September 2023.

Address and location description:

Nicholson Street, Carlton, and Victoria Street, Rathdowne Street and Carlton Street, Carlton, City of Melbourne.

The HIS is for the area of the Carlton Gardens south of the Royal Exhibition Building and the Royal Exhibition Building (see Figure 1.1 below).

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6 December 2023

2024–2027 Melbourne International Flower and Garden Show—Heritage Impact Statement, Final, December 2023

1.3 Study area

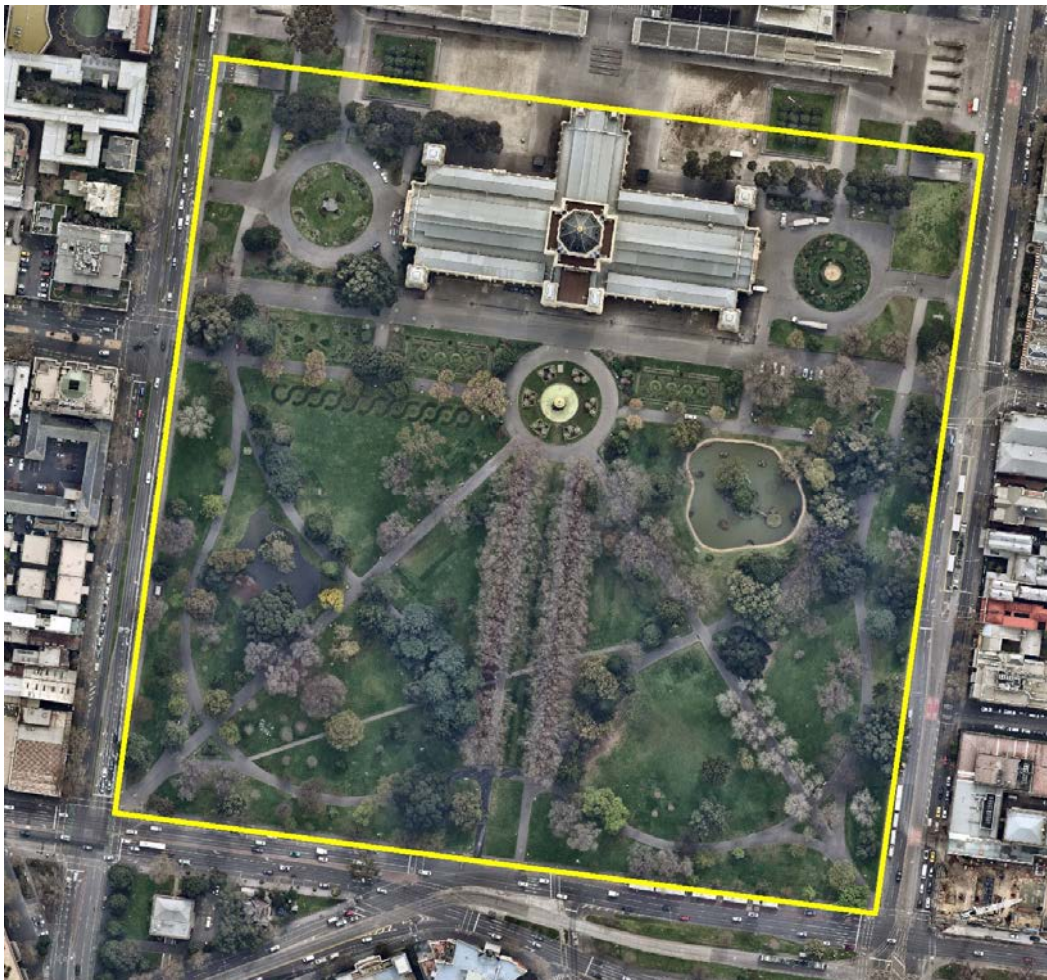


Figure 1.1 The study areas considered in the HIS are the Royal Exhibition Building, east and west forecourts, and Carlton Gardens South. (Source: Nearmap September 2023, with GML overlay)

1.4 Methodology

This report analyses potential impacts of the proposal on the cultural heritage significance of the place. The report follows the *Heritage Victoria Guidelines for preparing heritage impact statements* (June 2021) and the template included in the same document for heritage impact statements. It has regard for the 'Principles for considering change to places in the Victorian Heritage Register' document by Heritage Victoria (December 2022).

1.4.1 Documents relied on

Legislation, policy framework and recommendations

Documents relied on in the preparation of the HIS include:

- Victorian *Heritage Act 2017*;
- *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013*;
- Standards Australia, AS 4970-2009 Protection of Trees on Development Sites;
- Relevant sections of the updated World Heritage Management Plan for the Royal Exhibition Building and Carlton Gardens:
 - Carlton Gardens Master Plan, prepared by the City of Melbourne, 2022;
 - Royal Exhibition Building and Carlton Gardens Heritage Management Plan, prepared by Lovell Chen, August 2022, including:
 - o Volume 1, Royal Exhibition Building and Carlton Gardens Heritage Management Plan;
 - o Volume 2, Appendix A (Citations) and Appendix B (History, Historic Plans and Drawings, Historical Images and Site Development Plans); and
 - o Volume 3, Appendix C (Physical Survey), Appendix D (Heritage Values) and Appendix E (EPBC Act Regulations).
- Heritage Protection Plan Guidelines, prepared by Heritage Victoria, made and published under s19(1)(f) of the *Heritage Act 2017*, 12 May 2022; and
- Heritage Victoria Policy on Reasonable or Economic Use, made and published under s19(1) of the *Heritage Act 2017*, June 2021.

In accordance with the 'Australian World Heritage Management Principles' (EPBC Regulations Schedule 5, Section 2.01(d)) the HIS considers:

(d) 'Actions that can potentially or directly "degrade, or threaten to degrade" the World Heritage values of the place are identified in this report, with guidance provided on how to avoid or ameliorate such actions.' (CMP policy, page 163)

In accordance with the 'Australian World Heritage Management Principles' (EPBC Regulations Schedule 5, Section 2.01(g)) the HIS has also taken into account the need to

(g) provide for continuing monitoring and reporting on the state of the World Heritage values of the property; and (see Section 6.10 of CMP)

In accordance with Schedule 1, Section 2B.01, the HIS also takes risk into consideration. Specifically, the assessment and recommendations are responsive to risks to World and National Heritage values.

Documentation for MIFGS 2024-2027

The assessment of impacts has also considered the suite of documentation prepared for or commissioned by IMG, which includes guidelines, rules and regulations and expectations for all personnel involved in the MIFGS. It is understood that the suite of documents will be updated prior to each year’s event season.

At the time of drafting this report, the 2024 TPP (Tree Protection Plan) for City of Melbourne, and the 2024 Show Map had not yet been issued.

The documents provided by IMG define areas of use, the type of use proposed in each area, typical examples of what might be installed, and preparations and planning for the event (see Table 1.1.). The following documents were reviewed to understand the proposal:

Table 1.1 2024 MIFGS event documents supplied by IMG.

Document no.	File name (document name)	Event version
	MIFGS 2024 TREE DATA dxf (2024 tree data)	2024
	MIFGS Operations Map 1 December 2023	2024
	Arb Report 013215 – MIFGS 2024 Pre-Event HV (Treelogic, 1 December 2023) <i>(Arboricultural Assessment and report: Carlton Gardens – Melbourne International Flower and Garden Show 2024 (MIFGS) Heritage Victoria – Pre-Event Report)</i>	2024
	Arb Report 012609 – MIFGS 2023 Post-Event HV (Treelogic, 18 May 2023) <i>(Arboricultural Assessment and Report - Carlton Gardens – Melbourne International Flower and Garden Show 2023 Heritage Victoria – post-event report)</i>	2024
	Arb Report 013215 – MIFGS 2024 TPMP, (Treelogic, 1 December 2023) <i>(Tree protection management plan (TPMP) - Carlton Gardens – Melbourne International Flower and Garden Show (MIFGS) 2024)</i>	2024
	2024 Garden Protection Method Statement	2024
	2024 Draft Vendor list catering	2024
	2024 Ground Protection Excerpts from Exhibitor Manual.doc	2024
	2023 MIFGS – Show Garden Designer’s Guide FINAL.pdf	2023
	DRAFT 2024 Turf Reinstatement Process	2024 draft
	DRAFT Irrigation Plan 2024.doc	2024 draft

Irrigation Map 2024.pptx	2024
2024 MIFGS Event Plan V1.pdf	2024
DRAFT JS - 2023 MIFGS - Outdoor Retail Exhibitor Manual.pdf	2023
MIFGS Indoor – Floorplan Gallery Level - 2024	2024
MIFGS Indoor – Floorplan Ground Level - 2024	2024
2023 MIFGS – Floral Design Exhibitor Manual.pdf	2023
UPDATED DRAFT – 2023 MIFGS – Indoor Retail Exhibitor Manual.pdf	2023
2024 MIFGS Production Schedule V3.pdf	2024
2024 MIFGS Traffic Management Plan V3.pdf	2024
2024 MIFGS Emergency Management Plan (EMP) V1.doc	2024
2024 MIFGS Risk Management Plan (RMP) V3.doc	2024
2024 MIFGS Sound Plan V1.pdf	2024
2024 MIFGS First Aid Plan V1.pdf	2024
2024 MIFGS Signage Plan V1.pdf	2024
2024 MIFGS Power Plan and Lighting V3.pdf	2024
2023 MIFGS Event Contact List V1.pdf	2023
2023 Cleaning and Waste Plan V1.pdf	2023
Fence line Plan V1.pdf	2024
REB Venue Maps <ul style="list-style-type: none"> • Draw 13 ground Floor Dimensions.pdf • Draw 14 Gallery Dimensions.pdf • Floor Loading Colour – Arup additions 2013.pdf • Grd Flr kPa ratings.pdf • Gallery Flr kPa ratings.pdf 	2024
2024 Vehicle Management Plan V1.pdf	2024
DRAFT JS - MIFGS Contractor Induction 2024.docx	2024 draft
DRAFT JS - MIFGS Exhibitor Induction 2024.docx	2024 draft
Prescribed Structure Documents: <ul style="list-style-type: none"> • A34 Garden Express – 20m/15m.pdf • B45 Scotts – 6m x 12m + 6m x 18m.pdf 	2023

1.5 Constraints

Owing to the nature of the MIFGS event, for which exhibitors and landscape designers are only finalised close to the scheduled time of the event, much of the detailed information usually considered in an HIS remains provisional. This includes the number of exhibitors, the precise space requirements of each, style of exhibition at each indicative location and final layout for the show.

Indicative information about different packaged options for retail spaces (sqm and custom), locations of retail spaces, feature sites, market and exhibition areas, anticipated locations for ticketing and entry points, visitor amenities, food and beverage, and entertainment stages has been considered in the preparation of the HIS. Photographs of typical structures (marquees, for example) from previous MIFGS events have also been considered in the preparation of the HIS.

Some documents were still in draft stage at the time of finalising this HIS. There are generally updated versions of planning documentation prepared for the previous year's event. IMG understands that they will be required to submit final versions to Heritage Victoria each year before the issuing of approvals.

2 Significance and existing conditions

2.1 The cultural heritage significance of the place

2.1.1 World heritage values

The Royal Exhibition Buildings and Carlton Gardens were inscribed on the UNESCO World Heritage List on 1 July 2004. The site was inscribed under criterion (ii) of the Operational Guidelines for the UNESCO World Heritage Convention (1972) as follows:

The Royal Exhibition Building and the surrounding Carlton Gardens, as the main extant survivors of a Palace of Industry and its setting, together reflect the global influence of the international exhibition movement of the 19th and early 20th centuries. The movement showcased technological innovation and change, which helped promote a rapid increase in industrialisation and international trade through the exchange of knowledge and ideas.¹

Criterion (ii) of the Operational Guidelines for the UNESCO World Heritage Convention (1972) is:

to exhibit an important interchange of human values, over a span of time or within a cultural area of the world, on developments in architecture or technology, monumental arts, town-planning or landscape design.²

¹ VHD report for Royal Exhibition Building and Carlton Gardens (World Heritage Place): <https://vhd.heritagecouncil.vic.gov.au/places/228/download-report>

² UNESCO 2019. Operational Guidelines for the Implementation of the World Heritage Convention, United Nations Scientific and Cultural Organisation, UNESCO World Heritage Centre, Paris, 10 July 2019.

2.1.2 National heritage values

The Royal Exhibition Building and Carlton Gardens meets the following National Heritage List criteria:

- A. the place has outstanding heritage value to the nation because of the place's importance in the course, or pattern, of Australia's natural or cultural history
- B. the place has outstanding heritage value to the nation because of the places' possession of uncommon, rare or endangered aspects of Australia's natural or cultural history
- D. the place has outstanding heritage value to the nation because of the place's importance in demonstrating the particular characteristics of:
 - i. a class of Australia's natural or cultural places
 - ii. a class of Australia's natural or cultural environments
- E. the place has outstanding value to the nation because of the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group
- F. the place has outstanding heritage value to the nation because of the place's importance in demonstrating a high degree of creative or technical achievement at a particular period.

Summary statement of significance

The Royal Exhibition Building and Carlton Gardens, the venue for the grand opening of the first Australian Parliament in 1901, has outstanding national historic value for its role in the defining event of Federation. It is the place where the nation's first Parliament was commissioned and sworn in, on 9 May 1901 (Criterion a).

The Royal Exhibition Building and Carlton Gardens is a tangible symbol of the country's pride in its technological and cultural achievements in the latter part of the nineteenth century. The Royal Exhibition Building and its garden setting has outstanding historic value as the most significant extant nineteenth century exhibition building in Australia (Criterion a).

The Royal Exhibition Building in its purpose-designed gardens with associated ornamental features has outstanding historic value as the major extant nineteenth century international exhibition building and gardens complex in Australia (Criterion b).

The Royal Exhibition Building in its garden setting is a rare surviving example of an Australian response to the international exhibition movement (Criterion b).

The Royal Exhibition Building is one of the few major nineteenth century exhibition Great Halls to survive substantially intact worldwide, and the only one where the original

purpose of the building, as an exhibition hall, is maintained. It represents a rare example of the nineteenth century international exhibition movement's belief in the benefits of industrialisation, the transmission of ideas and social progress, and the development of an extensive international economy (Criterion b).

The Royal Exhibition Building and its garden setting forms one of the major surviving nineteenth century exhibition precincts in the world (Criterion b).

The Carlton Gardens is a significant example of nineteenth century classicism in an Australian public garden, featuring earlier nineteenth century 'Gardenesque' style elements and later more classical features. These more classical features are seen in the south garden. These classical elements include the main north-south tree-lined avenue (Grande Allee), the east-west terrace, the Hochgurtel fountain with surrounding circular garden bed, the eastern forecourt with surrounding circular garden bed and the French fountain, the radial pattern of tree-lined linear pathways converging on the Hochgurtel fountain (patte d'oie), the formal garden beds (parterres), the incorporation of axial views and vistas and the planting of trees in groups or clumps (bosquets). The ponds, the diagonal tree-lined pathways in the north garden and the mature nineteenth century specimen trees, some of which are rare, also contribute to the garden's values (Criterion b).

The Royal Exhibition Building together with its garden setting, the Carlton Gardens, demonstrates an outstanding achievement in design. They are representative of the international exhibition movement style, based on a Beaux-Arts axial scheme with the building as a palace, primarily in the German Rundbogenstil and Italian Renaissance style for which its designer Joseph Reed, won the competition for the building design. The soaring dome, based on the Florence Cathedral dome designed by Brunelleschi, is a landmark on the Melbourne skyline. The gardens to the south of the building were also designed to create a palatial garden setting (Criterion f).

Gardenesque and formal classical garden elements have been used in the design of the Carlton Gardens to create a setting for the Royal Exhibition Building. The main garden elements creating the setting for the Royal Exhibition Building during the 1880 and 1888 exhibitions are in the south garden. These elements include the main north-south tree-lined avenue (Grande Allee), the east-west terrace, the Hochgurtel fountain with surrounding circular garden bed, the eastern forecourt with surrounding circular garden bed and the French fountain, the radial pattern of tree-lined linear pathways converging on the Hochgurtel fountain (patte d'oie), the formal garden beds (parterres), the incorporation of axial views and vistas, the planting of trees in groups or clumps (bosquets), the ornamental ponds and the mature specimen trees surviving from Bateman's plan and the later trees planted by Sangster in c 1879-1880. These Gardenesque and classical elements are integral to the original 1880 design for the setting of the building and are a major feature of the place's outstanding national values (Criterion f).

The Carlton Gardens, both north and south gardens together, are a notable creative achievement demonstrating a classically modified Gardenesque design and a landscape character with plantings of pines, cedar, araucaria, cypress, gums, figs, pepper trees, elms, planes, oaks, poplars, Canary Island date palms and Washington palms that display contrasting colours and forms which enhances the Carlton Gardens, the Royal Exhibition Building and the adjacent urban area (Criterion f).

The Exhibition Building is an outstanding example demonstrating the principal characteristics of the Victorian Free Classical architectural style to express the form and ideas of the international exhibition movement. As one of the largest and finest nineteenth century buildings in Australia at the time, it represented a temple to industry rather than a palace (Criterion d).

The original Carlton Gardens were developed to create a public park for passive recreation. Later, more classical garden modifications were made forming the setting for the Royal Exhibition Building. The main garden elements include the main north-south tree-lined avenue (Grande Allee), the east-west terrace, the Hochgurtel fountain with surrounding circular garden bed, the eastern forecourt with surrounding circular garden bed and the French fountain, the radial pattern of tree-lined linear pathways converging on the Hochgurtel fountain (patte d'oie), the formal garden beds (parterres), the incorporation of axial views and vistas and the planting of trees in groups or clumps (bosquets). The ornamental ponds, the diagonal tree-lined paths of the north garden and the mature specimen trees surviving from Bateman's plan, the later trees planted by Sangster as part of the north garden restoration are also important garden design features. All of these features are integral design elements of this unique nineteenth century style of public garden (Criterion d).

The Royal Exhibition Building and its garden setting retain continuity of public use and its original purpose of exhibitions and displays has been maintained (Criterion d).

The Carlton Gardens are of outstanding aesthetic significance for their nineteenth century classically modified 'Gardenesque' style (Criterion e).

The Royal Exhibition Building as an architectural/landscape ensemble continues to inspire Melbourne and Victorian communities (Criterion e).

2.1.3 State heritage significance

The Statement of Significance to the state of Victoria is:

What is significant?

The Royal Exhibition Building was constructed in 1879-1880 to house the International Exhibition of 1880. It is the only major extant nineteenth century exhibition building in Australia and one of only a handful remaining world wide. It is set within the Carlton Gardens, one of Melbourne's finest public parks. The design by noted architect Joseph Reed was awarded first prize of £300 in an architectural competition. The successful

tenderer was David Mitchell at a price of £70,257. Governor Sir George Bowen laid the foundation stone on 19 February 1879 and the main building was ready for the opening of the International Exhibition on 1 October 1880. Temporary annexes to house some of the exhibition were demolished after the exhibition closed on 30 April 1881. The subsequent 1888 Centennial International Exhibition was one of the largest events staged in Victoria's history. By the turn of the twentieth century the buildings and environs had become a combination of concert hall, museum, art gallery, aquarium and sports ground. The Royal Exhibition Building played an important role in Federation. On the 9 May 1901 the Duke of York presided over the opening of the first Federal Parliament, and from 1901 to 1927 the western annexe was used as a temporary State Parliament while the new Federal Parliament occupied the Victorian Houses of Parliament. In 1919 the buildings became an emergency hospital for influenza epidemic victims and during the Second World War were used mainly by the RAAF. From 1948 to 1961 part of the complex was used as a migrant reception centre. The Royal Exhibition Building was still widely used in the post-war era for popular exhibitions such as the Home Show. The building is cruciform in plan with the nave known as the Great Hall on the main east-west axis. The main dome is 60 metres high and sits over the crossing of the nave and transepts. The southern transept, which contains a 13 metre wide semi-circular fanlight and is flanked by two towers, forms the main entrance. The decorative scheme by John Anderson for the opening of Federal Parliament saw the dome was decorated in imitation of the sky and the pendentives adorned with murals. An unusual and interesting aspect was the decorated exposed roof trusses throughout the building. The decorative scheme, hidden under layers of paint, was recovered and restored in a major renovation in the 1990s. In 2001 the Royal Exhibition Building hosted centenary celebrations of the opening of the first Federal Parliament. On 1 July 2004 the Royal Exhibition Building was inscribed on the World Heritage List.

Superintendent Charles La Trobe first planned the 26 hectare site of the Carlton Gardens in 1839 as part of the green belt encircling Melbourne which included Batman Hill, Flagstaff Gardens, Fitzroy Gardens, Treasury Gardens and the Domain. The original layout of the gardens was by Edward La Trobe Bateman and dates to 1856. Further redesign and planting took place under the direction of the State's leading landscape designers and horticulturists, including Clement Hodgkinson, William Sangster, Nicholas Bickford, John Guilfoyle and architect Joseph Reed. Reed and Sangster, who was also a nurseryman, worked in conjunction to ensure a suitable setting for the building, planning gardens, paths, entrances and other features. As well as the Royal Exhibition Building and the 1891 Curator's Lodge, first lived in by John Guilfoyle, the gardens contain three important fountains: the Hochgurtel fountain, designed for the 1880 Exhibition by Joseph Hochgurtel; the French Fountain; and the Westgarth Drinking Fountain. The original perimeter fence was removed in about 1928 leaving only a small remnant and all of the bluestone plinth. The Melbourne Museum, designed by architects Denton Corker Marshall and constructed in the gardens immediately to the north of the Royal Exhibition Building, opened in 2000.

How is it significant?

The Royal Exhibition Buildings and Carlton Gardens are of historical, architectural, aesthetic, social and scientific (botanical) significance to the State of Victoria.

Why is it significant?

The Royal Exhibition Building is historically significant as the only major extant nineteenth century exhibition building in Australia. It is one of the few major nineteenth century exhibition buildings to survive worldwide. Together with the associated landscaped gardens, the building forms one of the major surviving nineteenth century exhibition precincts in the world. The building demonstrates the wealth and confidence of the colony of Victoria in the late 1870s. It has been the stage for highly significant and historic national events, including the Melbourne Exhibition of 1880, the Centennial Exhibition of 1888, the opening of the Federal Parliament in 1901 and as the venue for the Victorian State Parliament from 1901 until 1927. The decorative scheme by John Anderson for the opening of Parliament in 1901 is of historical and aesthetic significance and is among the finest public art works in Victoria.

The Royal Exhibition Building is architecturally significant as one of the finest and largest nineteenth century buildings in Australia. The stylistic choice of Renaissance motifs and the modelling of the dome on that of Brunelleschi's Florence Cathedral is emblematic of the sense of confidence of the young colony of Victoria in 1880. The Royal Exhibition Building is architecturally significant as the largest design carried out by renowned Melbourne architectural firm Reed and Barnes, who were responsible for many of Melbourne's most prestigious public buildings, including the Melbourne Town Hall and the State Library.

The Carlton Gardens, the setting for the Royal Exhibition Building, are aesthetically significant for their nineteenth century 'Gardenesque' style featuring specimen trees, parterre garden beds, in a symmetrical design with the use of axial views and foci. The landscape features outstanding tree avenues, rows and specimen trees on the lawns, a curator's lodge, two lakes with islands, shrubberies and elaborate annual bedding displays along the southern promenade. The nineteenth century path layout is enhanced by magnificent avenues of trees, including the grand avenue of 26 Plane trees which frames the Exhibition Building dome, Elms, Cedar, White Poplar, English Oak and an uncommon avenue of 35 Turkey Oaks. Carlton Gardens is notable for the creative achievement demonstrating skilful garden design, and a landscape character which features plantings of Pines, Cedar, Araucaria, Cypress, Gums, Figs, Pepper trees, Elms, Planes, Oaks, Poplars, Canary Island Date palms and Washington palms, that display contrasting colours and forms which enhances the Gardens, Royal Exhibition Building and the local urban area. Josef Hochgurtel's Exhibition Fountain of 1880 is the only known work of the artist in Australia and is historically significant as an expression of civic pride in Victoria's emerging international importance. Hochgurtel's fountain is the largest and most elaborate fountain in Australia, incorporating frolicking putti, fish-tailed Atlantes, goannas, platypus and ferns. The fountain and the 'Grand Allee' lined with Plane trees is integral to the setting of the Royal Exhibition Building.

The Carlton Gardens are of scientific (botanical) significance for their outstanding collection of plants, including conifers, palms, evergreen and deciduous trees, many of which have grown to an outstanding size and form. The elm avenues of *Ulmus procera* and *U. x hollandica* are significant as few examples remain world wide due to Dutch elm disease. The Garden contains a rare specimen of *Acmena ingens* (only five other specimens are known), an uncommon *Harpephyllum caffrum* and the largest recorded in Victoria [Removed Sept 2010], *Taxodium distichum*, and outstanding specimens of *Chamaecyparis funebris* and *Ficus macrophylla*, south-west of the Royal Exhibition Building.

The Royal Exhibition Building and the Carlton Gardens are of social significance for their continuing involvement in the lives of Victorians. The buildings have hosted countless major exhibitions as well as other community uses such as an influenza hospital, wartime military use, migrant reception centre and a venue for several events during the 1956 Olympic Games. The gardens have been enjoyed by visitors for passive recreation, entertainment and social interaction and have been the venue for the successful International Flower and Garden Show.

2.1.4 How is significance embodied in the place?

Significance is embodied in the Carlton Gardens as the setting for the Royal Exhibition Building. Significance is embodied in the continuity of public use of the place and the association with the continued original purpose of the Exhibition Reserve for exhibitions and displays.

For Carlton Gardens South, the significance is embodied in the physical fabric of the Gardens, including its layout, paths (layout not materials), the avenues, groups and rows of trees, the individual specimen trees, and the lawns. Significance is embodied in the physical fabric of the two lakes, garden beds and restored parterres along the southern promenade. Individual trees are of scientific significance. Because of the significance of the individual trees and lawns, the ground conditions and soil volumes that support their growth are important to significance.

All of these features are integral design elements of this unique nineteenth century style of public garden.

Significance is embodied in the axial views and foci at the termination of axial views. Key foci are the Royal Exhibition Building generally, the dome of the Royal Exhibition Building, and Josef Hochgurtel's Exhibition Fountain of 1880.

Significance is embodied in the use of Carlton Gardens South for passive recreation, entertainment and social interaction. Significance of the place as a whole is embodied in its use for major exhibitions and other community uses.

Significance of the place is embodied in the views of the Royal Exhibition Building and the Carlton Gardens from the surrounding environs.

The Royal Exhibition Building and its garden setting have been in continuous use as a public and exhibition space for the exchange of knowledge and ideas, and its significance is embodied in that continuity of use.

The Royal Exhibition Building was constructed as part of the late 19th Century exhibition movement, with other examples including the Crystal Palace in London and Eiffel Tower in Paris. As the only major building of its type in Australia, and one of a handful remaining worldwide, the significance of the building is embodied in its rarity.

Significance is also embodied in the building's grand design, which was intended to reflect the prosperity, status and position of Victoria on the world stage. The design reflects both the Crystal Palace and ecclesiastical architecture of the time, with a cruciform floor plan and elements including naves, aisles, transepts, a dome, giant entry portals and clerestory lighting. All of these features are integral design elements of this unique nineteenth century style of building design, and hold significance.

Significance is embodied in the authenticity of the original garden setting for the building. The forecourts are significant for their role in integrating the building into the garden setting. Their open character plays an important role in the building's setting, contributing to the ability to appreciate the grandness of the building and its giant entry portals.

Within the Royal Exhibition Building Reserve, the eastern forecourt, including the circular garden, French fountain, Westgarth fountain, is significant. The east forecourt layout survives as an important part of the classically modified Gardenesque garden plan, designed to create a setting for the REB during the 1880 and 1888 exhibitions.

Significance is embodied in the physical fabric of the building. Significant interior fabric includes the timber floor (noting the timbers have been replaced) and stairs, windows, walls, timber partitioning and interior decorative scheme. Designed by John Anderson for the opening of Federal parliament in 1901 and restored in the 1990s (including the stencilling), the decorative scheme includes figure paintings on the four central piers of the Grand Hall and an imitation of the sky on the interior of the dome. The figure paintings and dome are key foci of the interior of the REB, and views toward these elements are significant.

Significance of the place is also embodied in the views of the fan shaped sunlights which are located at the termination of each nave.

The REB and Carlton Gardens are of social significance for their continuing involvement in the lives of Victoria's communities.

2.2 Existing conditions of the place

2.2.1 Carlton Gardens South

Carlton Gardens South was inspected on Tuesday 10 October 2023 to understand the existing conditions of the place. For analysis of existing conditions against the Arboricultural assessment report (post-event report prepared by Treelogic, 11 May 2022) and previous HIS prepared by GML Heritage (10 January 2023), site photographs were taken from the same locations (see Figure 2.1) and in the same panoramic format. They are presented below in the same order.

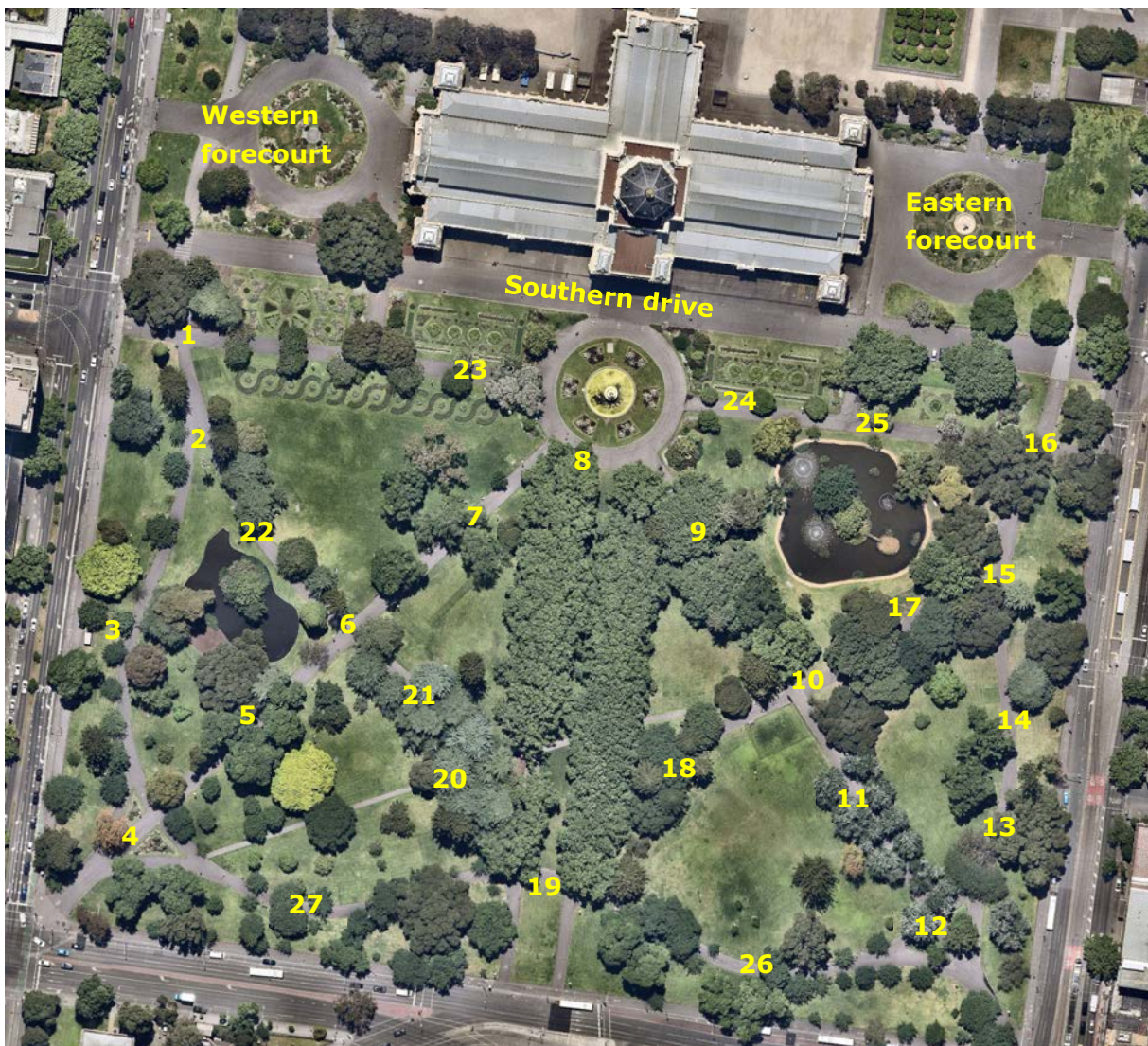


Figure 2.1 Carlton Gardens South, existing conditions photograph locations. (Source: Nearmap November 2023 with GML overlay)

Site photographs



Figure 2.2 Location 1, east-south-west.



Figure 2.3 Location 1, west-north-east.



Figure 2.4 Location 2, east-south-west.



Figure 2.5 Location 2, west-north-east.



Figure 2.6 Location 3, east-south-west.



Figure 2.7 Location 3, west-north-east.



Figure 2.8 Location 4, east-south-west.



Figure 2.9 Location 4, west-north-east.



Figure 2.10 Location 5, east-south-west.



Figure 2.11 Location 5, west-north-east.



Figure 2.12 Location 6, east-south-west.



Figure 2.13 Location 6, west-north-east.



Figure 2.14 Location 7, east-south-west.



Figure 2.15 Location 7, west-north-east.



Figure 2.16 Location 8, east-south-west.

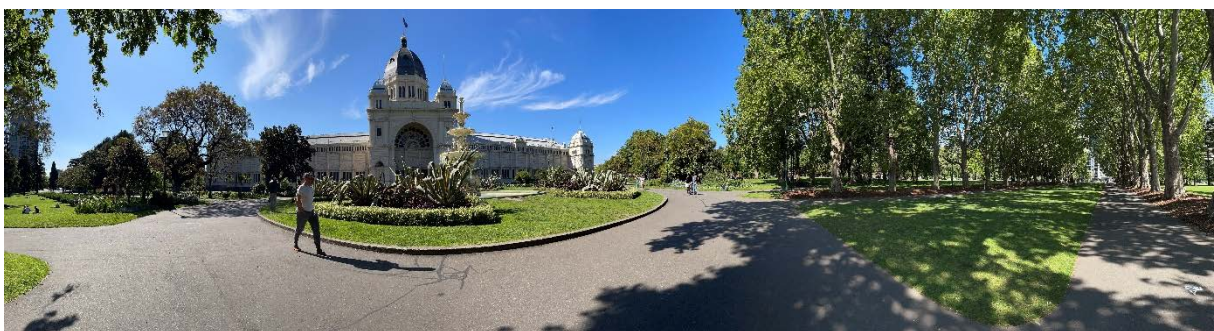


Figure 2.17 Location 8, west-north-east.



Figure 2.18 Location 9, east-south-west.



Figure 2.19 Location 9, west-north-east.



Figure 2.20 Location 10, east-south-west.



Figure 2.21 Location 10, west-north-east.



Figure 2.22 Location 11, east-south-west.



Figure 2.23 Location 11, west-north-east.



Figure 2.24 Location 12, east-south-west.



Figure 2.25 Location 12, west-north-east.



Figure 2.26 Location 13, east-south-west.



Figure 2.27 Location 13, west-north-east.



Figure 2.28 Location 14, east-south-west.



Figure 2.29 Location 14, west-north-east.



Figure 2.30 Location 15, east-south-west.



Figure 2.31 Location 15, west-north-east.



Figure 2.32 Location 16, east-south-west.



Figure 2.33 Location 16, west-north-east.



Figure 2.34 Location 17, east-south-west.



Figure 2.35 Location 17, west-north-east.



Figure 2.36 Location 18, east-south-west.



Figure 2.37 Location 18, west-north-east.



Figure 2.38 Location 19, east-south-west.



Figure 2.39 Location 19, west-north-east.



Figure 2.40 Location 20, east-south-west.



Figure 2.41 Location 20, west-north-east.



Figure 2.42 Location 21, east-south-west.



Figure 2.43 Location 21, west-north-east.



Figure 2.44 Location 22, east-south-west.



Figure 2.45 Location 22, west-north-east.



Figure 2.46 Location 23, east-south-west.



Figure 2.47 Location 23, west-north-east.



Figure 2.48 Location 24, east-south-west.



Figure 2.49 Location 24, west-north-east.



Figure 2.50 Location 25, east-south-west.

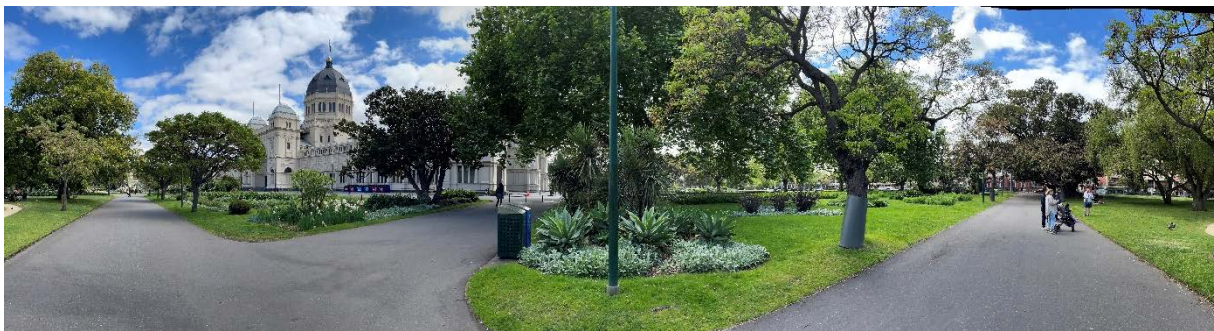


Figure 2.51 Location 25, west-north-east.



Figure 2.52 Location 26, east-south-west.



Figure 2.53 Location 26, west-north-east.



Figure 2.54 Location 27, east-south-west.



Figure 2.55 Location 27, west-north-east.



Figure 2.56 Southern drive.



Figure 2.57 Southern drive.



Figure 2.58 Western forecourt, proposed for accessible parking.



Figure 2.59 Western forecourt (looking east).



Figure 2.60 Western forecourt (north side).



Figure 2.61 Western forecourt, entry off Rathdowne Street (looking west).



Figure 2.62 Eastern forecourt.



Figure 2.63 Eastern forecourt, proposed for VIP parking.



Figure 2.64 Eastern forecourt, lamp and drive area detail.



Figure 2.65 Southern drive (east/Nicholson Street end).

Observations and issues



Figure 2.66 Eastern forecourt, proposed for VIP parking. Junctions of edging are vulnerable to damage at ends and corners.



Figure 2.67 Eastern forecourt, proposed for VIP parking. Retaining walls are vulnerable to damage at ends and corners.



Figure 2.68 Vehicles parked in TPZ/SRZ (Plane Tree 320 in arborist report), 15 November 2023.



Figure 2.69 Vehicles parked in TPZ/SRZ (Plane Tree 320 in arborist report), 15 November 2023.



Figure 2.70 Vehicles parked in TPZ/SRZ of Plane Tree (Tree 319 in arborist report), 15 November 2023.



Figure 2.71 Concrete edging to carriage loop at east forecourt shows damage at joints, exposed reinforcing.



Figure 2.72 Wear and tear of lawns at pathway edges.



Figure 2.73 Patching visible in lawns.



Figure 2.74 Exposed roots and ground beneath trees.

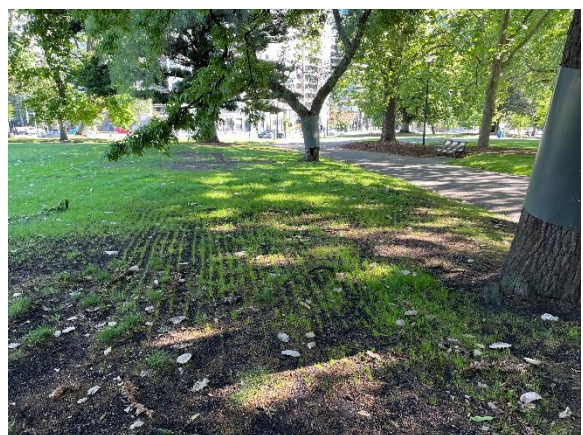


Figure 2.75 Turf re-seeding under trees.



Figure 2.76 Series of six images with examples of patchwork effect in lawns from repaired sections.

2.2.2 Royal Exhibition Building

The interior of the Royal Exhibition Building was inspected on Thursday 5 October 2023 to understand the existing conditions.

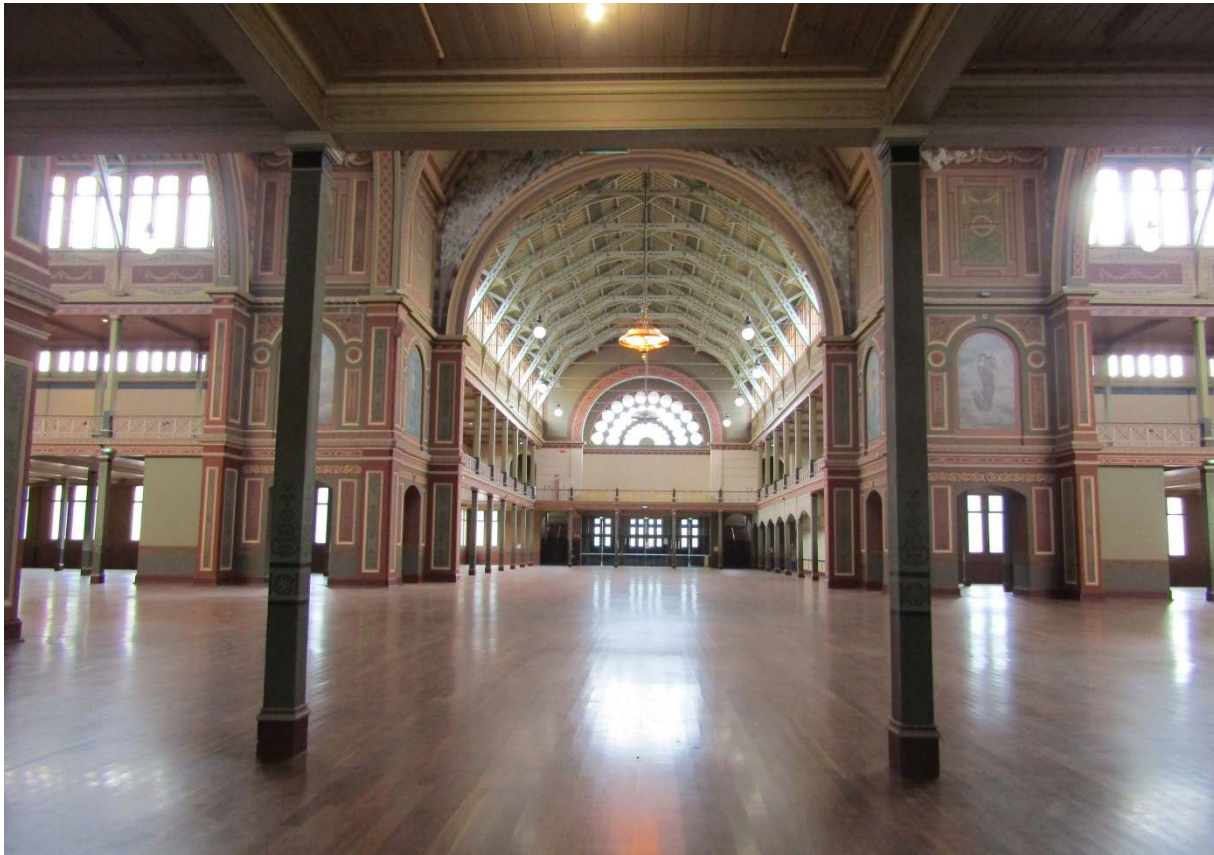


Figure 2.77 Interior view of Great Hall, looking north.

Interior Ground Level

The interior ground level (the Great Hall) is in good condition overall, with signs of deterioration and wear and tear to some elements, in particular to paint finishes. Chips to paintwork were observed, particularly at the base of timber posts, which are particularly vulnerable to damage from accidental impact. The flooring throughout shows signs of general wear and tear, scratches and scuff marks, with high traffic areas and entry areas the most affected. The perimeter brick walls below dado level show signs of paint delamination, potentially from moisture. At the time of our visit, clean up was occurring due to recent water ingress.



Figure 2.78 Remedial clean-up/maintenance due to water ingress.

Great Hall piers



Figure 2.79 The decorative scheme is generally in good condition, with some conservation works still to be completed.



Figure 2.80 One of four central piers within the Great Hall.



Figure 2.81 Detail of central pier in the centre of the Great Hall.



Figure 2.82 Detail of central pier in the centre of the Great Hall, showing partially completed conservation of decorative scheme.



Figure 2.83 Detail of partially completed decorative scheme conservation works.

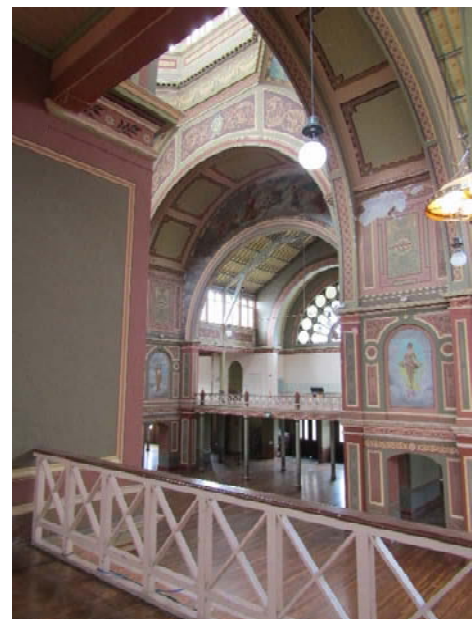


Figure 2.84 View from mezzanine toward murals featured on the central piers.



Figure 2.85 Detail of conservation works to damaged frieze, and damaged paint below.



Figure 2.86 Exposed wiring visible on a central pier.

Views towards naves

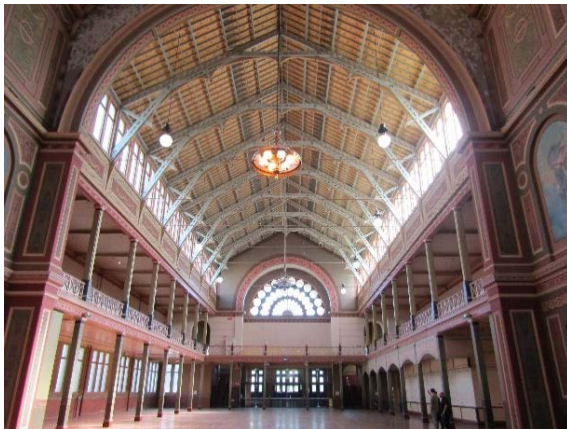


Figure 2.87 View toward northern nave.

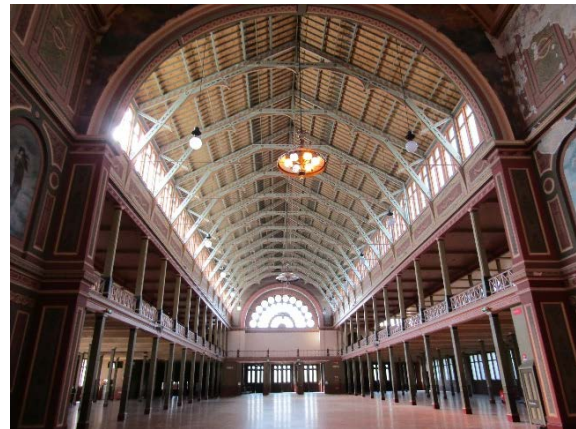


Figure 2.88 View towards eastern nave.

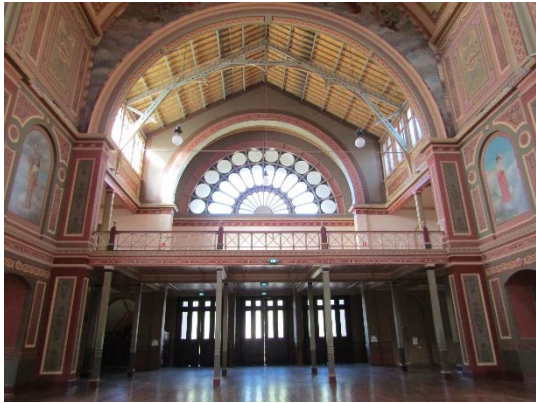


Figure 2.89 View looking towards south entry.



Figure 2.90 View looking west.

Northern nave

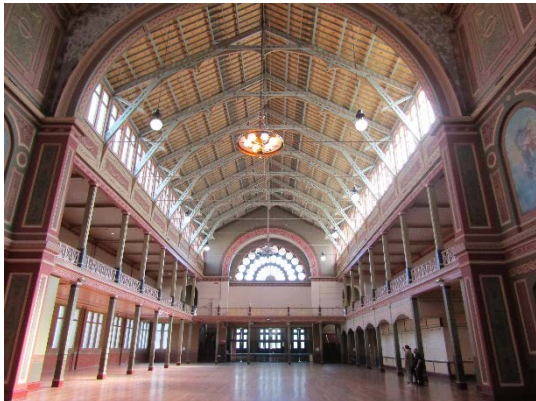


Figure 2.91 View looking towards north entry.



Figure 2.92 Kitchen/café area below northeast gallery. The decoratively painted posts are generally in good condition; however, there is evidence of both wear and tear and physical or other damage on some of the posts.

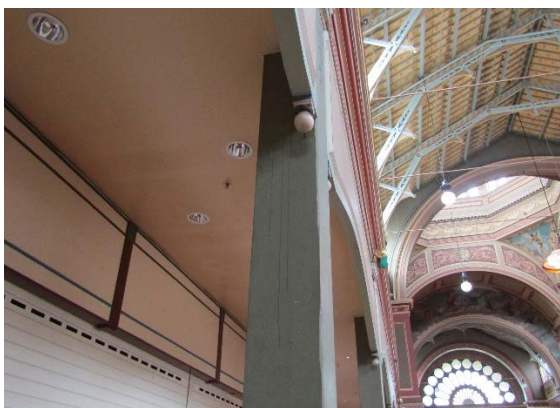


Figure 2.93 Stains on paintwork visible on decorative post near kitchen/café area.



Figure 2.94 Example of damage at base of decorative post.



Figure 2.95 Discoloured paintwork visible on ceiling below northeast gallery.

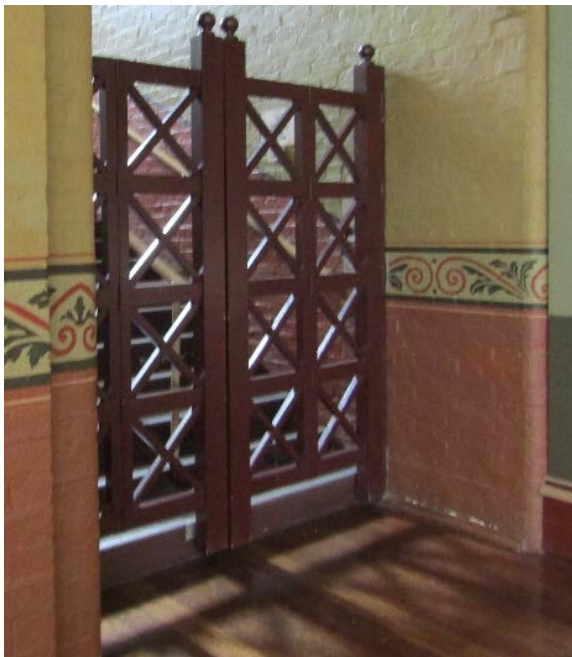


Figure 2.96 The gates located at the entrance of internal stairwells are in excellent condition. Some chipping of paintwork was evident at the base, the timber fabric is potentially vulnerable to physical damage.



Figure 2.97 Staining evident on lower section of decorative post.



Figure 2.98 Paintwork adjacent to stair gates shows signs of abrasion at skirting level (lower left of image).



Figure 2.99 View from northern nave. The timber floor shows signs of general wear and scuffing.



Figure 2.100 Walls are generally in good to fair condition, with some signs of wear and tear. The lower section of wall shows possible signs of water damage and salt efflorescence (further investigation needed).



Figure 2.101 Detail of damaged paintwork.

Eastern Nave



Figure 2.102 View toward eastern nave.



Figure 2.103 The timber fabric of the doors is potentially vulnerable to physical damage.

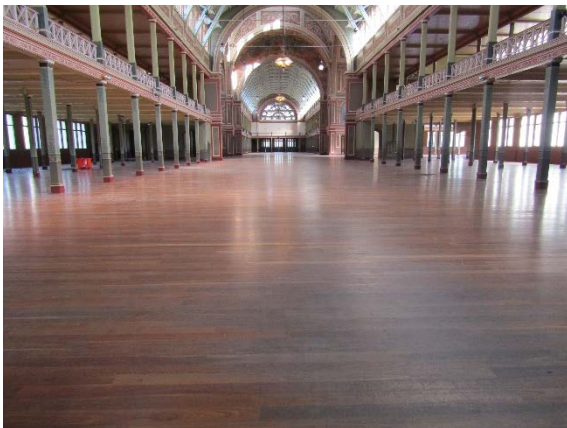


Figure 2.104 Floor surface of central eastern nave shows signs of wear and tear from high volume foot traffic.



Figure 2.105 The timber fabric of the doors is potentially vulnerable to physical damage.



Figure 2.106 Evidence of vulnerability and paint damage around utility areas.



Figure 2.107 Flooring of side arcades is generally in good condition, some signs of scratches, scuffing and wear and tear.

Southern Nave

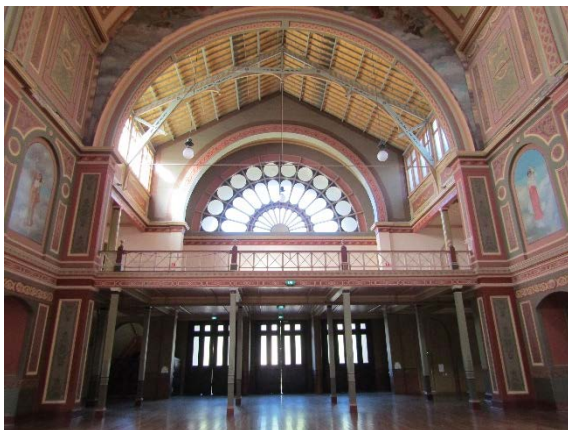


Figure 2.108 View toward southern nave.



Figure 2.109 Detail of entrance to southern nave.



Figure 2.110 Chip to decorative scheme on column in southern nave.



Figure 2.111 Evidence of linear scuffing and scratches to floor near southern nave.



Figure 2.112 A Perspex viewing window which protects a sample of an earlier paint scheme.



Figure 2.113 A Perspex viewing window which protects a sample of an earlier paint scheme.

Western Nave



Figure 2.114 Stairway and entrance, western nave.



Figure 2.115 View toward western nave.



Figure 2.116 Chip to corner of painted decorative post.



Figure 2.117 A section of skirting beading profile is missing from column base.



Figure 2.118 Chip to corner of lower section of painted decorative post.



Figure 2.119 Chip and paint patch in decorative frieze.

Interior Gallery

Northern Gallery



Figure 2.120 View toward northern gallery.



Figure 2.121 The gallery floor is generally in good condition.



Figure 2.122 Penetrations and cracks evident in brickwork of north gallery wall.



Figure 2.123 Evidence of bird droppings can be seen in some areas within the gallery (and bird).



Figure 2.124 Evidence of patch repairs visible.



Figure 2.125 The timber floor is in generally sound condition; however, some areas of the gallery are quite worn with patch repairs visible.



Figure 2.126 View of internal stairwell at the northern gallery.



Figure 2.127 Detail of damaged paintwork in stairwell.

Eastern Gallery



Figure 2.128 View toward eastern gallery fanlight.



Figure 2.129 View in eastern gallery looking northeast.



Figure 2.130 Detail of delaminating paint.



Figure 2.131 Mis-matched paint patching.



Figure 2.132 Eastern gallery floor is heavily marked by ongoing use.



Figure 2.133 View in eastern gallery looking west.

Southern Gallery



Figure 2.134 View toward southern gallery.

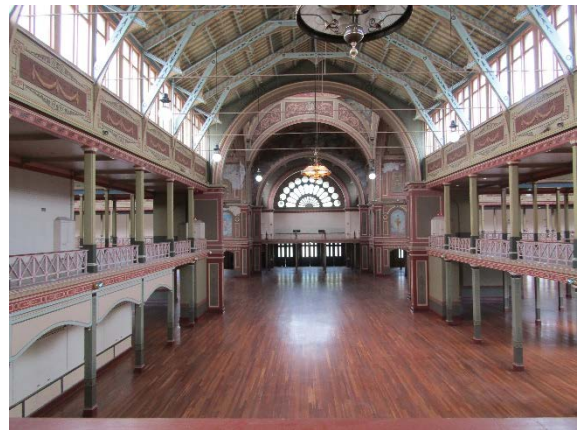


Figure 2.135 View toward southern gallery.



Figure 2.136 View along southern gallery.



Figure 2.137 View along southern gallery. The replacement timber floor in this area is heavily marked.



Figure 2.138 This lower section of wall has been repainted in several areas, suggesting physical or other damage to the paintwork. Other possible causes include water ingress and salt efflorescence (further investigation needed).

Western Gallery

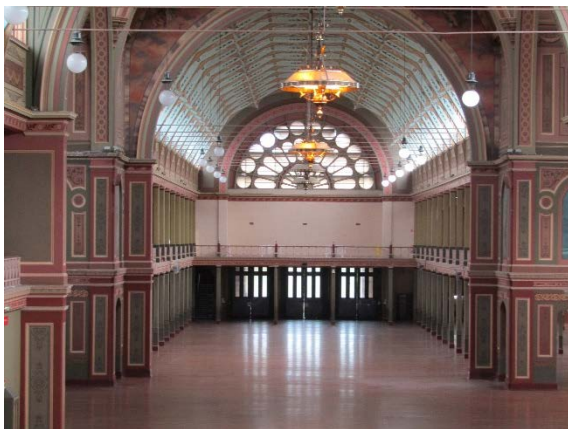


Figure 2.139 View toward western gallery.



Figure 2.140 View along western gallery looking west.



Figure 2.141 View toward western gallery.



Figure 2.142 View of peeling paint in western gallery timber lined ceiling.



Figure 2.143 View of fixed hooks to underside of gallery to support electrical cables.



Figure 2.144 View of electrical fixtures and cabling.



Figure 2.145 Example of paint delamination.



Figure 2.146 Damage to paint at skirting level.



Figure 2.147 Detail of paint delamination on frieze band below clerestory window.



Figure 2.148 Worn paint surface to stairs leading to western gallery.



Figure 2.149 An earlier paint scheme (unprotected) is visible above the stair, adjacent to the gate, hinge is unpainted.



Figure 2.150 Heavily marked timber flooring in west gallery.

2.3 Current use of the place or object

Carlton Gardens South

Carlton Gardens South are used by the community and visitors to Melbourne for passive recreation and social interaction and by visitors to the Royal Exhibition Building. They are used in association with events held at the Royal Exhibition Building, including university graduations.

The annual Melbourne International Flower and Garden Show is the most significant event currently permitted in the Carlton Gardens. The temporary event typically occupies Carlton Gardens South, the southern drive, and the eastern and western forecourts during set up (bump in), the duration, and removal (bump out) of the event.

As a result of the MIFGS event, the area comprising Carlton Gardens South is temporarily closed to the public during set up (bump in) and dismantling (bump out) and open for the duration of the event via ticketed entry to the public. Carlton Gardens North remains accessible to the public.

As noted in the Heritage Management Plan (August 2022), other temporary uses include:

- White Night (an event that commenced in 2013–2019, and was held in regional Victoria in 2022).
- Lawns in the Carlton Gardens can be booked for weddings and small private functions with limited carry on and out temporary structures and furniture.

Royal Exhibition Building

The Royal Exhibition Building continues to operate as an exhibition hall, and is used for exhibitions, trade fairs and public performances. It is also used for gala dinners, fashion shows, graduation ceremonies and community events. From 2021 and into 2022, the REB was used as a COVID-19 vaccination centre. In between events, the REB is generally open for guided tours that transmit the building's and the site's stories and significance. In October 2022, the newly refurbished Dome Promenade deck opened to visitors.

2.4 Constraints and opportunities resulting from significance

Carlton Gardens South, eastern and western forecourts and southern drive

Constraints arising from the significance of the place, include:

- avoiding physical impacts on significant vegetation including trees, shrubs in garden beds including the restored parterre beds, and lawn during the event set up, duration and bump out. For trees, this includes all components of the tree (the structural root zones, trunks and canopies), and avoiding impacts on mature trees and recently planted trees;
- avoiding works and compaction in SRZs by avoiding works in TPZs;
- avoiding damage to the lawns which are a key part of the Gardens’ significant layout, landscape character and use for passive recreation and social activity;
- avoiding compaction of the lawns;
- avoiding harm to the physical fabric of the Gardens and forecourts, in particular related to the movement of vehicles and equipment during bump-in and bump-out and movement into and out of the site by vehicles for the duration of the event;
- avoiding adverse visual impacts on significant internal views – axial views and foci;
- the need to retain or quickly recover the ability to appreciate the Gardens’ aesthetic qualities as a designed landscape in the ‘Gardenesque’ style, following the show; and
- the World Heritage Environs Area which surrounds the Royal Exhibition Building and Carlton Gardens world heritage listed site.

Opportunities arising from the significance of the place include:

- continuation of the use of the place in association with an international exhibition, that would facilitate the exchange of knowledge and ideas, showcase technical and aesthetic innovation and current thinking and ideas in horticulture, gardening, and garden and landscape design, which is consistent with the OUVs of the place;
- use and enjoyment of Carlton Gardens South by local community and visitors in association with a major exhibition; and
- the ability to experience the place in association with a major exhibition.

Royal Exhibition Building

Constraints arising from the significance of the Royal Exhibition Building include:

- avoiding adverse impacts on the cultural heritage significance of the REB;
- avoiding physical damage or harm to fabric of primary and contributory significance;

- avoiding adverse visual impacts on the physical presence of the REB and the ability to appreciate the grandness of the REB in its original garden setting;
- avoiding adverse visual impacts on significant internal views and the ability to appreciate significant features (such as the interior decorative scheme, significant windows, and spatial qualities) within the REB; and
- the World Heritage Environs Area which surrounds the REB and Carlton Gardens world heritage listed site.

Continuing to provide and improve public access to the place is identified in the HMP Policy on Public Access (2022 Vol. 1, policy 3.4.3) as critical to enhancing and disseminating an understanding and appreciation of the site and of the history of the REB and Carlton Gardens. Access to the REB Dome Promenade opened in October 2022, is acknowledged in the HMP as a means for achieving the policy direction on Public Access.³

Opportunities arising from the significance of the place include:

- continuation of the use of the place in association with an international exhibition, that would facilitate the exchange of knowledge and ideas, showcase technical and aesthetic innovation and current thinking and ideas in horticulture, floral design, gardening, and garden and landscape design, which is consistent with the OUVs of the place;
- use and enjoyment of the REB by the local community and visitors in association with a major exhibition; and
- the ability to experience the place in association with a major exhibition.

³ <https://museums victoria.com.au/tickets/melbournemuseum/whats-on/royal-exhibition-building-dome-promenade>. Date accessed 15 November 2023.

3 Proposal

3.1 Introduction

The Melbourne International Flower and Garden Show is a temporary event held in Carlton Gardens South and Royal Exhibition Building, annually (noting that the 2020 and 2021 shows were not held due to COVID-19).

An understanding of the proposed works as they relate to the REB and Carlton Gardens South has been drawn from documentation provided by IMG (listed in Section 1.4.1).

Many of the protocol documents prepared by IMG are based on previous years. For relevant documents which had not yet been updated for the 2024 show at the time of writing this report, comments have been based on a review of the previous year's documents; this is noted in the table in Section 1.4.1.

One of the key documents is the 2024 MIFGS Operations and Production Map (see Appendix A), which provides an overview of the proposed layout and operations of the show. It also communicates the locations and relationships of MIFGS show elements in relation to the REB and Carlton Gardens, including:

- entries and exits to the Gardens and REB and loading zones to be utilised by the show;
- proposed traffic management, vehicle movement and access;
- locations for exhibitor spaces including retail, feature sites; and
- locations for ancillary services (food and beverage, first aid, tickets, toilets, coffee stations, water fountains, stages, information and event management).

A diagrammatic MIFGS 'Show Map', is also prepared each year (based on the Operations and Production Map), and will be made available closer to the date of the show.

Supplementary documentation has also been considered as integral to understanding the proposed works and how they will be managed for the duration of the event.

3.2 Program

3.2.1 Sequence of activities

The MIFGS event means all four stages of the program, carried out in the period from end February/mid-March through to end March/early April as follows:

- **Preliminary set up** (public access is maintained) 14 calendar days;

- **Final set up / bump in**, nine calendar days;
- **Show duration**, over five days—Wednesday, Thursday, Friday, Saturday and Sunday; and
- **Bump out**, over four days—Monday, Tuesday, Wednesday, Thursday.

3.2.2 Discussion of closure period

It is acknowledged that the closure period should be the minimum required, the timeframe of the closure period remains at the minimum required and is reviewed on a yearly basis with a key consideration being public safety and a safe work environment for those involved in the event.

IMG has scrutinised the current timeframe for the closure period and believe that the current closure period, which is driven primarily by the bump in/out periods, represents the minimum required to deliver the event safely.

The timeframe must allow for the implementation of safety measures. Identifying potential hazards and developing strategies to mitigate them is essential for the safety of staff, volunteers, exhibitors, retailers, stakeholders, suppliers, contractors and show attendees. Thorough checks and quality control measures are incorporated into the program to ensure that all aspects of the event, including safety features, are in place and functioning correctly.

This timeframe allows the minimum time required for contractors to operate within the required regulations.

3.3 Proposed works

3.3.1 Event overview

The MIFGS event is temporary. No permanent development is proposed in the Carlton Gardens or REB.

An overview plan for the event as it relates to the REB, forecourt and garden settings will be provided each year. The proposed 2024 plan is provided in Figure 3.1.

MIFGS – OPERATIONS & PRODUCTION MAP

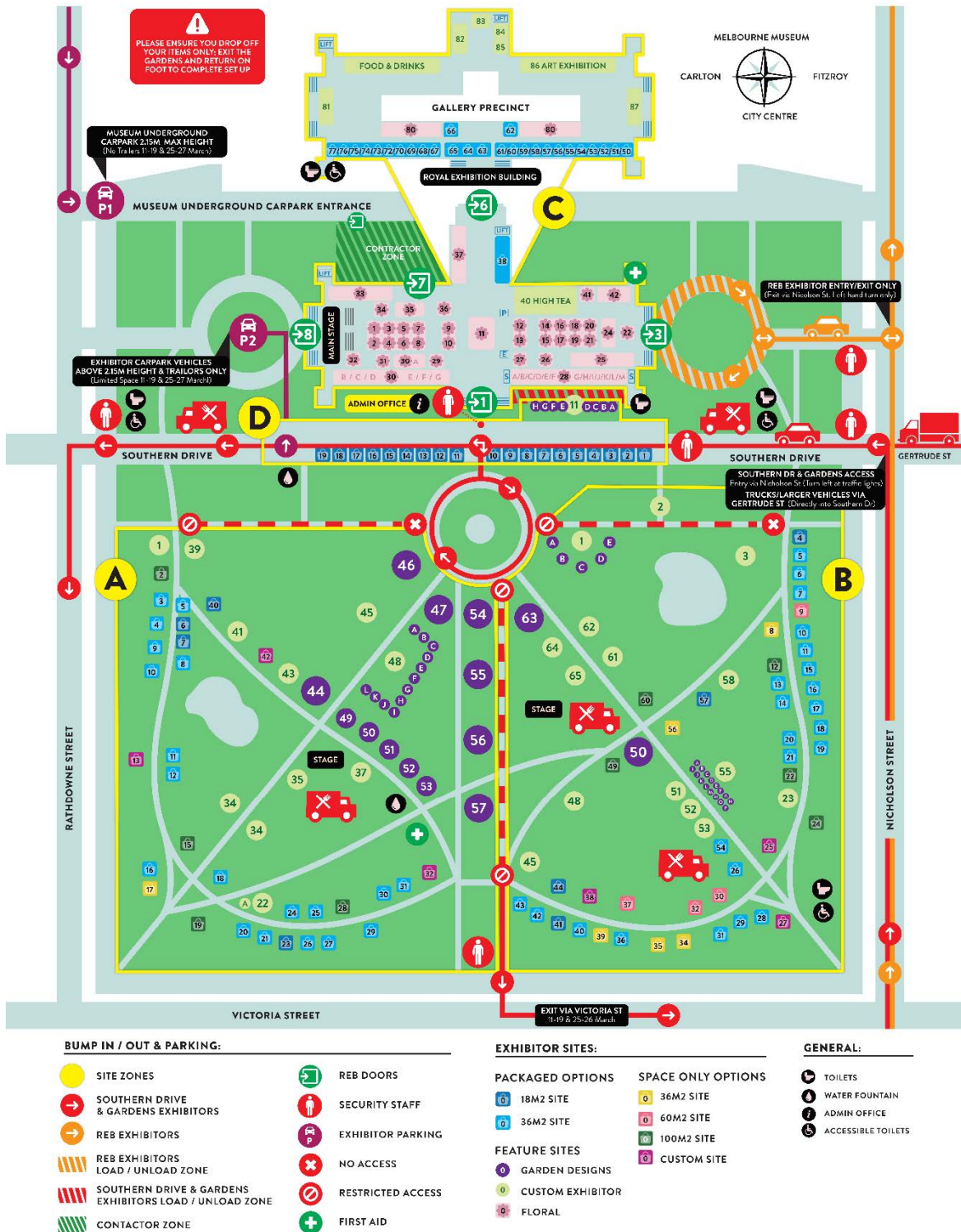


Figure 3.1 Indicative operations map for 2024 MIFGS event (draft). (Source: IMG)

Within the Carlton Gardens, the event requires the temporary installation of structures and equipment related to running the event. This includes:

- Temporary boundary fencing (Appendix 12):
 - *TFH fencing* around three sides of western forecourt and south side of eastern forecourt; and
 - *Otter fencing* to Rathdowne Street, Victoria Street and Nicholson Street boundaries of the Gardens.



Figure 3.2 The Tree Protection Plan recommends a sympathetic method for perimeter fencing posts where they fall within a TPZ or SRZ of trees within the Gardens. Fencing shown is an example of ‘otter’ fencing (Source: Treelogic MIFGS 2024 Pre-Event HV , 1 December 2023).

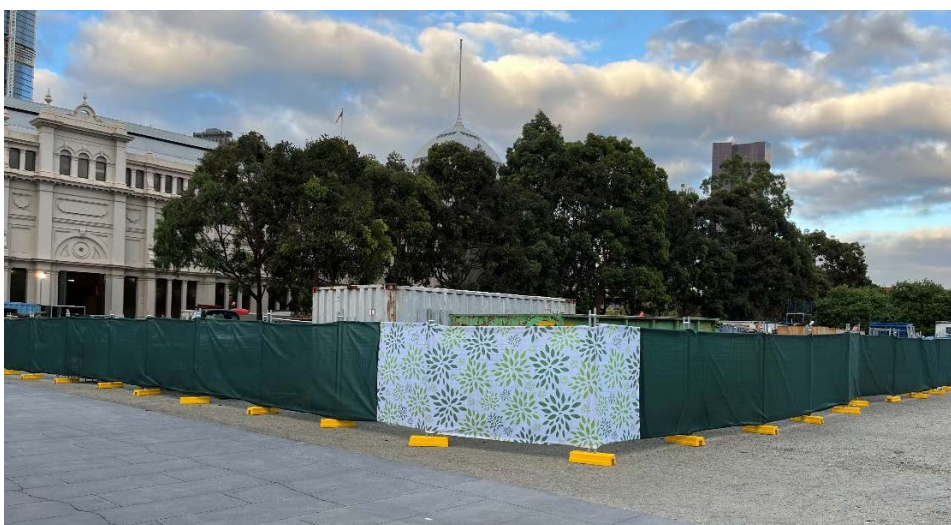


Figure 3.3 Example of ‘TFH’ temporary fencing. (Source: IMG)

It will include temporary structures:

- marquees, tents and displays. A range of sizes are typically offered to vendors and exhibitors (18, 36, 60 or 100 square metres retail, and custom retail);
- landscape design exhibitor spaces (see Figure 3.1, spaces marked in purple);
- custom exhibitor spaces (see Figure 3.1, spaces marked in light green), including a vehicle-based display along Southern Drive;
- temporary containers, toilet blocks, admin office;
- entry ticket booth;
- entertainment stages;
- food and beverage, first aid/emergency facilities; and
- equipment, such as lighting, power leads.

The indicative layout for the event within the Carlton Gardens is conceptual and largely similar to MIFGS 2023, with some small differences. The one notable layout change is the addition of a vehicle-based display along Southern Drive which will occupy the space taken by D11 in 2023. This consists of stationary vehicles parked on the hard stand which have floral displays attached to them; this was previously balcony garden displays.

There is an area nominated as 'Contractor Zone' located along the northwest façade of the REB near door 7. This area will house site sheds for contractors who are on site for large stretches of time. This area will not be accessible to the public.

There is a small increase in the number of exhibitor stands in the Gardens, however this has been accommodated within the same amount of space as the previous year. Numbers inside the REB are similar to the previous year.

Some of the designs for temporary structures used in previous shows are indicated in the images below.



Figure 3.4 Example 1 of a typical temporary marquee for retail. (Source: IMG)



Figure 3.5 Example 2 of a typical temporary marquee for retail. (Source: IMG)



Figure 3.6 Example 3 of a typical temporary marquee for retail. (Source: IMG)



Figure 3.7 Example of a typical temporary stage for entertainment (Source: IMG)

Within the REB the arrangement of displays will be similar to the previous year—floral displays and seminars are on the ground level and workshops and exhibitors are upstairs. High tea on the ground level and food and drinks on the upper gallery are also included (Figure 3.1). Areas marked in pink indicate locations for individual custom floral displays; spaces marked in light green are custom stands including display boards and plinths for art and sculpture, and stands for food and drink; and blue areas are freestanding event panels that are assembled to create cubicles for various floral displays. The REB will continue to house the Victorian Flower Grower Showcase, the Wedding Floral Showcase and the RMIT Floral Fashion Design Competition. Workshops will also continue inside with a 'Brush and Bubble experience' and 'Wearable Florals'. A main stage will be installed to house a full lineup of expert Q&A sessions, floral demonstrations and more. IMG places flooring covering for each site which acts as a guide to where they can set up. Harry the Hirer provide all infrastructure in the REB under Museums Victorias guidelines. Expo walls and borders also provide exhibitors with a guideline for the space they can utilise. Examples of these elements used in previous shows are indicated in the images below which are photographs of previous MIFGS events.



Figure 3.8 Example of individual custom floral display areas proposed for the ground floor of the REB (Source: IMG).



Figure 3.9 Example of display boards and plinths for art and sculpture proposed for the Gallery Precinct (Source: IMG).



Figure 3.10 Example of freestanding event panels as cubicles for various floral displays in ground floor and gallery (Source: IMG).



Figure 3.11 Example of the high tea area on the ground floor (Source: IMG).



Figure 3.12 Example of ground level themed floral displays (previous MIFGS event). (Source: IMG)



Figure 3.13 Example of ground level themed floral displays (previous MIFGS event). (Source: IMG)



Figure 3.14 Gallery level food and drink stand (previous MIFGS event). (Source: IMG)



Figure 3.15 Floral stands on gallery level (previous MIFGS event). (Source: IMG)

Food and beverage offerings, consisting of coffee stands and small catering outlets, are largely provided within the Carlton Gardens. In the REB, an area serving 'high tea' is located in the northern section of the eastern nave (Figure 3.11). An area of food and drinks will be provided in the northeastern section of the upper gallery of the REB.

The indicative layout for the event inside the REB is conceptual and largely similar to MIFGS 2023 with some small differences in layout—the distribution of exhibits has some subtle differences; however, it is similar in number.

Key observations are:

- IMG has confirmed that catering locations and offerings within both the ground and gallery levels will remain similar to the 2023 event. This includes a high tea area and one coffee location on the ground level, a food and beverage outlet with seating in the northwest corner of the gallery level.
- The high tea area will be in the same location as for 2023.
- The food and drinks outlet on the upper gallery will be in the same location as for 2023.
- IMG has advised that there will be no significant changes to the amount of space taken up by exhibitors. At most, a 5% increase between 2023–2024 is envisaged which has not taken up more room within the Gardens and REB, but space has been allocated more efficiently. At this stage there is no indication that significant growth will occur across the next four years. Across 2022 and 2023 there were slightly lower exhibitors due to COVID-19 recovery. Exhibitor numbers in 2024 are back to pre-COVID-19 levels.

It is recommended that if significant growth or changes to the exhibitor numbers, infrastructure or ancillary services occur, then this is raised and addressed in the pre-event process.

Vehicle management

Staff members trained in security and traffic marshalling and equipped with radios for communication are stationed at the Southern Drive entries. These staff manage access, brief drivers and direct vehicles to the appropriate location or holding spot if route is busy and direct them to the exit once the job is complete.

A **traffic management plan** is included in the documentation for the event. Its key purpose is to minimise disturbance to local traffic around the REB and Carlton Gardens during the event, and to ensure that traffic flow around the Carlton Gardens, REB and surrounding precinct operates in a controlled, safe manner.

The **vehicle management plan** incorporates a bump in/out and event parking plan which provides more information relating to the cultural heritage significance of the place. This plan shows locations for exhibitor parking, vehicle restrictions and permitted vehicle movement patterns, no access areas and restricted access areas.

The MIFGS Operations and Production Map provides a clear graphic representation of the bump in/out parking and routes.

Importantly, the vehicle management plan:

- prohibits large vehicles (page 1);
- allows movement only on pathways (page 1);
- includes a vehicle delivery schedule to avoid traffic congestion (page 1);
- prohibits unloading of materials onto pathways and unprotected grass (page 3); and
- includes recommended ground protection methods (page 3).

Areas shown as 'No access' and 'Restricted access' are appropriate. Limits on vehicle heights, unloading/loading access timeframes, and exhibitor parking generally located underground or off-site during bump in and bump out appear to be appropriate measures for minimising risk of damage to physical fabric and visual impacts.

It is recommended that IMG adds a note regarding the cultural heritage significance of the place to the bump in/out plan which will be provided.

It is recommended that some form of barrier or delineation be provided near the external southeastern façade of the REB facing Southern Drive, to ensure the proposed unloading zone and subsequent vehicle-based display do not have a potential impact on the building fabric.

It is recommended that IMG continues to highlight to event staff and traffic marshals the vulnerability of the bluestone corners and concrete kerbing around the forecourt roundabouts and driveways.

It is recommended that access to areas marked restricted access be carefully managed and continually monitored due to low hanging branches. Temporary bollards should be installed as a mitigation measure.

3.3.2 Signage and site furniture

External signage attached to the building is only proposed for the main public entry through the north doors. Existing fixings to catenary wires will be used for the signage over the entry door at door 6 (north entry).



Figure 3.16 Example of signage size and location similar to proposed entry signage for MIFGS, shown here at northern entry door 6 (main MIFGS entry).



Figure 3.17 Existing fixings for signage are provided in the entry portals. Signage for MIFGS will be attached to existing fixings.



Figure 3.18 Example of entry banner proposed for the main entry to the REB (subject to new design for 2024. Example shown is from 2020). (Source: IMG MIFGS Signage Plan, p5)

Other signage within the Royal Exhibition Building (and in Carlton Gardens) will be either freestanding or fixed to temporary elements within the exhibition. The REB also has existing catenary wires on the inside of the building which are utilised for signage. Examples are shown in the MIFGS Signage Plan.

Two temporary ‘ticket boxes’ will be located at the main entry door (north transept), and at the public entry and exit located on Victoria Street (refer image 3.19). These will be located on hard stand.



Figure 3.19 Ticket booth at the Victoria Street entrance. (Source: IMG)

3.3.3 Power plan and lighting

The 2024 MIFGS power and lighting plan V3 addresses the provision of power and lighting in the Carlton Gardens, not the REB. There is no equivalent version for the building (interior and main stage).

The lighting and power plan for Carlton Gardens includes the following crucial notes about process, that:

No lights will be directly touching any trees through the Carlton Gardens. (page 4)

No floodlights are to be mounted on any trees, as they will all be fixed to poles throughout the gardens. (page 4)

All lighting is being installed by Garnet Electrical. No lights will be fixed to any Heritage listed tree whatsoever and the upmost care will be taken throughout the lighting installation. Garnet Electrical will need the use of a knuckle boom lift in order to reach the

heights needed to install the lights effectively and safely. This will stay on the pathways at all times. The driver will be licensed and a spotter will be used while the park is not within the closure period. (page 4)

The installation of the lighting plan will be a continuous process and will be in conjunction with the power installation. When doing it in this fashion it will reduce the chance for impact on the gardens and trees as there isn't a need to revisit any areas as it is all done at once. (page 4)

3.4 Proposed mitigative measures

The documents provided to exhibitors and contractors serve to communicate important information and procedures which also consider the protection of important heritage fabric and values of the REB and Carlton Gardens. Key documents have been updated with the inclusion of a statement which conveys to users the world heritage significance of the place, as follows:

Important Heritage Information

The Royal Exhibition Building and Carlton Gardens is an internationally important heritage site. Its significance is recognised through its inclusion on the World Heritage List.

It is crucial that this unique place is conserved and carefully protected to ensure it can be used, enjoyed and celebrated into the future. The protection of the site is legally enforced under the Victorian Heritage Act 2017 and Commonwealth Environment Protection and Biodiversity Conservation Act 1999. If a person or organisation fails to comply with the Heritage Act 2017, or conditions of an approval, they may be liable for penalties including fines and prosecution.

During the event

Procedures are in place to protect the site in real time while the event is in progress. This includes the following:

- Information booth at two key locations within the Carlton Gardens South; 1) Victoria St entrance, 2) Central fountain roundabout located in close proximity to REB southern door 1. Any information reported by the public is recorded and communicated to relevant personnel.
- Onsite Museum Spaces event representative; able to advise and respond as required.
- MIFGS event contact list providing key contact information;
- Project arborist on site to inspect, identify issues and recommend appropriate protection methods during the event in a responsive manner;
- Various MIFGS event staff monitoring and managing the overall event footprint

- Inducted security, marshalling and traffic management staff in attendance to ensure compliance with rules and guidelines; and
- Public Safety Officers onsite for all days within the closure period and show days.

3.4.2 Carlton Gardens

A pre-event report and a Tree Protection Management Plan (TPMP) are prepared each year by a qualified and experienced arborist. These reports are usually provided in November or December the year before the event takes place. The reports includes a site inspection and provide guidelines for tree protection and other relevant information.

The event implements the following measures related to protection of the Gardens:

Tree and ground protection measures

The **Tree Protection Management Plan** by Treelogic, titled *Tree protection management plan (TPMP) - Carlton Gardens – Melbourne International Flower and Garden Show (MIFGS) 2024* (dated 1 December 2023) outlines tree and ground protection measures defined in accordance with the relevant Australian Standard for protection of trees on development sites (AS 4970-2009), and in accordance with the City of Melbourne’s Urban Forest Tree Protection Plan (2021). This report provides advice and guidance on tree protection during all phases of the MIFGS 2024 event.

The tree and ground protection methods were reviewed after MIFGS 2023, documented in the **post-event arborist report** by Treelogic, titled *Arboricultural assessment and report Carlton Gardens – Melbourne International Flower and Garden Show 2023 Heritage Victoria – post-event report* (dated 18 May 2023) and adjusted accordingly in the TPMP for the MIFGS 2024 event.

The post-event report provides considered impacts on lawn and turf areas, trees, garden beds and soil. Recommended changes based on the arborist’s observations are repeated below:

1. IMG to look into utilising more of the heavy-duty ground protection as it appeared very effective in reducing impacts to turf.
2. All garden designs that are skirting or enter the TPZ of a tree are to be submitted to IMG and the project arborist prior to the date that IMG set. These drawings must include methodology on how the trees are protected. To help enforce tree protection, I recommend that the judging of the garden designs incorporate as tree protection considerations.
3. It is recommended that an independent turf specialist be engaged for further guidance to reduce turf impacts.

4. Conflicting advice or guidance is recommended to be more aligned prior to the event bump-in (ie use of concrete blocks).
5. Look at the potential for locating some gardens or designs onto the larger areas of turf and away from trees if practical.
6. Movement and operation of ALL forklifts, cranes or other vehicles must occur on hard paved surfaces or on appropriate ground protection as per the TPMP or with guidance from the project arborist.
7. Further develop the TPMP to accommodate any ideas or methodologies that would be acceptable to both Council and Heritage Victoria in the ongoing MIFGS event at Carlton Gardens.
8. Continue to communicate the importance of tree protection and associated methodologies to all staff and personnel who will perform works on the site during all stages of the event. This information is facilitated by tree protection requirement summary documents, designer and management meetings, inductions, 'toolbox talks', and continual on-site supervision by IMG management.
9. Look at more succinct tree protection guidance for the smaller operators or sellers. Communication of tree protection requirements is to be provided and reinforced during both bump-in and bump-out phases of the event.
10. Pre marking of TPZ and SRZ on the ground to aid in placement and inform tree protection measures for all display garden areas.
11. Ensure that all light cabling that is approved to be installed or placed into the canopy of trees are appropriately protected.
12. It is also recommended that where pedestrian access is to be located on installed ground protection but off path and near a tree, that rails or ropes be installed to ensure that people access is restricted to the protected areas only.
13. Ensure that the perimeter fencing complies with the TPMP. Where this is not possible, an alternative is to be sought with the guidance of the project arborist.
14. It is recommended that all uplift pruning of tress be completed prior to the bump-in phase of the MIFGS event to avoid conflict with tree parts. This uplift pruning is to conform to the CoM guidelines for ground clearances over paths and over turf for maintenance.
15. It is recommended that tree protection guidance be aligned for all parties including the actions of the CoM preferred contractors for the site.
16. A greater period of time should be specified between hand back and the re-turfing assessment for turf within the TPZs of trees. This would avoid unnecessary impacts to trees' root systems.

IMG has addressed the above recommendations and in November 2023 provided the response below:

- 1) Yes, we will be utilizing much more of the Supatrak [heavier duty ground protection] across the retail program.
 - IMG have confirmed that in 2024 they will keep using the Supatrak for catering, crossovers, sculptures, Victoria Parade Ticket Box (as per 2023 event), and transition to the heavier duty ground protection for the 2024 event onwards for:
 - Garden retail packages
 - Local Nurseries
 - Horticultural Careers Hub - an area where Registered Training Organisations (RTO) across all aspects of the Floral and Garden Industries to engage with budding professionals
 - Larger industry sites (eg. Drewitts, Diggers, etc)
 - First Aid
 - Water stations

This represents an increase from 1784 square metres in 2023, up to approximately 5297 square metres in 2024.
- 2) This will be provided in the brief to the landscapers and best endeavours for these timelines to be met. The approach to judging has been submitted to the board for review.
- 3) We strongly agree. We would welcome a letter/note of support from GML and HV to support this recommendation.
 - GML have provided IMG with a letter supporting the recommendation to engage a turf specialist. IMG is considering engaging a turf specialist for the 2024 event and future shows.
- 4) Following up with TreeLogic as unsure of where the confusion may lie. Has been noted for briefing and confirmed in relevant documents. Once clarified, future advice from TreeLogic will be implemented where possible.
- 5) Appropriate consideration garden selection and placement is managed between IMG, HV and City of Melbourne. This practice forms part of the permit process.
- 6) This forms part of our management plan of the site. At all times, we have the protection of the gardens front of mind.
- 7) Taking continued guidance from TreeLogic on this.
- 8) Agree. This occurs and is communicated ongoing. Has been noted for briefing and relevant documents.
- 9) Agree. This is part of current practice. Has been noted for briefing and relevant documents.
- 10) Agree. Discussions with TreeLogic to be included in their scope of works
- 11) Agree. Directive is provided to project electrician. Consultation with TreeLogic and electrician has been planned prior to works.

- 12) Continue to gather guidance and influence from project arborist as per site layout. Current blanket methods will remain such as placing crowd control barriers on corners of paths to avoid cutting across grass.
- 13) Agree. Current directives follows the TMP and will follow guidance of Project Arborist onsite.
- 14) Agree with this statement. This forms part of our pre-event walk around with City of Melbourne and their contracted gardens maintenance team. With works planned to be complete prior to bump in.
- 15) All Treelogic documents to be shared with City of Melbourne.
- 16) Confirmed in the yearly license with the City of Melbourne for 2024. In the current format, the assessment to determine works for reinstatement is six days after the bump-out date (Thursday), unless it falls on a weekend. Previously, this was done on the day of handover.

The Tree Protection Management Plan has been provided for the MIFGS 2024 event, and adjusted accordingly in line with the post-event review.

The principles underpinning the arborist’s approach to tree protection are appropriate for the Gardens, as is the hierarchy for tree protection:

Avoid damage to trees

Minimise potential damage to trees.

Key mitigative measures proposed in the **MIFGS 2024 TPMP** by Treelogic, titled *Tree protection management plan (TPMP) - Carlton Gardens – Melbourne International Flower and Garden Show (MIFGS) 2024* (dated 1 December 2023) are:

- Retain all trees with appropriate tree protection in accordance with measures outlined in this TPMP, AS4970 and any directions from the Council Arborist.
- Perimeter fencing is to utilise a brace and weighted method to secure fence posts within the SRZ to avoid impact to structural roots. Please see section on “temporary fencing perimeter”.
- All exhibitors and their supporting staff are to be made aware of tree protection considerations and requirements.
- IMG is to provide tree data for trees neighbouring or inside a show / boutique gardens to the designer. This tree data is to include tree ID number CoM asset ID, location, TPZ and SRZ.
- Show garden designers are to be made aware of tree protection guidelines and are to submit their plans and methods of tree protection to IMG and the site arborist for approval. These methods may be required to be submitted to CoM and must meet protection requirements of this TPMP and AS4970.
- Maintain a record of all incidents which are to be included in the post event report.

- Vehicle movement is to be restricted where low tree branches have been identified. These tree parts are to be appropriately signed and flagged for visibility. Areas under these tree parts are to be restricted with access to be at the discretion of IMG. Temporary bollards may be used to ensure large vehicles do not enter these restricted areas.
- Consultation with the site arborist and IMG Management where any guidance is required that is outside the general guidelines provided.
- Activities within the indicative SRZ are to be managed in accordance with the plan.
- Guidance from the site arborist is to be sought for issues that arise during any phase of the MIFGS 2024 event.
- No vehicle access within the indicative SRZ unless on existing hard paved surfaces.
- Pegging is to be utilised to secure temporary structures instead of concrete block weights where practical. Pegging is to remain outside the indicative SRZ. The pegs are to be located to avoid conflict with tree roots during installation. Where possible alternatives are to be utilised that reduce impacts to tree roots.
- All works to trees that may be required is to be performed by the City of Melbourne preferred contractor and by a suitably qualified arborist in accordance with AS4373.

As noted in the Treelogic TPMP (2023, p 4), it is a requirement of the City of Melbourne that all exhibitors based in the Carlton Gardens observe and adhere to the TPMP and to guidelines and material supplied by IMG for protection of trees and other significant fabric in the Gardens.

The arborist report states that adherence to tree protection rules will be strictly enforced by the City of Melbourne and IMG.

Garden Protection Method Statement 2024

The document is generally appropriate for protecting the heritage values of the Gardens. The 2024 report has been revised to incorporate heritage advice provided in response to the previous version of the report, and post-event inspections. This includes working with the City of Melbourne to allow a greater period of time to be specified between hand back and re-turfing in line with the most recent advice.

Induction materials and briefings

Ground protection methods and the reasons why they are important are communicated to all exhibitors in the Ground Protection Statement which is part of the Exhibitor Manual. The statement covers protection of the venue (Gardens) during set up and processes for site inspection and clearance and reinstatement of the exhibitor sites and surrounds after the event (including for turf reinstatement, which has a separate process in the *DRAFT 2024 Turf Reinstatement Process* document).

2024–2027 Melbourne International Flower and Garden Show—Heritage Impact Statement, Final, December 2023

The *Show Garden Designers Guide* includes an introductory section on Venue Protection (pages 2–4). It also explains that the Carlton Gardens is ‘a world heritage listed venue that should be protected and cared for throughout the whole build process’, which is appropriate.

Recommendation:

The *Outdoor Retail Exhibitor Manual* include an appropriate opening statement from the City of Melbourne about the heritage values of the venue and its unique nature.

3.4.3 Royal Exhibition Building

Online induction: It is a requirement that all contractors and staff register and complete the Royal Exhibition Building Online Induction. There is a Royal Exhibition Building specific module.⁴ The online induction contains a message from the City of Melbourne which communicates the importance of protecting this World Heritage Listed property.

Written information, manuals and procedures: Written information that pertains to the protection of the venue is provided in the suite of management plans and manuals prepared by IMG for all exhibitors and contractors. The manuals state that the Carlton Gardens and Royal Exhibition Building are to be protected from damage and that rules and regulations are abided by.

The Floral Design Exhibitor Manual and Indoor Retail Exhibitor Manual include provisions for protecting the building. These are included under the heading ‘Protection of the Venue’ in Section 2.8 Venue Protection and Regulations (Section 2.7 in the Indoor Retail Exhibitor Manual). The manuals explain the heritage values of the venue and include specific regulations to protect the physical fabric and finishes of the building including walls, pillars, columns and floors from damage, fire, water, paint and materials that may contain contaminants or insects.

⁴ Museums Victoria online inductions: Follow link
<https://www.userlogin.com.au/museumcontractor/login.php>

Exhibitors are clearly advised in these exhibitor manuals' 'site pull down procedures' (Section 4 of both reports) that they are responsible for correcting, restoring or renewing any damage to the venue within the precinct of their site. Each site will be inspected by event management prior to exhibit erection and again following completion of display dismantling.⁵ There are clear procedures and responsibilities defined in association with site inspections.⁶

It is clearly stated in the exhibitor manuals (Section 6 of both reports) that all exhibitors are expected to comply with IMG event OH&S practices and complete the online induction.

Physical impacts: Floor loading restrictions apply to the REB. Details of loading capacity are held by the Museums Victoria Facility Manager and IMG Event Management and will be used to guide on the ground decision making about appropriate access in the REB by forklifts and other vehicles and equipment. These are referred to in Table 1.1 of this report as:

REB Venue Maps:

- Draw 13 ground Floor Dimensions.pdf;
- Draw 14 Gallery Dimensions.pdf;
- Floor Loading Colour – Arup additions 2013.pdf;
- Grd Flr kPa ratings.pdf; and
- Gallery Flr kPa ratings.pdf.

Any damage to the floor or other physical fabric of the REB is recorded in a post-event damage report.

In 2023, vehicles used for bumping out were not permitted to park outside the eastern or southern doors of the REB and could only stop to collect stock prior to moving out of the venue off site. IMG advises that the details from 2023 will be the same for 2024.

⁵ Section 4.4 Reinstatement of your site and surrounds, p.23 in Floral Exhibitor Manual and p 25 (p 12)in the Indoor Retail Manual.

⁶ Section 4.5 Site Clearance inspections, p 24 in Floral Exhibitor Manual and p 26 (p12) in the Indoor Retail Manual.

Indoor signage will be freestanding and will not be attached to any part of the building interior apart from the existing catenary wires (see example at Figure 3.20). Floral design and indoor retail exhibitors are advised in their manual that ‘No signage is to be affixed to any part of the venue/building’.⁷



Figure 3.20 Example of freestanding signage used in the interior of the REB. (Source: IMG)

On site management: Contacts details for key personnel and their availability is included in the information provided to exhibitors and contractors in the Event Contact List.

Indoor food and beverage: No food and beverage plan was available at the time of preparing the HIS. It is anticipated to be ready in January 2024.

⁷ See Section 3.11 ‘Exhibitor Signage’ in the Floral Design and Indoor Retail exhibitor manuals, p 20 and p 22 respectively.

4 Multi-year permit

4.1 Program

The proposed programme for the next four years of the MIFGS event is as follows:

Milestone	2024	2025 (TBC)	2026 (TBC)	2027 (TBC)
<i>Next years dates to be confirmed with Heritage Victoria</i>	N/A	End of May (2024)	End of May (2025)	End of May (2026)
<i>Pre Document briefing with HV</i>	N/A	August (2024)	August (2025)	August (2026)
<i>Garden Designer Briefing</i>	Nov (2023)	Nov (2024)	Nov (2025)	Nov (2026)
<i>Post Document briefing with HV</i>	N/A	Late Nov/Early Dec (2024)	Late Nov/Early Dec (2025)	Late Nov/Early Dec (2026)
<i>Resident Notifications</i>	12th Feb	Feb	Feb	Feb
<i>Exhibitor Briefing</i>	12th Feb	17th Feb	Feb	Feb
<i>CoM Pre Inspection/Handover</i>	23rd Feb	28th Feb	20th Feb	19th Feb
<i>IMG Onsite - Marquee mark out and installation begins</i>	26th Feb	3rd March	23rd Feb	22nd Feb
<i>Deliveries begin. Full IMG team onsite</i>	4th March	10th March	2nd March	1st March
Gates Locked - no public access	12.01am 11th March	12.01am 17th March	12.01am 9th March	12.01am 8th March
SHOW DAYS	20-24 March	26-30 March	18-22 March	17-21 March
Gates Unlocked - regular public access				
Handback to CoM (time variable)	12.01am 28th March	12.01am 3rd April	12.01am 26th March	12.01am 25th March
<i>IMG Offsite</i>	29th March	4th April	27th March	26th March
Post event report received	May	May	May	May
Post event meeting with Heritage Victoria	May	May	May	May
Totals days gates are locked	18 days	18 days	18 days	18 days
Total days site is occupied	32 days	32 days	32 days	32 days

Table 4.1 Table showing draft milestone dates for MIFGS 2024–2027 (Source: IMG, November 2023).

Landscape remediation

The table above will be updated each year to include anticipated dates for when landscape remediation works would likely be undertaken following event bump-out. This is confirmed in a yearly licence with the City of Melbourne. Assessment to determine works for reinstatement has previously been informed by the arborist’s advice and is currently six days after the bump out date (unless it falls on a weekend). Dates for remediation will be confirmed each year based on agreements with City of Melbourne and informed by advice and input from the arborist and turf specialist (when engaged).

As outlined in the Garden Protection Method Statement, IMG will work closely with the City of Melbourne to ensure a timely and effective post-event turf growing or replacement program. The post-event arborist report has recommended that a greater period of time between handback and re-turfing assessment may allow for an improved outcome.

Garden closure reviews

The closure period is discussed with stakeholders each year. The closure period of the Gardens has been developed with regard to the minimum timeframe required to safely deliver the build period, event time and bump out period. IMG has assessed that if this period was to be reduced, significant safety risks for both event staff, suppliers, and the public would be elevated.

This timeframe will be discussed again with relevant stakeholders when implementing future hire period agreements, with safety remaining the underlying concern.

4.2 Documentation

It is understood that as a condition of the multi-year permit, that up-to-date documentation will be provided to Heritage Victoria for review on an annual basis in advance of the event per agreed submission dates (Table 4.2). The table below outlines the proposed dates for the provision of documentation by IMG to Heritage Victoria.

Document	Minimal changes year to year	Month to be given to Heritage Victoria in 2025, 2026 & 2027
Induction Document	Y	November (prior year)
Processes for 4 year deal		N/A
2024 MIFGS CAD Map Draft – Carlton Gardens South		January
Landscape Designers Guide 2024	Y	December (prior year)
MIFGS Floral Design Exhibitor Manual	Y	December (prior year)
MIFGS Indoor Retail Exhibitor Manual	Y	December (prior year)
Emergency Management Plan	Y	November (prior year)
Risk Management Plan	Y	November (prior year)
Prescribed Structure Docs		December (prior year)
1b Indicative 2024 MIFGS Show Map	Y	November (prior year)
2024 Garden Protection Method Statement	Y	November (prior year)
2024 Ground Protection Excerpts from Exhibitor Manual	Y	November (prior year)
2024 Turf Reinstatement Process	Y	November (prior year)
Irrigation Plan 2024	Y	November (prior year)
Irrigation Map 2024	Y	November (prior year)
Vehicle Management Plan	Y	November (prior year)
Traffic Management Plan	Y	November (prior year)
Sound Plan	Y	November (prior year)
First Aid Plan	Y	November (prior year)
Food and Alcohol Plan	Y	November (prior year)
Signage Plan	Y	November (prior year)
Power and Lighting Plan	Y	November (prior year)
Waste Management Plan	Y	November (prior year)
Fencing Plan	Y	November (prior year)
REB Venue Maps		December (prior year)
Reponse to 2023 TMP suggestions		November (prior year)
Dates for 2024, 2025, 2026 & 2027		N/A
Production Schedule	Y	November (prior year)
TMP 2024		January

Table 4.2 Proposed dates for provision of documentation to Heritage Victoria by IMG (Source: IMG, November 2023).

4.3 Implementation of recommendations

To ensure continuous improvement throughout the four-year permit period, there are mechanisms in place to allow for recommendations from previous events to be incorporated into future events. Improvements recommended from the 2023 event have been incorporated into the documents and plans produced for the 2024 event, including the following:

- the increased use of the preferred ground protection (Supa-Trac) due to its superior performance, for the packaged sites where IMG provides flooring (increase from approximately 1784sqm in 2023 to approximately 5297sqm in 2024);
- including advice to site purchasers (non-packaged sites) that 'Supa-Trac flooring is the preferred flooring due to its increased accessibility, durability, reliability and capacity to protect the grass within the venue, a requirement of the venue hire from City of Melbourne';
- seeking to engage a turf specialist;
- a pre-event walk around with City of Melbourne and their contracted gardens maintenance team to discuss all uplift pruning of trees. This is to conform to City of Melbourne guidelines for ground clearances over paths and turf, allowing for improve ease in avoiding conflict with tree parts.
- IMG has negotiated a greater period of time between hand back and the re-turfing assessment for turf within the TPZ's of trees. This help avoid any unnecessary impacts to tree root systems.
- best endeavours to implement the advice provided in the post-event arborist's report;
- best endeavours to implement the advice provided in the previous HIS including updates to the Garden Protection Method Statement;
- best endeavours to implement protective measures relating to advice provided for preventing pedestrian traffic between trees and through garden beds (using white chain);
- the advice of the arborist will each year be incorporated into the relevant process documents; for example the 2023 advice relating to the turf reinstatement methods has been incorporated into the turf reinstatement process document; and
- IMG will continue to assess the closure period with regulatory bodies, stakeholders, contractors, industry bodies and internal staff to possibly identify any efficiencies before committing to closure dates. The main priority will continue to remain that the closure period will be based on being able to deliver the show safely for all stakeholders who enter the event site.

Recommendations

- A post-event handover is completed each year with Museums Victoria. Any damage to the floor or other physical fabric of the REB is recorded in a post-event damage report. It is recommended that this report continue to be used to inform improvements to any relevant event documentation or procedures.
- Review the list of infractions highlighted in the arborist's post-event report and where possible update future revisions of MIFGS documentation to include advice, policies or procedure documents which minimise impact of future incidents.
- Overarching recommendation for IMG produced documents:
 - adopt a systematic file naming convention, to include year, short title, version number (ie Version 1);
 - make sure the same title appears at the top of the document;
 - immediately below the title, or in the footer, or a table at the end of the document, include a quality control table that records:
 - Date reviewed: XX Month 202X; and
 - Date updated: XX Month 202X
 - insert new rows above for additional updates (ie as opposed to overriding existing rows).

5 Impact assessment

5.1 Impact of the proposal on the cultural heritage significance of the place or object

The assessment of potential impacts has regard to the significance of the place as a whole and how significance is embodied in the place and its physical elements and other attributes (see Sections 2.1.3 and 2.1.4). Potential impacts are considered in relation to relevant policy included in the updated Royal Exhibition Building and Carlton Gardens Heritage Management Plan (August 2022).

5.1.1 Assessment against policy

General policies

Policy 3.4.1 - Exhibition use

- Continue the use of the REB and Carlton Gardens for exhibitions, trade fairs and the like, public performances and gatherings, in accord with the original *raison d'être* of the site and the conservation of the values for which it was inscribed on the WHL.
- Continue the ongoing use of the Carlton Gardens as a venue for outdoor exhibitions associated with the use of the REB.
- Balance the requirement to make changes to the building, as may be required from time to time to maintain the exhibition operations, with minimising physical or visual impacts on the place.
- Monitor the nature, frequency and intensity of exhibition uses, to ensure significant fabric is not compromised.
- Support appropriate recognition of Traditional Owner and First Peoples cultural values as part of the exhibition use of the REB and Carlton Gardens.

Royal Exhibition Building

- Temporary exhibition infrastructure, such as stands, booths, marquees, etc should be installed and removed in a manner which does not cause damage to significant internal and external fabric. For example, nothing should be affixed to the building fabric in a manner which causes damage.
- Fork-lifts and other vehicles should not be driven in a manner which causes impact on the fabric. For example, floor loadings should not be exceeded by excessive loads or large vehicles.
- Permanent infrastructure, such as power, lighting, catenary wires, etc, should be stored in the building in a manner which is unobtrusive when it is not in use.

Exhibition Reserve and Carlton Gardens

- Tree roots should not be impacted by any structures, vehicles and the like.

- Ensure that the habitat of fauna, including birds and possums, is not compromised by exhibition or event-related activities in the gardens.
- Ensure that any installations associated with exhibitions and the like are temporary and expeditiously removed at the end of each event, and any resulting impacts addressed and made good.

Impact assessment

The event (an indoor and outdoor exhibition / trade fair) would respect the World Heritage values of the place. As in previous years, the event will be held in the Carlton Gardens and Royal Exhibition Building, which is consistent with the first and second policy.

The Tree Protection Management Plan prepared by Treelogic would appropriately ensure that tree roots are not impacted by installations, machinery and vehicles associated with the event.

The Production Schedule (Appendix 2) shows that the intent is that the site is inspected by the City of Melbourne and handed over to IMG on or prior to Friday 23 February 2024. Activities on site start that day with mowing and line markings for sprinkler systems. Deliveries and installation commence from Monday 26 February 2024. The Gardens are fully closed to the public from Monday 11 March 2024. The Gardens are handed back to the City of Melbourne on Thursday 28 March 2024.

Thus the Gardens are fully closed to the public as a result of the event for 18 days (11 March to 28 March 2024).

Any garden reinstatement works and remediation would occur after 4 April 2024.

Policy 3.4.2 - Recreation in the Carlton Gardens (relevant policy included only)

- Continue the ongoing use of the Carlton Gardens as a place of recreation.

Impact assessment

Continued use of the Carlton Gardens South as a place of passive recreation will be temporarily suspended for the duration of the event, in particular for the 18 days when the gates are locked (including the five days of the event when entry is ticketed). The set up and bump out phases will intrude into the Gardens' use as a place of passive recreation. Use of the Gardens for recreation will otherwise continue on either side of the event. The Carlton Gardens North are not part of the event and will remain accessible to the public.

For ticket buying members of the community, the event will, however, continue to allow for the public to appreciate the heritage values of the Gardens and to see and appreciate the REB in its largely original setting to an extent, which is consistent with the policy rationale for recreation in the Carlton Gardens.

Policy 3.4.3 – Public access

- Continue to provide, and maximise, public and visitor access to the REB and Carlton Gardens.

Impact assessment

Visitor access to both the Royal Exhibition Building and Carlton Gardens will continue to be provided during the show for ticketed entry, not for general public access. Access during the set up and bump out phases will be limited to contractors and exhibitors.

As a result of MIFGS 2024, access to the REB Dome Promenade for the general public will be temporarily suspended for the duration of the event. The HMP policy notes that the dome promenade is an important initiative which improves and enhances understanding and appreciation of the site. Although dome access will be closed for the 2024 event, IMG has expressed their intention of continuing to discuss this impact with Museums Victoria for future event planning.

Recommendation: Continue to explore options through stakeholder consultation for continuing and maximising public access to the REB Dome Promenade during the five-day MIFGS event for future shows.

Carlton Gardens South

Policy 3.6.1 – Cast Iron palisade fence and bluestone plinth (relevant policy included only)

- Retain and conserve the remnant portions of palisade fence, gate and bluestone plinth.
- Retain and conserve the reconstructed section of fence, gate posts and plinth to the West Forecourt.

Impact assessment

The boundary of Carlton Gardens South is delineated by a bluestone plinth that was installed as part of works for the 1880 Exhibition.

Temporary fencing will be installed around the perimeter of the Gardens for the duration of the event. IMG advises that the set-back for fence footings will be the same as for previous years.

Recommendation: Add note prepared by arborist to fencing plan to mitigate risk of infractions relating to fence posts

Policy 3.6.3 – Path system (relevant policy included only)

- Retain and conserve the layout and plan of the surviving nineteenth century path system.

Impact assessment

Paths will not be impacted or obscured by the MIFGS. The show layout utilises the existing significant pathway layout that dates from 1854 and modifications made in 1874.

Policy 3.6.4 – Ornamental lakes (relevant policy included only)

- Retain and conserve the ornamental lakes.

Impact assessment

From the information provided, no impacts are understood to be proposed to the ornamental lakes.

Policy 3.7.1 – Trees: landscape character and management of tree stock (relevant policy included only)

- Conserve the form, structure and landscape experience of the tree plantings, and improve these factors in degraded areas, where trees are in decline or where incongruous plantings have taken place.
- Preserve the distinguished landscape character of individual elements and sections of the gardens, as produced by the variety of tree species selections and the structural approaches to planting (avenues, shrubberies, and individual and clustered specimen trees) used in the c. 1880 and c. 1892 planting schemes.
- Manage trees according to horticultural and environmental best practice, within the constraints of heritage principles and obligations, and on the basis of an adopted *Tree Management and Replacement Plan* for the place.

Impact assessment

The Tree Protection Management Plan provides appropriate guidance for installation of temporary structures, lighting and power in and around trees in the Gardens, vehicular movements, and tree and ground protection measures to ensure the landscape character, lawns, and trees are protected and managed in accordance with best practice. The MIFGS Power Plan and Lighting V3 notes that no lights will be fixed to any heritage listed tree, no lamps will be touching trees.

Policy 3.7.5 – Parterre beds (relevant policy included only)

- Retain and conserve the reconstructed parterre garden beds, including the layout and form, edging and planting scheme.

Impact assessment

No changes are proposed to the parterre beds in association with the 2024 MIFGS event. No event infrastructure or exhibits are proposed in the area of the parterre beds (immediately south of the southern drive). Mitigative measures implemented in previous years will continue to be implemented including monitoring on site and the use of bollards and chains to prevent access in areas of risk in a responsive way.

Recommendation: movement of people, vehicles and equipment through the parterre beds areas should continue to be prohibited during set up and bump out activities, and restricted to asphalt pathways.

Policy 3.7.7 – Lawns

- Retain and conserve lawns as part of the overall landscape design and character, including as a setting for specimen trees.

Impact assessment

Previous MIFGS events have demonstrated that physical impacts to the lawns occur over the course of the event. The City of Melbourne, the project arborists, Serco and IMG Events are aware of these impacts. Measures are provided to avoid and minimise damage to lawns and ground compaction, such as:

- installation of ground compaction measures;
- continual communication and monitoring to immediately remove vehicles that stray onto lawn areas;
- identification of areas requiring intervention such as repair or replacement (such as re-turfing, or direct seeding with some minor decompaction work); and
- turf repair and replacement.

A site inspection carried out by GML some six months later, in November 2023, shows that the lawn coverage has generally recovered through a combination of time, sunlight, moisture, and repair to affected sections. However, patchwork effects are visible. IMG have noted that they have been advised by the City of Melbourne that this is due to the City of Melbourne contractor utilising a different turf species.

Recommendation: We note and support Treelogic’s recommendation in the May 2023 post-event report, to utilise more extensively the tougher ground protection measures. We recommend the inclusion of a statement to the purchasers of ‘space-only’ sites (non-packaged sites) as drafted by IMG as follows, to be included in correspondence and/or relevant documents including the Outdoor Exhibitor Manual:

- As a requirement of the City of Melbourne all sites must have a grass protection method in place wherever foot traffic is expected within the site. Where a design is not used to protect the grass, exhibitors must use protective flooring from the show’s official supplier, No Fuss Event Hire.
- In 2024 the show will be transitioning to Supa-Trac flooring for all packaged sites. This product is preferred due to its increased accessibility, durability, reliability and capacity to protect the grass within the venue, a requirement of the venue hire from City of Melbourne.
- It is the responsibility of exhibitors to ensure that areas within your site that you expect/want show visitors to enter should be suitably floored, and any negligence or failure to order sufficient flooring may result in the show not allowing your exhibit to open or passing on any subsequent costs received due to damage to the turf.

Recommendation: Implement the recommendations in the post-event arborist’s report.

Recommendation: Appoint a turf specialist to implement turf regeneration trial areas using different techniques as a method to inform future practice.

Recommendation: Turf specialist to co-ordinate and liaise with City of Melbourne to ensure best practice approach to species selection and remediation.

Recommendation: Analyse the outcomes of the repair and replacement of turf over time to determine the most successful methods in terms of recovering the landscape character and appearance of the lawns.

Policy 3.9 – Path system (relevant policy included only)

- Ensure that significant views and vistas from within the Carlton Gardens to the REB and its dome are maintained. No permanent development should occur which would disrupt these views.
- Retain and conserve the Carlton Garden design elements which provide for, and frame views of the REB and dome.

Impact assessment

Visual impacts arising from the proposed event will result from the installation of temporary fencing around the perimeter of the Gardens and installation of temporary structures throughout the Gardens. These temporary installations will impact on views into the Gardens from the surrounding streets and areas of the World Heritage Environs Area (WHEA). Cross garden vistas would also be interrupted. Framed views of the REB dome from within the Gardens may also be impacted.

These impacts, being temporary, do not contravene the HMP policy for views and vistas in the HMP. No permanent structures are proposed that would permanently disrupt significant views. Some internal views including of the REB dome may be disrupted by temporary structures such as marquees. These views would be reinstated once the show has been removed.

Other important visual aspects of the site, in particular the prominence and landmark qualities of the REB and its dome, terminating axial vistas and prominent from the surrounding environs, would not be affected. The importance of these aspects of the World Heritage listed site are defined in the World Heritage Environs Area Strategy Plan (2009).

Policy 3.10 – Presentation (relevant policy included only)

- Avoid clutter, and the placement of vehicle, storage and waste facilities, in the immediate setting of the REB.

Impact assessment

Temporary impacts will arise from:

- use of the western forecourt for exhibitor parking during set up and bump out stages of the event, and accessible parking in association with the show;
- use of the eastern forecourt and adjacent to the eastern end of the southern façade of the REB, as exhibitor loading zones and use of the southern drive for gardens access for set up and bump out;
- use of the eastern forecourt for VIP parking during the show; and
- use of the southern drive for exhibits during the show.

No permanent structures are proposed in the immediate setting of the REB. While the setting will be disrupted for the duration of the event, an uncluttered setting would be restored after completion of the event.

Royal Exhibition Building

Policy 3.5.1 – Royal Exhibition Building envelope/ exterior (relevant policy included only)

- Retain and conserve the building exterior including the overall building envelope.
- Do not clutter the areas surrounding the REB façade with new structures, enclosures, permanent car parking, bicycle racks or other items in proximity to the external walls.
- Do not construct or introduce elements, other than temporary elements associated with exhibitions or events, to the forecourt areas in front of the entries.
- Promote the primacy of the entry in the south façade as the original principal entry for the 1880s exhibitions.

Impact assessment

No permanent structures are proposed in the immediate setting of the REB. While the setting will be disrupted for the duration of the event, an uncluttered setting would be restored after completion of the event.

We note that the main entry for the 2024 event is on the north side of the REB, not the south side as recommended in the 2022 HMP; however, this is more appropriate given the event requires use of both the REB and Carlton Gardens. The central entry in the south elevation does serve as entry and exit between the REB and Carlton Gardens and is one of two main entry points alongside the public entry on Victoria Street.

Policy 3.5.3 – Main Hall, nave and transepts (relevant policy included only)

- Retain and conserve all original internal fabric and decoration.

Impact assessment

The Draft 2024 MIFGS Contractor Induction and Draft 2024 MIFGS Exhibitor Induction documents make reference to the heritage values of the site, namely its inscription on the World Heritage Register, National Heritage List and Victorian Heritage Register.

The MIFGS Indoor Retail Exhibitor Manual and MIFGS Floral Design Exhibitor Manual documents reference the World Heritage listing, and also note the National Heritage List and Victorian Heritage Register. Measures designed to protect the venue are outlined in Section 2.7 Venue Protection & Regulations of the Indoor Retail Exhibitor Manual (Section 2.8 of the Floral Design Exhibitor Manual).

Guidelines relevant to the conservation of all original internal fabric and decoration include those relating to use of adhesives and tapes, and not painting any area of the venue under any circumstances. All venue regulations are designed to safeguard the physical fabric of the venue and its overall integrity.

We note that a site inspection is carried out both before and after the event with organisers meeting with exhibitors following the dismantling of their display.

Recommendation: IMG should continue to brief all staff, exhibitors and contractors (in particular food and beverage staff) about the importance of the building’s physical fabric and that it is protected during set up, event duration, and bump out.

Recommendation: Freestanding signage and site furniture such as seating or bins should continue to be sited to avoid physical impacts on the building and minimise visual impacts.

Recommendation: Infrastructure and equipment related to the 'high tea' area and food and drinks should continue to be located clear of any walls or decorative pillars and should be as unobtrusive as possible. Care should be taken when positioning chairs to minimise potential of impacts with columns.

Recommendation: Ensure that installation of power and lighting infrastructure and equipment continues to avoid any physical impact on the fabric of the REB. Infrastructure should be sited to be visually unobtrusive.

Policy 3.5.6 – Decoration (relevant policy included only)

- Retain and conserve the interior decoration.

Impact assessment

The MIFGS Contractor Induction and MIFGS Exhibitor Induction documents make reference to the heritage values of the site, namely its inscription on the World Heritage Register, National Heritage List and Victorian Heritage Register.

The MIFGS Indoor Retail Exhibitor Manual and MIFGS Floral Design Exhibitor Manual documents reference the World Heritage listing, and also note the National Heritage List and Victorian Heritage Register. Measures designed to protect the venue are outlined in Section 2.7 Venue Protection & Regulations of the Indoor Retail Exhibitor Manual (Section 2.8 of the Flora Design Exhibitor Manual).

Guidelines relevant to the decorative paint scheme include those relating to use of adhesives and tapes, and not painting any area of the venue under any circumstances.

The decorative scheme is worn or damaged in several areas within the interior and efforts should be made to ensure no further deterioration occurs. This includes ensuring that no objects are allowed to lean against walls or pillars.

We note that a site inspection is carried out both before and after the event with organisers meeting with exhibitors following the dismantling of their display.

Recommendation: IMG should continue to brief all staff, exhibitors and contractors (in particular food and beverage staff) about the importance of the building's physical fabric and that it is protected during set up, event duration, and bump out.

Recommendation: Freestanding signage and site furniture such as seating or bins should continue to be sited to avoid physical impacts on the building and minimise visual impacts.

Policy 3.5.7 – Paintings and murals (relevant policy included only)

- Retain and conserve the interior paintings and murals.

Impact assessment

The MIFGS Contractor Induction and MIFGS Exhibitor Induction documents make reference to the heritage values of the site, namely its inscription on the World Heritage Register, National Heritage List and Victorian Heritage Register.

The MIFGS Indoor Retail Exhibitor Manual and MIFGS Floral Design Exhibitor Manual documents reference the World Heritage listing, and also note the National Heritage List and Victorian Heritage Register. Measures designed to protect the venue are outlined in Section 2.7 Venue Protection & Regulations of the Indoor Retail Exhibitor Manual (Section 2.8 of the Floral Design Exhibitor Manual).

Guidelines relevant to paintings and murals include those relating to use of adhesives and tapes (not permitted), and not painting any area of the venue under any circumstances.

We note that a site inspection is carried out both before and after the event with organisers meeting with exhibitors following the dismantling of their display.

Recommendation: IMG should continue to brief all staff, exhibitors and contractors (in particular food and beverage staff) about the importance of the building’s physical fabric and that it is protected during set up, event duration, and bump out.

Recommendation: Freestanding signage and site furniture such as seating or bins should continue to be sited to avoid physical impacts on the building and minimise visual impacts.

Recommendation: Continue to monitor the set-up of the event to ensure views toward the central murals are not obscured, particularly at the gallery level.

5.2 Summary of impact assessment

5.2.1 Visual impacts

Visual impacts arising from the proposed event will result from the installation of temporary fencing around the perimeter of the Gardens and installation of temporary structures throughout the Gardens. These temporary installations will impact on views into the Gardens from the surrounding streets and areas of the WHEA. Cross garden vistas would also be interrupted.

Other important visual aspects of the site, in particular the prominence and landmark qualities of the Royal Exhibition Building and its dome, terminating axial vistas and prominent from the surrounding environs, would not be permanently affected. The importance of these aspects of the World Heritage listed site are defined in the *Royal Exhibition Building and Carlton Gardens World Heritage Management Plan—Part 1: Overview Site Management Plan—Draft Report (2022)*.

Internal axial views should not be permanently impacted.

These visual impacts are considered acceptable on balance, as the proposed fencing and temporary structures will support a use that respects the heritage values of the place, and because the proposed actions resulting in these visual impacts are temporary, not permanent.

During the event, in spite of the identified visual impacts, it should still be possible to appreciate aspects of the significance of the Gardens, such as its classically modified Gardenesque design, its relationship to the Royal Exhibition Building (as setting), the layout of the Gardens, the radial and serpentine pattern of tree-lined linear pathways, landscape character and mature trees, the formal garden beds (parterres), and axial views.

5.2.2 Physical impacts

There is potential for the proposed works to result in physical impacts to the cultural significance of the Gardens and REB. This could include impacts on individual elements such as trees, lawns, kerbing and edging, decorative paint schemes and other physical fabric. Because of the significance of the trees and lawns, ground conditions and soil volumes that support their growth are also important to significance. Therefore, impacts such as soil compaction and on the lawns are important considerations.

The exterior physical fabric of the REB is significant, as are all elements within the interior, and great care must be taken before, during and after the event to ensure there is no physical damage to any of these elements. Objects should not come into contact with the physical fabric of the REB (other than the floor) therefore it is essential that ongoing monitoring of activity by staff, exhibitors and contracts is maintained throughout the event. Some areas of decorative paintwork are in a particularly fragile state, including areas at ground level readily accessed by visitors (see for example Figure 2.83 and 2.118).

5.2.3 Use impacts

In terms of use, Article 1.11 of the *Burra Charter* (2013) states the following in relation to compatible use:

Compatible use means a use which respects the cultural significance of a *place*. Such a use involves no, or minimal impact on cultural significance.

Significance is embodied in the continuity of public use of Carlton Gardens South as a public garden, and as the setting for the Royal Exhibition Building and other areas of the Exhibition Reserve, and in their association with the continued original purpose of the Exhibition Reserve for exhibitions and displays. The use of the Gardens in association

with an exhibition event would respect the cultural significance of the place and is therefore appropriate, providing that the final details of the event will ensure this use involves no or minimal impacts on cultural significance. Significance is also embodied in the continued original use and purpose of the Royal Exhibition Building and Carlton Gardens for exhibitions and displays. The use of the REB in association with an exhibition event would respect the cultural significance of the place and is therefore appropriate, providing that the final details of the event will ensure this use involves no or minimal impacts on cultural significance.

Use of the REB Dome Promenade is an important initiative which improves and enhances the ability to understand and appreciate the history and significance of the place. This is recognised in the updated HMP. Although dome access will be closed for the 2024 MIFGS event, future arrangements for simultaneous Public Access to both MIFGS and the REB Dome Promenade experience are part of ongoing stakeholder discussions for future MIFGS events.

5.2.4 Post-event records

The post-event report prepared by Treelogic (Arb Report 012609 – MIFGS 2023 Post-Event HV.pdf) notes that there were no Medium or Major infractions (Treelogic, May 2023:13-15).

Recommendation: Implement the seventeen recommendations contained in the Treelogic post-event report (Treelogic 2023:11-12).

5.3 Provide reasons why the proposed works should be supported

Reasons why the proposed works should be supported are related to reasonable use and economic use, required to be considered under Section 101(2)(b) of the Victorian *Heritage Act 2017*).

The proposed works associated with the Melbourne International Flower Garden Show event should be supported. The event continues an aspect of the World and National Heritage significance of the place, namely its continued original purpose for exhibitions and displays. Both the Gardens and exhibition building were planned for the 1880 and 1889 international exhibitions, but as permanent developments, they were intended to have a future role in the cultural activities of the city. The annual temporary MIFGS exhibition will enable their use in association with an exhibition that supports industry (horticulture, garden design). The shows are intended to showcase and celebrate

development and achievement in horticultural practice and garden design, which is considered reasonable and appropriate in the context of the cultural significance of the place.

The Gardens continue their long-standing use as a public park. General public use of Carlton Gardens South, which is a key continuous component of the historic significance of the place, will however be interrupted for the duration of the event. This is considered reasonable because the use that necessitates closure of the Gardens to general use by the public will be temporary, will be of relatively short duration, remains open for ticketed entry for five days of the 18-day closure to general use period, and would respect the significance of the registered place.

The visual impacts on the REB from signage, temporary fencing, short term parking for unloading/loading during bump in and bump out would be minor and temporary. The major landmark qualities of the REB dome from the surrounding environs would not be impacted.

The measures proposed to avoid or mitigate adverse physical impacts are generally considered appropriate to the cultural heritage significance of the place.

Recommendations to mitigate residual impacts are provided in Section 7 below.

In terms of economic use, the event is intended to support and generate interest and enthusiasm in horticultural, floral and garden design industries which would be of economic benefit to the participants (exhibitors and retail) and more generally to their industries.

Costs associated with protection of the Gardens and REB for the duration of the event, including monitoring and remediation works following the event, will be borne by IMG from funds raised in association with the event (but overseen by the City of Melbourne and Museums Victoria). As stated in the exhibitor manuals, costs to repair damage caused by exhibitors will be the responsibility of the exhibitor at fault. The process would be managed by IMG.

The Carlton Gardens and REB are not located within a World Heritage Environs Area (WHEA) but are surrounded by a broad buffer zone (the WHEA). The visual impacts on internal vistas within the Gardens and on views from surrounding streets into the Gardens (from the WHEA) will be temporary. The major landmark qualities of the REB dome from the surrounding environs will not be impacted.

6 Conclusion

In assessing the potential impacts of the proposed works associated with the MIFGS event on the Carlton Gardens and REB over the next four years, visual, physical, use and post-event factors have been taken into consideration. On balance, these impacts are considered generally appropriate because they will be temporary and because there are measures in place that provide for potential adverse impacts to be avoided or appropriately mitigated.

Visual impacts on the Carlton Gardens will arise from the installation of temporary perimeter fencing and temporary structures. These temporary installations will impact on views into the Gardens from the surrounding streets and areas of the WHEA, and on internal views within the Gardens. These impacts are considered acceptable on balance, as the proposed fencing and structures will have a temporary impact and will support a use that is consistent with the heritage values of the place.

Visual impacts on the Royal Exhibition Building are also considered generally appropriate because they will be temporary. External visual impacts on the REB and the Exhibition Reserve include the installation of temporary perimeter fencing and ticket booths at the north entry and other temporary works, such as signage, barricades, and vehicles associated with bump in and bump out. These works will impact on views of the building in its landscape setting from the surrounding streets and areas of the WHEA, however they are considered acceptable, as the proposed equipment will support a use that is consistent with the heritage values of the place, and because the proposed actions resulting in these visual impacts are considered minor and temporary. Internal visual impacts are also considered to be minor and temporary, particularly if care is taken to ensure the views toward the central murals or other significant elements are not obscured.

The combination of proactive and reactive mitigative measures and ongoing improvements proposed should ensure the potential for substantial or longer-term physical impacts (such as impacts on trees, compaction of the ground and harm to physical fabric of the REB) and on the cultural significance of the place can be avoided or appropriately mitigated.

The constraint of locating heavy temporary containers and toilets blocks on hard-paved surfaces is appropriate.

While general use of the Gardens for public recreation will be temporarily suspended during the setting up, duration and removal of the MIFGS event, and ticketed public entry only possible for the duration of the show, the event is temporary and the

limitations on general public access for passive recreation will be for a relatively short period.

Access to the REB Dome Promenade is closed to the general public for the duration of the event. Museums Victoria and IMG has, to date, settled that continued access would not be possible because the access points for the Dome are within the hired space. It is recommended that options to retain general public access to the REB Dome Promenade concurrently with future MIFGS events be further explored.

Overall, the processes in place to proactively manage potential impacts are appropriate, with recommendations outlined in Section 7 below. IMG also continues to revise and update their processes in a way that is responsive to any issues that arise each event, which is positive for the heritage values of the place.

7 Summary of recommendations

Recommendations made throughout the report in response to specific aspects of the MIFGS event and its associated documentation and processes, and made in response to issues identified in the assessment of heritage impacts, follow:

7.1.1 Vehicle movement

Recommendation: In addition to the vehicle management requirements, ensure physical elements of the Gardens on vulnerable corners (for example, the physical fabric of bluestone edges, concrete edging, lawns at pathway intersections) are appropriately protected by barriers or on the ground staff and by mentioning these in inductions.

Recommendation: It is recommended that some form of barrier or delineation be provided near the external southeastern façade of the REB facing Southern Drive, to ensure the proposed unloading zone and subsequent vehicle-based display do not have a potential impact on the building fabric.

Recommendation: It is recommended that some form of barrier or delineation be provided near the external northwestern façade of the REB marked on the MIFGS Operations & Production map as 'Contractor zone', to ensure the activities in this zone do not have a potential impact on the building fabric.

7.1.2 Parterre beds

Recommendation: Movement of people, vehicles and equipment through the parterre beds areas should continue to be prohibited during set up and bump out activities, and restricted to asphalt pathways. Continue to implement measures to prevent encroachment.

7.1.3 Trees, lawns, ground protection

Recommendation: We note and support Treelogic's recommendation in the May 2023 post-event report, to utilise more extensively the tougher ground protection measures. IMG has confirmed that this will be included in the 2024 event. This should be reviewed regularly and increased if appropriate upon a review of performance year on year.

Recommendation: Implement the seventeen recommendations contained in the Treelogic post-event report (Treelogic 2023:11-12).

Recommendation: Analyse the outcomes of the repair and replacement of turf over time, to determine the most successful methods in terms of recovering the landscape character and appearance of the lawns.

Recommendation: Add note prepared by arborist to fencing plan to mitigate risk of infractions relating to fence posts.

7.1.4 Public access

Recommendation: Explore options for continuing and maximising public access to the REB Dome Promenade during the five-day MIFGS event for future shows.

Recommendation: IMG should continue to brief all staff, exhibitors and contractors (in particular food and beverage staff) about the importance of the building’s physical fabric and that it is protected during set up, event duration, and bump out.

Recommendation: Continue to ensure views toward the central murals are not obscured, particularly at the gallery level.

Recommendation: Continue to ensure that freestanding signage and site furniture such as seating or bins are sited to avoid physical impacts on the building and to minimise visual impacts.

Recommendation: Continue to ensure that infrastructure and equipment related to the ‘high tea’ area and level 1 food and beverage area are located clear of any walls or decorative pillars and are as unobtrusive as possible.

Recommendation: Continue to ensure that installation of power and lighting infrastructure and equipment avoids any physical impact on the fabric of the REB. Infrastructure should be sited to be visually unobtrusive.

7.1.5 Reviewing and updating procedures and documentation

Recommendation: It is recommended that if significant growth or changes to the exhibitor numbers, infrastructure or ancillary services occur, then this is raised and addressed in the pre-event process.

Recommendation: It is recommended that IMG adds a note regarding the cultural heritage significance of the place to the bump in/out plan which will be provided.

Recommendation: It is recommended that IMG continues to highlight to event staff and traffic marshals the vulnerability of the bluestone corners and concrete kerbing around the forecourt roundabouts and driveways.

Recommendation: It is recommended that access to areas marked restricted access be carefully managed and continually monitored due to low hanging branches. Temporary bollards should be installed as a mitigation measure.

Recommendation: A post-event handover is completed each year with Museums Victoria, any damage to the floor or other physical fabric of the REB is recorded in a post event damage report. It is recommended that this report continues to be used to inform improvements to any relevant event documentation or procedures.

Recommendation: Review the list of infractions highlighted in the arborist's post-event report and where possible update future revisions of MIFGS documentation to include advice, policies or procedure documents which minimise impact of future incidents.

Recommendation: It is recommended that if significant growth or changes to the exhibitor numbers, infrastructure or ancillary services occur, then this is raised and addressed in the pre-event process.

Recommendation: Overarching recommendation for IMG produced documents:

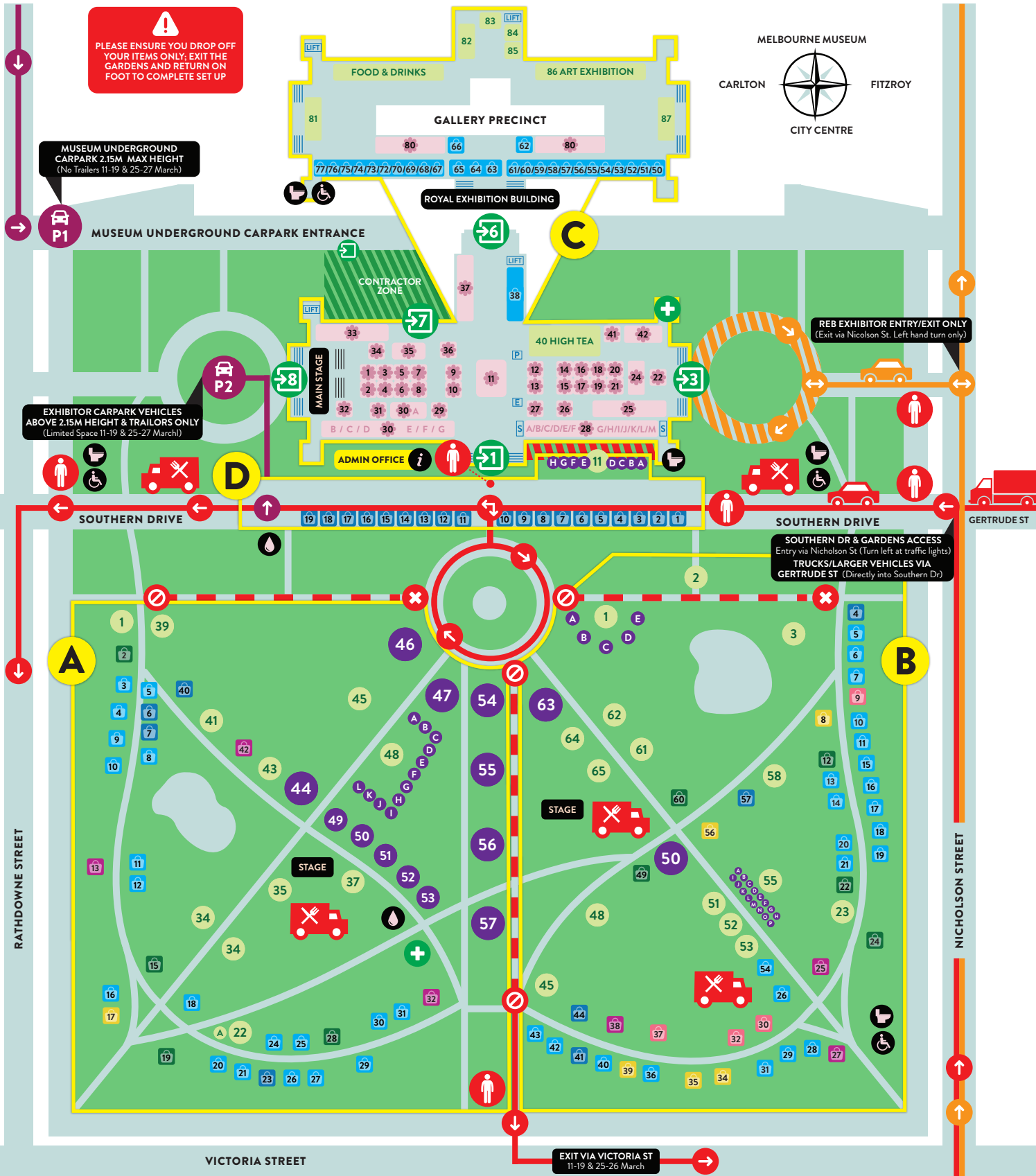
- Adopt a systematic file naming convention, to include Year, Short title, version number (ie Version 1)
- Make sure the same title appears at the top of the document
- Immediately below the title, or in the footer, or a table at the end of the document, include a quality control table that records:
 - o Date reviewed: XX Month 202X
 - o Date updated: XX Month 202X
- Insert new rows above for additional updates (ie as opposed to overriding existing rows).

Appendix A

MIFGS – OPERATIONS & PRODUCTION MAP 2024



MIFGS – OPERATIONS & PRODUCTION MAP



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|-------------------------------------|--|-------------------------|---------------------------|-----------------|--------------------|
| BUMP IN / OUT & PARKING: | | EXHIBITOR SITES: | | GENERAL: | |
| | SITE ZONES | | 18M2 SITE | | TOILETS |
| | SOUTHERN DRIVE & GARDENS EXHIBITORS | | 36M2 SITE | | WATER FOUNTAIN |
| | REB EXHIBITORS | | 100M2 SITE | | ADMIN OFFICE |
| | REB EXHIBITORS LOAD / UNLOAD ZONE | | GARDEN DESIGNS | | ACCESSIBLE TOILETS |
| | SOUTHERN DRIVE & GARDENS EXHIBITORS LOAD / UNLOAD ZONE | | CUSTOM EXHIBITOR | | |
| | CONTRACTOR ZONE | | FLORAL | | |
| | REB DOORS | | | | |
| | SECURITY STAFF | | | | |
| | EXHIBITOR PARKING | | | | |
| | NO ACCESS | | | | |
| | RESTRICTED ACCESS | | | | |
| | FIRST AID | | | | |
| | | PACKAGED OPTIONS | SPACE ONLY OPTIONS | | |
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| | | FEATURE SITES | | | |
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