



21 February 2024

Heritage Victoria

Dear Heritage Victoria

**RE: HERITAGE VICTORIA PERMIT APPLICATION
VHR 714 – 222 TORQUAY ROAD, GROVEDALE**

NovoPlanning acts for Kobi Security and lodges this application for an extension to the existing medical centre at 222 Torquay Road, Grovedale (VHR714). This application also applies to 1/5 & 2/5 Gallager Close, Grovedale which is not affected by the VHR714.

It is proposed to increase the existing medical centre to the east of the existing buildings. The City of Greater Geelong has issued a planning permit for the proposed use and development – PP1313-2008D.

The purpose of the application seeks to increase the number of practitioners from 12 practitioners to 16 practitioners. The proposed extension is located to the rear of the existing building (to be constructed over the existing car park) and will continue the existing building form and the existing extension. There is no interface with the German Cottage which has frontage to Torquay Road.

This request is supported by a Heritage Impact Statement.

If you have further queries, please contact myself on 0417 036 702 or kirsten@novoplanning.com.au.

Yours sincerely

A handwritten signature in blue ink that reads "Kirsten Kilpatrick".

KIRSTEN KILPATRICK
Director – Town Planning & Strategic Advice

HERITAGE IMPACT STATEMENT

Heritage Impact Statement for:

German Cottage

Victorian Heritage Register Number:

HO0714

Heritage Impact Statement forms part of a permit application for:

An 828.4m² two storey extension is located to the rear of the existing building (to be constructed over the existing car park). The proposed works are not physically connected to the German Cottage which is located at the front of site. The building line will continue in the same form and height.

The proposed works will have no impact on the place of significance being the weatherboard heritage cottage. All the works are located to the rear of the site and connected to the recent contemporary addition. The new addition will be of the same building line as the addition.

Pre-application meeting number

HER561

It is acknowledged that the site containing the existing heritage cottage has undergone a level of alteration, having been converted into medical suites, however, the proposed works will require a permit application to be submitted under Section 93(1) of the Heritage Act 2017 (the Act) for approval by the Executive Director, Heritage Victoria.

Address and location description

The subject site is located on Torquay Road, Grovedale in a residential area. The proposed works are located to the rear. No works are proposed near or abutting the German Cottage.

Prepared by

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Prepared for

Kobi Security

Date

21.02.2024

SIGNIFICANCE OF THE PLACE

The Cottage at 224 Torquay Road, Grovedale is an early example of a German settler's Cottage located in one of the earliest and most important of early German settlements in Victoria in the mid nineteenth century, Germantown (now Grovedale). The property is one of the last surviving of the early settlement and is distinctive and original both in its form and methods of construction.

Existing Conditions

The site currently operates as a medical centre. The rear addition is a modern extension with associated parking.



Figure 1 - Existing building



Figure 2 - Subject site

Constraints and opportunities

The site is currently used as a medical centre and seeks to expand its operations. The proposed extension will not have an impact on the heritage integrity of the German Cottage as it is located to the rear.

PROPOSAL

An 828.4m² two storey extension is located to the rear of the existing building (to be constructed over the existing car park). The proposed works are not physically connected to the German Cottage which is located at the front of site. The building line will continue in the same form and height.

The proposed works will have no impact on the place of significance being the weatherboard heritage cottage. All the works are located to the rear of the site and connected to the recent contemporary addition. The new addition will be of the same building line as the addition.

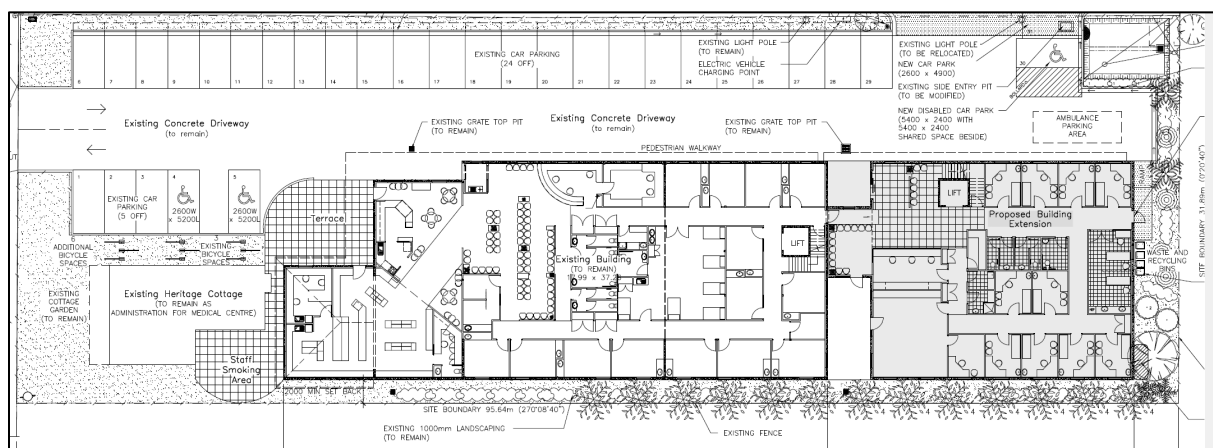


Figure 3 - Plans

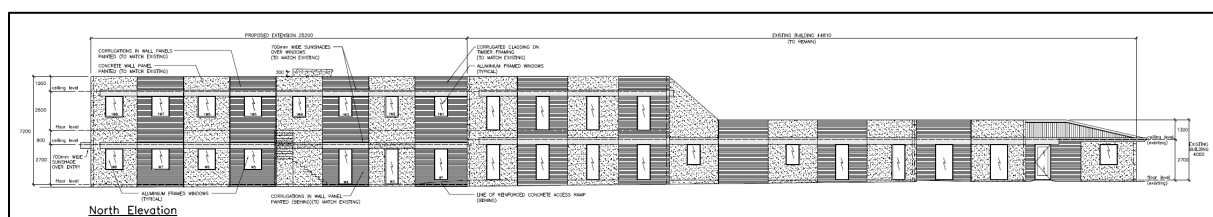


Figure 4 - Elevations

HERITAGE ASSESSMENT

The proposal will not have an impact in the cultural heritage significance of the registered place. The works are separated from the building of significance, the German Cottage, and at the rear of the site. The works will not have an impact on neighbouring heritage places.

A planning permit has been issued by the City of Greater Geelong in which the local heritage matters were considered.

As there will be not physical works associated with the German Cottage and the proposed works are behind the existing building line, it is requested that Heritage Victoria support this application.

SUMMARY

A permit is required under the Heritage Act, the proposed works will not have a detrimental impact on the heritage values of the existing building or surrounding area. The proposed works are not attached to the building and will therefore impact on the cultural significance or integrity of the building.