

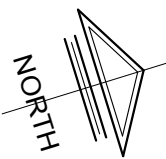
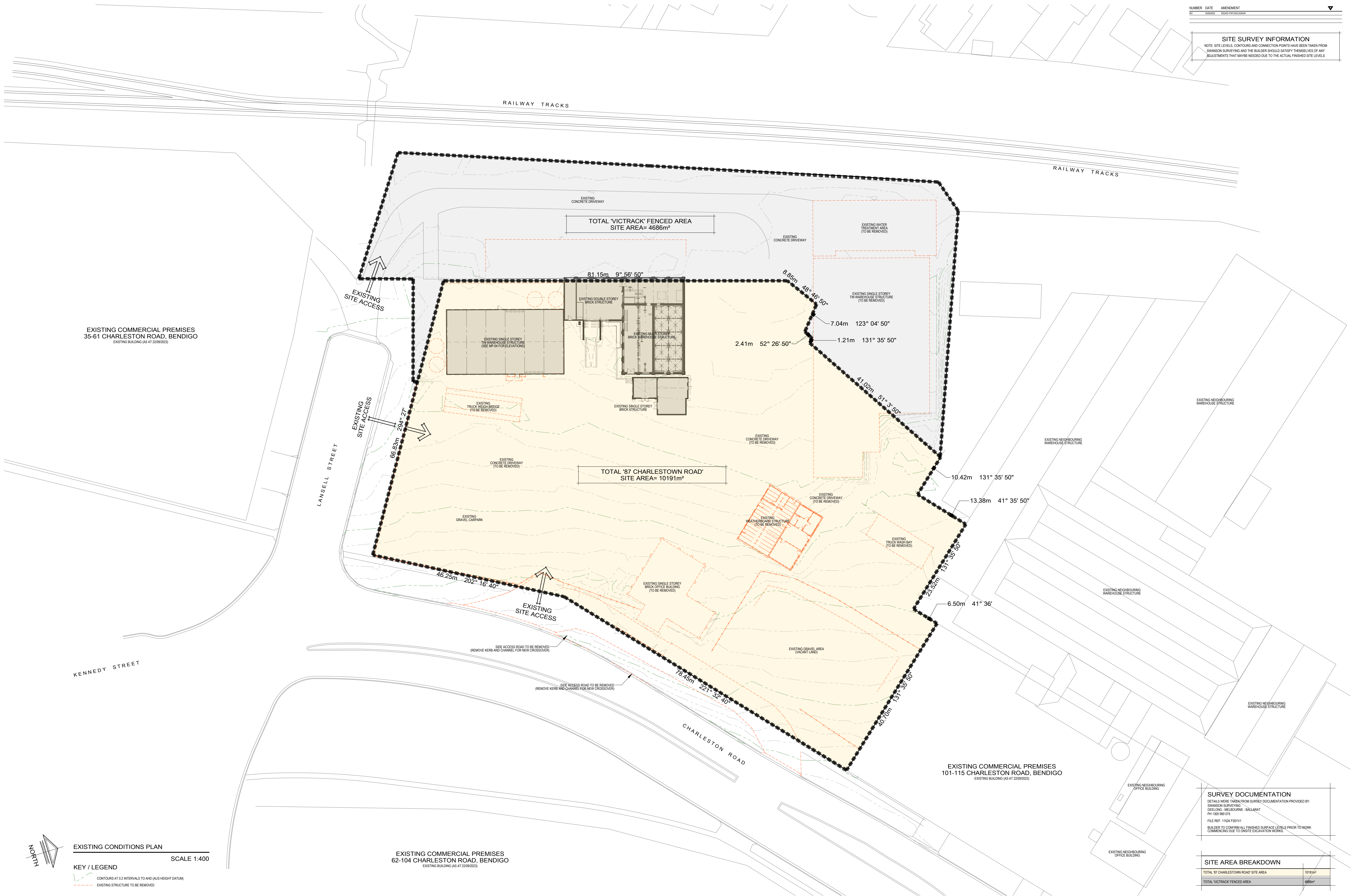
REDEVELOPMENT WORKS  
AT 87 CHARLESTON ROAD, BENDIGO

PROPOSED MASTER PLANNING DRAWINGS

PROJECT OUTLINE	
MP-01	COVER PAGE
MP-02	EXISTING CONDITIONS PLAN
MP-03	PROPOSED SUBDIVISION PLAN
MP-04	PROPOSED MASTER PLAN
MP-05	SITE DEVELOPMENT PLAN (LOT 1 & LOT 2)
MP-06	SITE DEVELOPMENT PLAN (LOT 3)
MP-07	PROPOSED FLOOR PLAN (TENANCY 1 & 2)
MP-08	PROPOSED FLOOR PLAN (TENANCY 3)
MP-10	PROPOSED ELEVATIONS AND COLOURS & MATERIALS SCHEDULE

NUMBER	DATE	AMENDMENT
01	04/03/23	ISSUED FOR DISCUSSION

**SITE SURVEY INFORMATION**  
NOTE: SITE LEVELS, CONTOURS AND CONNECTION POINTS HAVE BEEN TAKEN FROM SWANSON SURVEYING AND THE BUILDER SHOULD SATISFY THEMSELVES OF ANY ADJUSTMENTS THAT MAY BE NEEDED DUE TO THE ACTUAL FINISHED SITE LEVELS



**EXISTING CONDITIONS PLAN**  
SCALE 1:400  
**KEY / LEGEND**  
--- CONTOURS AT 0.2 INTERVALS TO AHD (AUS HEIGHT DATUM)  
--- EXISTING STRUCTURE TO BE REMOVED

**EXISTING COMMERCIAL PREMISES**  
62-104 CHARLESTON ROAD, BENDIGO  
EXISTING BUILDING (AS AT 22/09/2022)

**EXISTING COMMERCIAL PREMISES**  
101-115 CHARLESTON ROAD, BENDIGO  
EXISTING BUILDING (AS AT 22/09/2022)

**SURVEY DOCUMENTATION**  
DETAILS WERE TAKEN FROM SURVEY DOCUMENTATION PROVIDED BY:  
SWANSON SURVEYING  
GEELONG - MELBOURNE - BALLARAT  
PH 1300 990 075  
FILE REF: 11524 FSDV1  
BUILDER TO CONFIRM ALL FINISHED SURFACE LEVELS PRIOR TO WORK COMMENCING DUE TO DIGITE EXCAVATION WORKS

**SITE AREA BREAKDOWN**

TOTAL '87 CHARLESTOWN ROAD' SITE AREA	10191m²
TOTAL 'VICTRACK' FENCED AREA	4686m²

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PO Box 627, Ballarat  
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**EXISTING CONDITIONS PLAN**  
**REDEVELOPMENT WORKS AT 87 CHARLESTON ROAD, BENDIGO**

PROJECT NUMBER:	2021-089	DRAWING NUMBER:	MP-02
DATE:	JUNE 2023	ISSUED:	FOR DISCUSSION
DRAWN BY:	LJENNINGS	SHEET:	02 OF 09
CHECKED BY:	LJENNINGS	SCALE:	1:400 @ A1
REGISTERED BUILDING PRACTITIONER - LUKE JENNINGS DP-AD 30993			



NUMBER	DATE	AMENDMENT
01	04/06/2025	ISSUED FOR DISCUSSION

**SITE SURVEY INFORMATION**  
NOTE: SITE LEVELS, CONTOURS AND CONNECTION POINTS HAVE BEEN TAKEN FROM SWANSON SURVEYING AND THE BUILDER SHOULD SATISFY THEMSELVES OF ANY ADJUSTMENTS THAT MAYBE NEEDED DUE TO THE ACTUAL FINISHED SITE LEVELS



NORTH

PROPOSED SUBDIVISION PLAN

SCALE 1:400

KEY / LEGEND

CONTOURS AT 0.2 INTERVALS TO AHD (AUS HEIGHT DATUM)

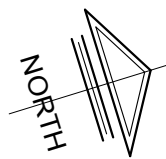
**SURVEY DOCUMENTATION**  
DETAILS WERE TAKEN FROM SURVEY DOCUMENTATION PROVIDED BY:  
SWANSON SURVEYING  
GEOLOGIC NEIGHBOURNE - BALLARAT  
PH 1300 990 075  
FILE REF: 11524 FSDV1  
BUILDER TO CONFIRM ALL FINISHED SURFACE LEVELS PRIOR TO WORK COMMENCING DUE TO DIGITE EXCAVATION WORKS

SITE AREA BREAKDOWN	
PROPOSED LOT 1 SITE AREA	2814m²
PROPOSED LOT 2 SITE AREA	2816m²
PROPOSED LOT 3 SITE AREA	4561m²
TOTAL 'VICTRACK' FENCED AREA	4686m²



NUMBER	DATE	AMENDMENT
01	04/06/2025	ISSUED FOR DISCUSSION

**SITE SURVEY INFORMATION**  
NOTE: SITE LEVELS, CONTOURS AND CONNECTION POINTS HAVE BEEN TAKEN FROM SWANSON SURVEYING AND THE BUILDER SHOULD SATISFY THEMSELVES OF ANY ADJUSTMENTS THAT MAYBE NEEDED DUE TO THE ACTUAL FINISHED SITE LEVELS



PROPOSED MASTER PLAN  
SCALE 1:400  
KEY / LEGEND  
CONTOURS AT 0.2 INTERVALS TO AHD (AUS HEIGHT DATUM)

EXISTING COMMERCIAL PREMISES  
62-104 CHARLESTON ROAD, BENDIGO  
EXISTING BUILDING (AS AT 22/09/2023)

EXISTING COMMERCIAL PREMISES  
101-115 CHARLESTON ROAD, BENDIGO  
EXISTING BUILDING (AS AT 22/09/2023)

**SURVEY DOCUMENTATION**  
DETAILS WERE TAKEN FROM SURVEY DOCUMENTATION PROVIDED BY:  
SWANSON SURVEYING  
GEELONG, VICTORIA - BALLARAT  
PH 1300 990 075  
FILE REF: 11524 FSDV1  
BUILDER TO CONFIRM ALL FINISHED SURFACE LEVELS PRIOR TO WORK COMMENCING DUE TO DIGITE EXCAVATION WORKS

SITE AREA BREAKDOWN	
PROPOSED LOT 1 SITE AREA	2814m²
PROPOSED LOT 2 SITE AREA	2816m²
PROPOSED LOT 3 SITE AREA	456m²
TOTAL 'VICTRACK' FENCED AREA	4686m²

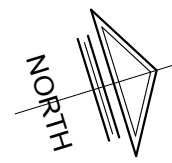
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PROPOSED MASTER PLAN  
REDEVELOPMENT WORKS AT 87 CHARLESTON ROAD, BENDIGO

PROJECT NUMBER:	2021-089	DRAWING NUMBER:	MP-04
DATE:	JUNE 2025	ISSUED:	FOR DISCUSSION
DRAWN BY:	LJENNINGS	SHEET:	54 OF 59
CHECKED BY:	LJENNINGS	SCALE:	1:400 @ A1
REGISTERED BUILDING PRACTITIONER - LUKE JENNINGS DP-AD 30993			





SITE DEVELOPMENT PLAN (LOT 1 & LOT 2)  
SCALE 1:200  
KEY / LEGEND  
CONTOURS AT 0.2 INTERVALS TO AHD (AUS HEIGHT DATUM)





NUMBER	DATE	AMENDMENT
01	04/03/2024	ISSUED FOR DISCUSSION

EXISTING NEIGHBOURING WAREHOUSE STRUCTURE

PROPOSED FLOOR PLAN (TENANCY 3)  
REFER TO MP-08 FOR DETAILS

EXISTING NEIGHBOURING WAREHOUSE STRUCTURE

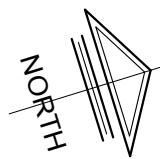
EXISTING NEIGHBOURING WAREHOUSE STRUCTURE

EXISTING COMMERCIAL PREMISES  
101-115 CHARLESTON ROAD, BENDIGO  
EXISTING BUILDING (AS AT 22/09/2023)

PROPOSED FLOOR PLAN (TENANCY 1 & 2)  
REFER TO MP-07 FOR DETAILS

**SURVEY DOCUMENTATION**  
DETAILS WERE TAKEN FROM SURVEY DOCUMENTATION PROVIDED BY:  
SWANSON SURVEYING  
GEEELONG - MELBOURNE - BALLARAT  
PH 1300 990 075  
FILE REF: 11524 FSDV1  
BUILDER TO CONFIRM ALL FINISHED SURFACE LEVELS PRIOR TO WORK COMMENCING DUE TO ON-SITE EXCAVATION WORKS.

SITE AREA BREAKDOWN		
PROPOSED TENANCY 1 FLOOR AREA	586.94m²	63.17%
PROPOSED TENANCY 2 FLOOR AREA	839.92m²	90.40%
PROPOSED TENANCY 3 FLOOR AREA	1128.58m²	121.47%
TOTAL BUILDING FLOOR AREA	2555.44m²	56.02%
TOTAL CARPARKS AND PATHWAY AREA	1583.56m²	34.72%
TOTAL LANDSCAPING AREA	422.00m²	9.26%
TOTAL SITE AREA (LOT 3 ONLY)	4561m²	100%



SITE DEVELOPMENT PLAN (LOT 3)

SCALE 1:200

KEY / LEGEND

CONTOURS AT 0.2 INTERVALS TO AHD (AUS HEIGHT DATUM)

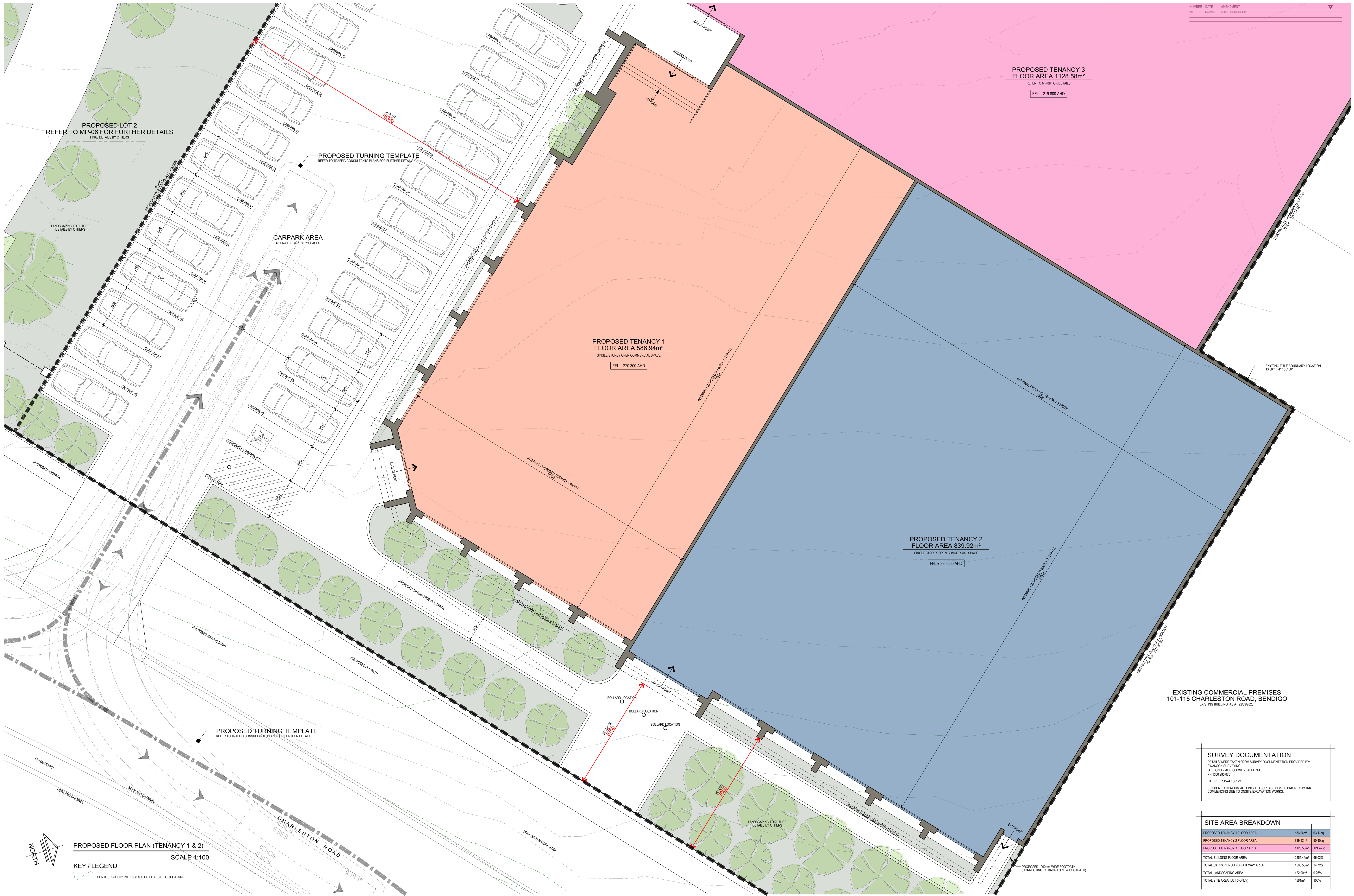
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SITE DEVELOPMENT PLAN (LOT 3)  
REDEVELOPMENT WORKS AT 87 CHARLESTON ROAD, BENDIGO

PROJECT NUMBER:	2021-089	DRAWING NUMBER:	MP-08
DATE:	JUNE 2023	ISSUED:	FOR DISCUSSION
DRAWN BY:	L JENNINGS	SHEET:	56 OF 59
CHECKED BY:	L JENNINGS	SCALE:	1:200 @ A1
REGISTERED BUILDING PRACTITIONER - LUKE JENNINGS DP-AD 30993			





NUMBER	DATE	AMENDMENT
01	2023	ISSUED FOR DISCUSSION

PROPOSED TENANCY 3  
FLOOR AREA 1128.58m<sup>2</sup>  
REFER TO MP-08 FOR DETAILS  
FFL + 219.800 AHD

PROPOSED TENANCY 1  
FLOOR AREA 586.94m<sup>2</sup>  
SINGLE STOREY OPEN COMMERCIAL SPACE  
FFL + 220.300 AHD

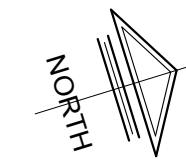
PROPOSED TENANCY 2  
FLOOR AREA 839.92m<sup>2</sup>  
SINGLE STOREY OPEN COMMERCIAL SPACE  
FFL + 220.800 AHD

EXISTING COMMERCIAL PREMISES  
101-115 CHARLESTON ROAD, BENDIGO  
EXISTING BUILDING (AS AT 22/09/2023)

**SURVEY DOCUMENTATION**  
DETAILS WERE TAKEN FROM SURVEY DOCUMENTATION PROVIDED BY:  
SWANSON SURVEYING  
GEOLOGIC - MELBOURNE - BALLARAT  
PH 1300 990 075  
FILE REF: 11524 FSDV1  
BUILDER TO CONFIRM ALL FINISHED SURFACE LEVELS PRIOR TO WORK COMMENCING DUE TO ON-SITE EXCAVATION WORKS.

**SITE AREA BREAKDOWN**

PROPOSED TENANCY 1 FLOOR AREA	586.94m <sup>2</sup>	63.17%
PROPOSED TENANCY 2 FLOOR AREA	839.92m <sup>2</sup>	90.40%
PROPOSED TENANCY 3 FLOOR AREA	1128.58m <sup>2</sup>	121.47%
TOTAL BUILDING FLOOR AREA	2555.44m <sup>2</sup>	56.02%
TOTAL CARPARKS AND PATHWAY AREA	1583.56m <sup>2</sup>	34.72%
TOTAL LANDSCAPING AREA	422.00m <sup>2</sup>	9.26%
TOTAL SITE AREA (LOT 3 ONLY)	4561m <sup>2</sup>	100%



PROPOSED FLOOR PLAN (TENANCY 1 & 2)  
SCALE 1:100

**KEY / LEGEND**

CONTOURS AT 0.2 INTERVALS TO AHD (AUS HEIGHT DATUM)

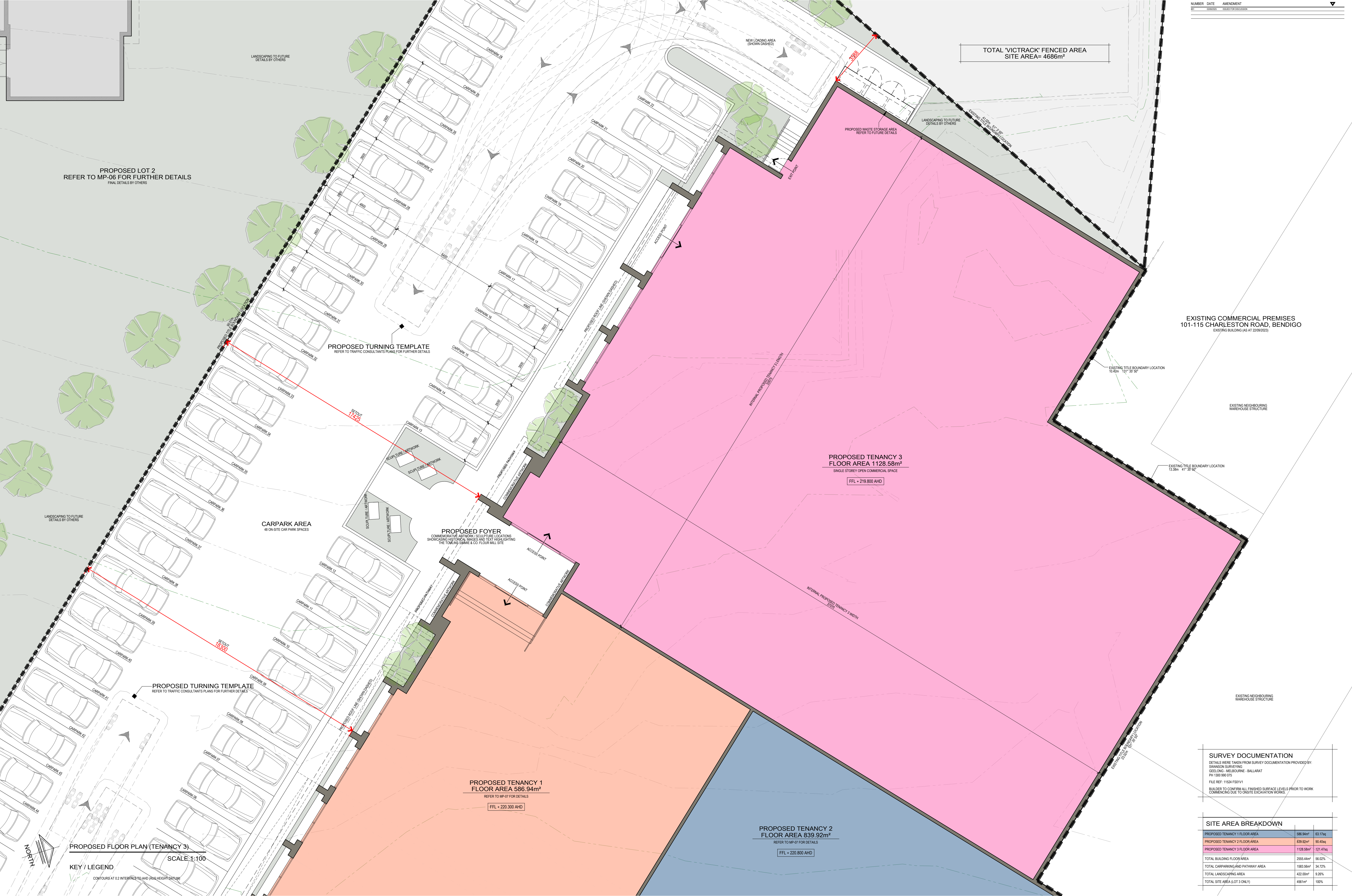
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PROPOSED FLOOR PLAN (TENANCY 1 & 2)  
REDEVELOPMENT WORKS AT 87 CHARLESTON ROAD, BENDIGO

PROJECT NUMBER:	2021-089	DRAWING NUMBER:	MP-07
DATE:	JUNE 2023	ISSUED:	FOR DISCUSSION
DRAWN BY:	L. JENNINGS	SHEET:	01 OF 09
CHECKED BY:	L. JENNINGS	SCALE:	1:100 @ A1
REGISTERED BUILDING PRACTITIONER - LUKE JENNINGS DP-AD 30993			





NUMBER	DATE	AMENDMENT
01	24/05/2025	ISSUED FOR DISCUSSION

EXISTING COMMERCIAL PREMISES  
101-115 CHARLESTON ROAD, BENDIGO  
EXISTING BUILDING (AS AT 22/09/2022)

**SURVEY DOCUMENTATION**  
DETAILS WERE TAKEN FROM SURVEY DOCUMENTATION PROVIDED BY:  
SWANSON SURVEYING  
GEEGLING - MELBOURNE - BALLARAT  
PH 1300 990 075  
FILE REF: 11524 FSDV1  
BUILDER TO CONFIRM ALL FINISHED SURFACE LEVELS PRIOR TO WORK  
COMMENCING DUE TO ON-SITE EXCAVATION WORKS

**SITE AREA BREAKDOWN**

PROPOSED TENANCY 1 FLOOR AREA	586.94m²	63.17%
PROPOSED TENANCY 2 FLOOR AREA	839.92m²	90.40%
PROPOSED TENANCY 3 FLOOR AREA	1128.58m²	121.47%
TOTAL BUILDING FLOOR AREA	2555.44m²	56.02%
TOTAL CARPARKING AND PATHWAY AREA	1583.56m²	34.72%
TOTAL LANDSCAPING AREA	422.00m²	9.26%
TOTAL SITE AREA (LOT 3 ONLY)	4561m²	100%

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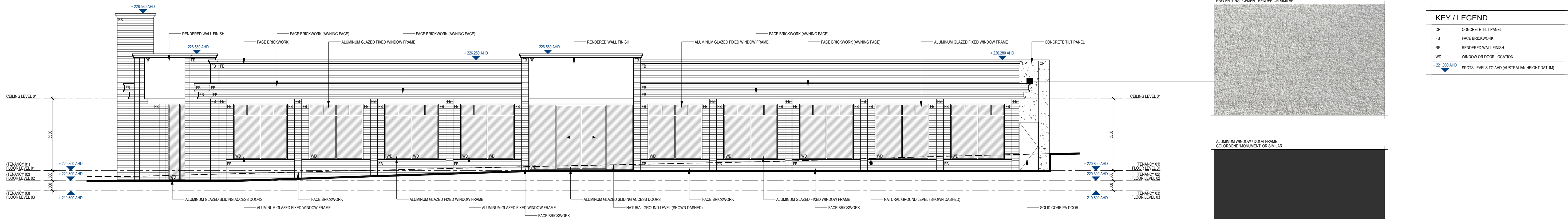
PROPOSED FLOOR PLAN (TENANCY 3)  
REDEVELOPMENT WORKS AT 87 CHARLESTON ROAD, BENDIGO

PROJECT NUMBER:	201-889	DRAWING NUMBER:	MP-08
DATE:	JUNE 2025	ISSUED:	FOR DISCUSSION
DRAWN BY:	LJENNINGS	SHEET:	08 OF 09
CHECKED BY:	LJENNINGS	SCALE:	1:100 @ A1
REGISTERED BUILDING PRACTITIONER - LUKE JENNINGS DP-AD 30993			



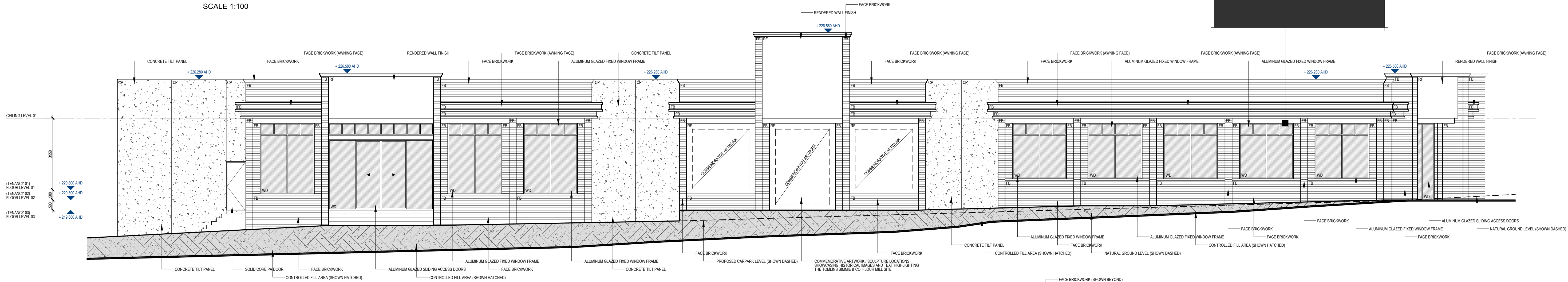
KEY / LEGEND

CP	CONCRETE TILT PANEL
FB	FACE BRICKWORK
RF	RENDERED WALL FINISH
WD	WINDOW OR DOOR LOCATION
▲	SPOTS LEVELS TO AHD (AUSTRALIAN HEIGHT DATUM)



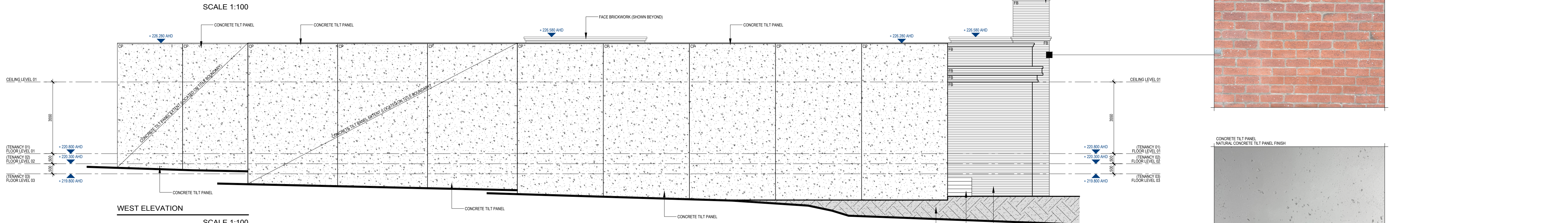
EAST ELEVATION

SCALE 1:100



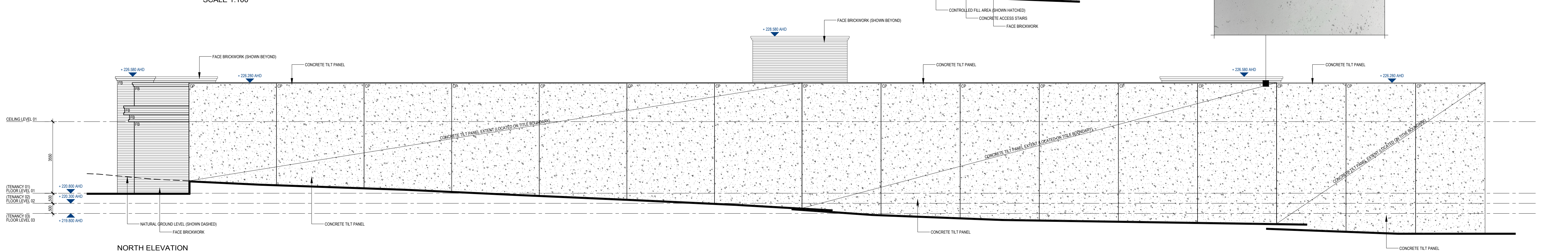
SOUTH ELEVATION

SCALE 1:100



WEST ELEVATION

SCALE 1:100



NORTH ELEVATION

SCALE 1:100