

ART GALLERY OF BALLARAT HVAC UPGRADE - HVAC WORKS

40 LYDIARD ST N, BALLARAT CENTRAL VIC 3350
BALLARAT CITY COUNCIL

HVAC		
SHEET NO.	REVISION	SHEET NAME
HVAC-A2.00	T01	COVER SHEET
HVAC-A2.01	T00	EXISTING/DEMOLITION BASEMENT REFLECTED CEILING PLAN
HVAC-A2.02	T01	EXISTING/DEMOLITION GROUND FLOOR REFLECTED CEILING PLAN
HVAC-A2.03	T00	EXISTING/DEMOLITION FIRST FLOOR REFLECTED CEILING PLAN
HVAC-A2.04	T00	EXISTING/DEMOLITION ROOF PLAN
HVAC-A2.05	T01	PROPOSED BASEMENT REFLECTED CEILING PLAN
HVAC-A2.06	T01	PROPOSED GROUND FLOOR REFLECTED CEILING PLAN
HVAC-A2.07	T00	PROPOSED FIRST FLOOR REFLECTED CEILING PLAN
HVAC-A2.08	T01	PROPOSED ROOF PLAN
HVAC-A2.09	T00	EXISTING CONDITIONS PHOTOS
HVAC-A2.10	T00	EXISTING/DEMOLITION TEMPORARY GENERATOR WORKS
HVAC-A2.11	T00	PROPOSED TEMPORARY GENERATOR WORKS
HVAC-A3.01	T01	WALL TYPE SCHEDULE
HVAC-A4.00	T00	STAGING KEY PLANS
HVAC-A4.01	T00	EXISTING/DEMOLITION BASEMENT STAGING DIAGRAM
HVAC-A4.02	T00	EXISTING/DEMOLITION GROUND FLOOR STAGING DIAGRAM
HVAC-A4.03	T00	EXISTING/DEMOLITION FIRST FLOOR STAGING DIAGRAM
HVAC-A4.04	T00	EXISTING/DEMOLITION ROOF STAGING DIAGRAM
HVAC-A4.05	T00	PROPOSED BASEMENT STAGING DIAGRAM
HVAC-A4.06	T00	PROPOSED GROUND FLOOR STAGING DIAGRAM
HVAC-A4.07	T00	PROPOSED FIRST FLOOR STAGING DIAGRAM
HVAC-A4.08	T00	PROPOSED ROOF STAGING DIAGRAM

ESD INITIATIVES

AIR LEAKAGE/BUILDING SEALING

GREEN ENERGY/ENERGY EFFICIENT LIGHTING

VOC

LOW VOC

LOCAL MANUFACTURERS, SUPPLIERS, AND CONTRACTORS

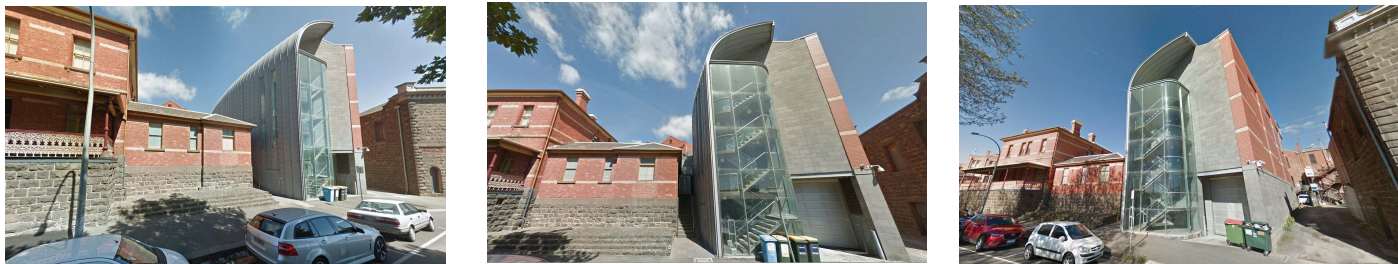
LOCAL MATERIALS

USE OF RECYCLED AND RECYCLABLE MATERIALS

STEEL

THERMAL COMFORT

Views along Camp Street



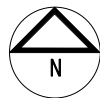
Views along Lydiard Street

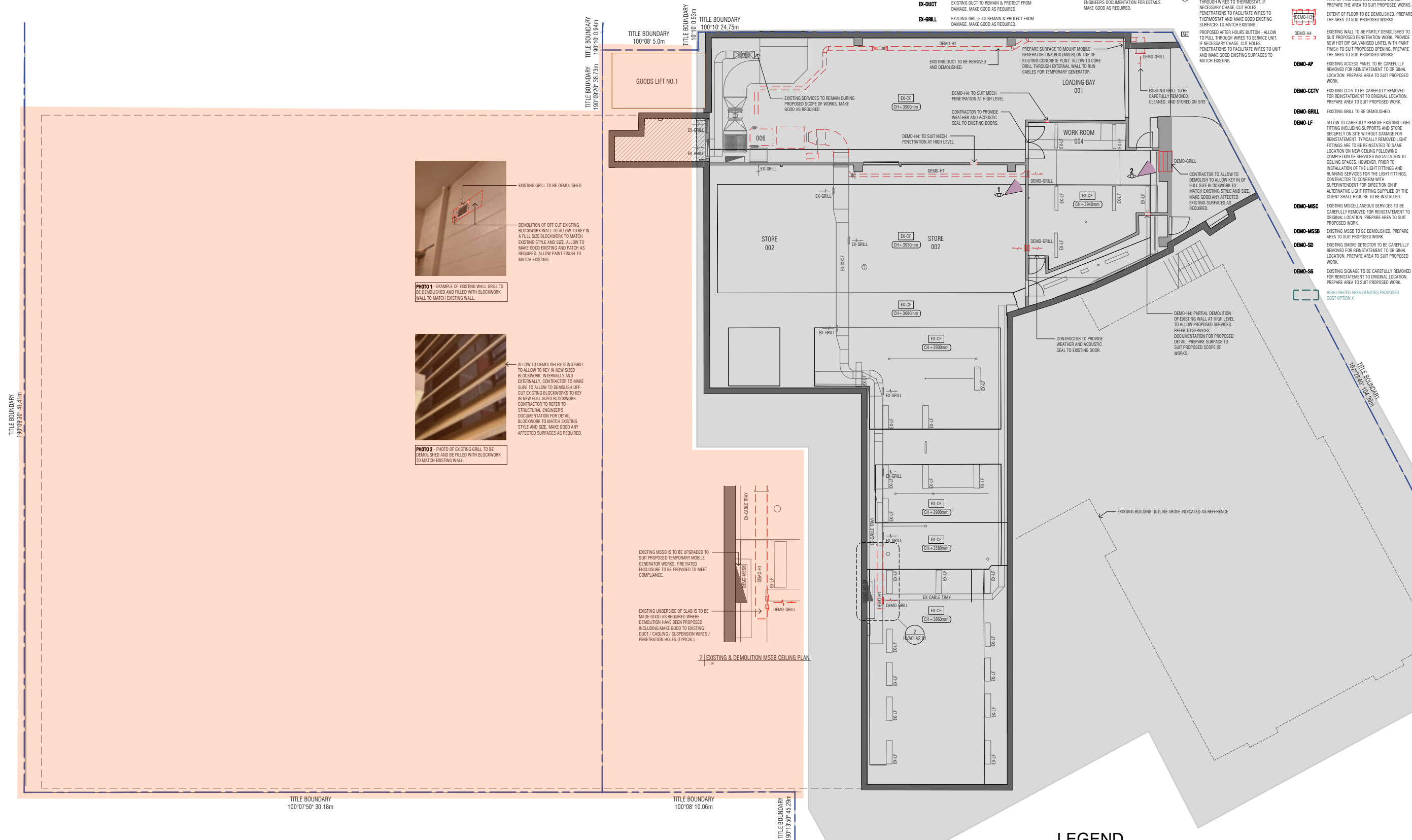


NOTE IMPORTANT.
ALL 3D IMAGING USED IN THESE DRAWINGS IS INDICATIVE ONLY. ANY 3D IMAGING IS SHOWN FOR COORDINATION PURPOSES ONLY AND IN NO WAY ARE THE 3D IMAGES SHOWN TO BE USED FOR CONSTRUCTION PURPOSES.

- GENERAL CONSTRUCTION NOTES
- 1/ IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETECT AND PROTECT ANY EXISTING UNDERGROUND SERVICES.
 - 2/ IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REINSTATE ALL SURFACES AFFECTED BY WORKS.
 - 3/ CONTRACTOR IS TO FAMILIARISE THEMSELVES WITH THE SITE CONDITIONS AND GET SUFFICIENT INFORMATION ABOUT ALL PROPOSED WORKS PRIOR TO COMMENCEMENT OF ANY WORKS.
 - 4/ CONTRACTOR TO REMOVE AND RE-INSTALL ALL EXISTING PLAQUES, SIGNS AND SIMILAR AS PER SUPERINTENDENT INSTRUCTIONS.
 - 5/ CONTRACTOR TO VERIFY ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS.
 - 6/ CONTRACTOR TO ENSURE ARCHITECTURAL AND STRUCTURAL DRAWINGS ARE READ IN CONJUNCTION WITH ALL SERVICES DRAWINGS AND SPECIFICATIONS.
 - 7/ CONTRACTOR TO COORDINATE AND PLAN BUILDING WORKS SO TO PROVIDE MINIMUM IMPACT ON WORKING STAFF.
 - 8/ CONTRACTOR TO PROVIDE ELECTRONIC COPY IN AUTOCAD FORMAT OF 'AS CONSTRUCTED' DRAWINGS FOR ALL SERVICES.

SUBJECT SITE - LED SKYLIGHT WORKS





GENERAL DEMOLITION NOTES

THE EXISTING BUILDING IS HERITAGE LISTED. DEMOLITION WORK SHALL BE COMPLETED IN A DETAILED MANNER TO AVOID ANY DAMAGE TO THE EXISTING BUILDING AND HERITAGE FABRIC WHICH IS TO REMAIN AND BE PROTECTED FULLY FROM DAMAGE. ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO, THE CURRENT & RELEVANT BUILDING REGULATIONS, THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS. REFERRED TO THEREIN. THESE NOTES SPECIFY ONLY THE MINIMUM STANDARD OF WORK FOR THE DEMOLITION WORKS ON PROJECTS, AND ALL WORKMANSHIP AND PRECAUTIONS SHALL BE TO BEST TRADE PRACTICE.

PRECAUTIONS MUST BE TAKEN BEFORE AND DURING DEMOLITION IN ACCORDANCE WITH AS 2881:2021. DEMOLITION OF STRUCTURES.

DURING THE PROGRESS OF THE DEMOLITION THE WORKS SHALL BE UNDER THE CONTINUOUS SUPERVISION OF THE DEMOLISHER OR OF AN EXPERIENCED FOREMAN, AND DEMOLITION SHALL BE EXECUTED STOREY BY STOREY IF APPLICABLE, COMMENCING AT THE ROOF AND WORKING DOWNWARDS.

THE DEMOLITION MUST NOT BE COMMENCED UNTIL THE PRECAUTIONARY MEASURES SUCH AS SURVEYS HAVE BEEN UNDERTAKEN AS SPECIFIED AND APPROVED BY THE RELEVANT BUILDING SUPERVISOR AND SUPERINTENDENT.

PROTECTIVE OUTRIGGERS, FENCES, ARROWS, HOARDING, BARRICADES AND THE LIKE MUST BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY OR WHEN REQUIRED BY THE RELEVANT AUTHORITY OR SUPERINTENDENT & MAINTAINED THROUGHOUT THE WORKS.

DUST CREATING MATERIAL, UNLESS THOROUGHLY DAMPENED DOWN, SHALL NOT BE THROWN OR DROPPED FROM THE BUILDING BUT SHALL BE LOWERED BY HOSTING APPARATUS OR REMOVED BY MATERIAL CHUTES. ALL CHUTES SHALL BE COMPLETELY ENCLOSED AND A DANGER SIGN SHALL BE AT THE DISCHARGE END OF EVERY CHUTE.

ALL PRACTICABLE PRECAUTIONS SHALL BE TAKEN TO AVOID DANGER FROM COLLAPSE OF A BUILDING WHEN ANY PART OF A FRAMED OR PARTLY FRAMED BUILDING IS REMOVED.

NO WALL, CHIMNEY OR OTHER STRUCTURE OR PART OF A STRUCTURE SHALL BE LEFT UNATTENDED OR UNSUPPORTED IN SUCH A CONDITION THAT IT MAY COLLAPSE DUE TO WIND OR VIBRATION OR OTHERWISE BECOME DANGEROUS.

BEFORE DEMOLITION IS COMMENCED, AND ALSO DURING THE PROGRESS OF SUCH WORKS, ALL ELECTRICAL CABLE OR APPARATUS WHICH ARE LIABLE TO BE A SOURCE OF DANGER - OTHER THAN CABLE OR APPARATUS USED FOR THE DEMOLITION WORKS SHALL BE DISCONNECTED.

ARRANGEMENTS SHALL BE MADE WITH THE PRINCIPAL FOR THE DISCONNECTION OF ELECTRICAL AREAS EFFECTED BY WORKS. ALLOW TO PROVIDE ALL NECESSARY TEMPORARY WIRING, CONNECTIONS AND BACK UP POWER TO MAINTAIN THE EXISTING GALLERY ART GALLERY OF BALLARAT IN FULL OPERATION FOR PROTECTION OF ART INSTALLATIONS. THE LICENSED ELECTRICAL CONTRACTOR SHALL SATISFY THE RELEVANT ELECTRICAL SUPPLY AUTHORITY THAT THE PORTION OF THE BUILDING TO BE DEMOLISHED HAS BEEN ISOLATED.

THE DEMOLISHER SHALL BE RESPONSIBLE TO CUT AND SEAL ANY STORM WATER, SEWER PIPES, WATER SERVICES, GAS SERVICES AND THE LIKE.

MATERIALS REMOVED OR DISPLACED FROM THE BUILDING SHALL NOT BE PLACED IN ANY STREET, ROAD OR RIGHT OF WAY AND, BEFORE COMMENCING, WHERE REQUIRED, SHALL BE KEPT SPRAYED WITH WATER SO AS TO PREVENT ANY NUISANCE FROM DUST.

MATERIALS REMOVED OR DISPLACED FROM THE DEMOLITION WORKS OR MATERIALS LEFT STANDING SHALL NOT BE BURNED ON THE DEMOLITION SITE.

REMOVAL OF BUILDINGS BY ROAD MUST BE APPROVED BY RELEVANT COUNCILS TRAFFIC ENGINEERS.

NB

- 1/ SERVICES SURVEY TO BE CARRIED OUT PRIOR TO ANY WORKS BEING CARRIED OUT.
- 2/ WHERE EXISTING WINDOWS(S)/ SKYLIGHT (S) ARE TO REMAIN, ALLOW TO REINSTATE ANY DAMAGED, CRACKED OR BROKEN GLAZING WITH NEW. ALL IN ACCORDANCE WITH AS1288 2021.
- 3/ THIS DRAWING DOES NOT INCLUDE ALL NECESSARY DEMOLITION WORK, CONTRACTOR TO ALLOW TO REVEAL ALL DOCUMENTATION FOR THIS PROJECT AND ALLOW FOR ALL NECESSARY DEMOLITION AND DETAILED DEMOLITION TO SUIT THE PROPOSED WORKS.
- 4/ ALL EXISTING INFORMATION DOCUMENTED IN BROWN LINES IS BASED ON SITE PHOTO

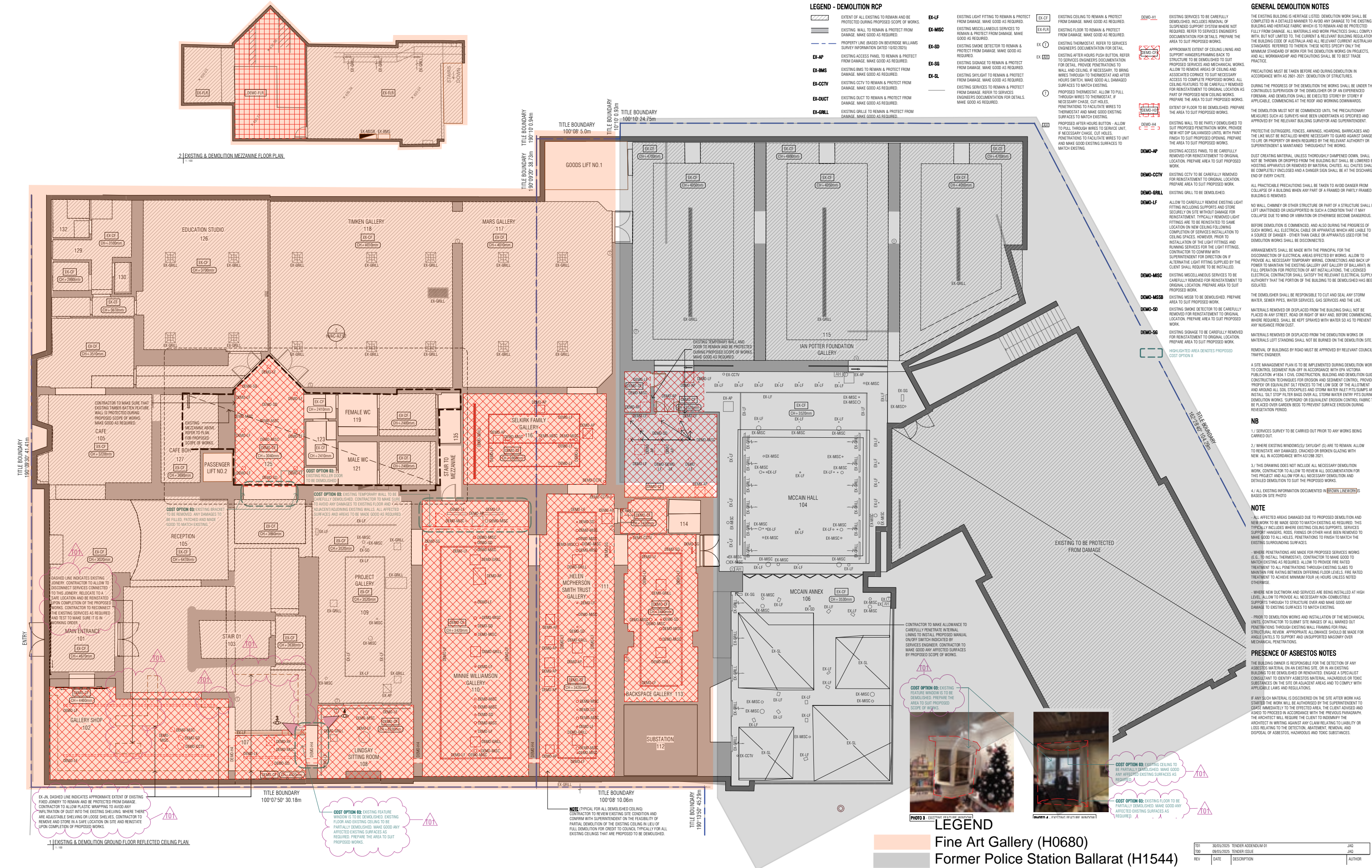
NOTE

- ALL AFFECTED AREAS DAMAGED DUE TO PROPOSED DEMOLITION AND NEW WORK TO BE MADE GOOD TO MATCH EXISTING AS REQUIRED. THIS TYPICALLY INCLUDES: WHERE EXISTING CEILING SUPPORTS, SERVICES, SUPPORT HANGERS, RODS, FININGS OR OTHER HAVE BEEN REMOVED TO MAKE GOOD TO ALL HOLES, PENETRATIONS TO FINISH TO MATCH THE EXISTING SURROUNDING SURFACES.
- WHERE PENETRATIONS ARE MADE FOR PROPOSED SERVICES WORKS (E.G., TO INSTALL THERMOSTAT), CONTRACTOR TO MAKE GOOD TO MATCH EXISTING AS REQUIRED. ALLOW TO PROVIDE FIRE RATED TREATMENT TO ALL PENETRATIONS THROUGH EXISTING SLABS TO MAINTAIN FIRE RATING BETWEEN DIFFERING FLOOR LEVELS. FIRE RATED TREATMENT TO ACHIEVE MINIMUM FOUR (4) HOURS UNLESS NOTED OTHERWISE.
- WHERE NEW OUTWORK AND SERVICES ARE BEING INSTALLED AT HIGH LEVEL, ALLOW TO PROVIDE ALL NECESSARY NON-COMBUSTIBLE SUPPORTS THROUGH TO STRUCTURE OVER AND MAKE GOOD ANY DAMAGE TO EXISTING SURFACES TO MATCH EXISTING.
- PRIOR TO DEMOLITION WORKS AND INSTALLATION OF THE MECHANICAL UNITS, CONTRACTOR TO SUBMIT SITE IMAGES OF ALL MARKED OUT PENETRATIONS THROUGH EXISTING WALL FRAMING FOR FINAL STRUCTURAL REVIEW. APPROPRIATE ALLOWANCE SHOULD BE MADE FOR ANGLE LINTELS TO SUPPORT AND UNSUPPORTED MASONRY OVER MECHANICAL PENETRATIONS.

PRESENCE OF ASBESTOS NOTES

THE BUILDING OWNER IS RESPONSIBLE FOR THE DETECTION OF ANY ASBESTOS MATERIAL ON AN EXISTING SITE. OR IN AN EXISTING BUILDING TO BE DEMOLISHED OR RENOVATED. ENGAGE A SPECIALIST CONSULTANT TO IDENTIFY ASBESTOS MATERIAL, HAZARDOUS OR TOXIC SUBSTANCES ON THE SITE OR ADJACENT AREAS AND TO COMPLY WITH APPLICABLE LAWS AND REGULATIONS.

IF ANY SUCH MATERIAL IS DISCOVERED ON THE SITE AFTER WORK HAS STARTED THE WORK WILL BE AUTHORISED BY THE SUPERINTENDENT TO CEASE IMMEDIATELY TO THE EFFECTED AREA, THE CLIENT ADVISED AND ASKED TO PROCEED IN ACCORDANCE WITH THE PREVIOUS PARAGRAPH. THE ARCHITECT WILL REQUIRE THE CLIENT TO REDEMURF THE ARCHITECT IN WRITING AGAINST ANY CLAIM RELATING TO LIABILITY OR LOSS RELATING TO THE DETECTION, ABATEMENT, REMOVAL AND DISPOSAL OF ASBESTOS, HAZARDOUS AND TOXIC SUBSTANCES.



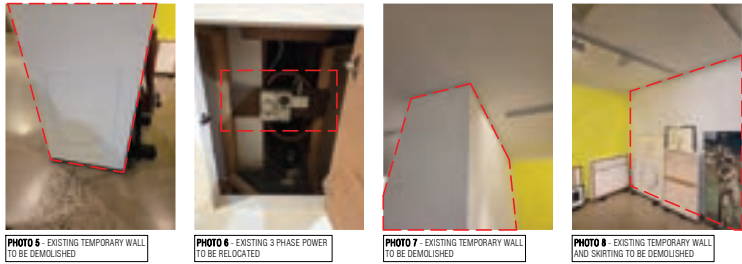


PHOTO 5 - EXISTING TEMPORARY WALL TO BE DEMOLISHED

PHOTO 6 - EXISTING 3 PHASE POWER TO BE RELOCATED

PHOTO 7 - EXISTING TEMPORARY WALL TO BE DEMOLISHED

PHOTO 8 - EXISTING TEMPORARY WALL AND SKIRTING TO BE DEMOLISHED

LEGEND - DEMOLITION RCP

- EXISTENT OF ALL EXISTING TO REMAIN AND BE PROTECTED DURING PROPOSED SCOPE OF WORKS.
- EXISTING WALL TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- PROPERTY LINE (BASED ON BEVERIDGE WILLIAMS SURVEY INFORMATION DATED 10/02/2023)
- EXISTING ACCESS PANEL TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING RIS TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING CCTV TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING DUCT TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING GRILLE TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

- EXISTING LIGHT FITTING TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING MISCELLANEOUS SERVICES TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING SMOKE DETECTOR TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING SIGNAGE TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING SKYLIGHT TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING SERVICES TO REMAIN & PROTECT FROM DAMAGE. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAILS. MAKE GOOD AS REQUIRED.
- EXISTING GRILLE TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

- EXISTING CEILING TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING FLOOR TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING THERMOSTAT. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL. EXISTING AFTER HOURS PUSH BUTTON. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL. PROVIDE PENETRATIONS TO WALL AND CEILING. IF NECESSARY, TO BRING WIRES THROUGH THERMOSTAT AND AFTER HOURS SWITCH. MAKE GOOD ALL DAMAGED SURFACES TO MATCH EXISTING.
- PROPOSED THERMOSTAT. ALLOW TO PULL THROUGH WIRES TO THERMOSTAT. IF NECESSARY CHASE, CUT HOLES. PENETRATIONS TO FACILITATE WIRES TO THERMOSTAT AND MAKE GOOD EXISTING SURFACES TO MATCH EXISTING.
- PROPOSED AFTER HOURS BUTTON - ALLOW TO PULL THROUGH WIRES TO SERVICE UNIT. IF NECESSARY CHASE, CUT HOLES. PENETRATIONS TO FACILITATE WIRES TO UNIT AND MAKE GOOD EXISTING SURFACES TO MATCH EXISTING.

- EXISTING SERVICES TO BE CAREFULLY DEMOLISHED. INCLUDES REMOVAL OF SUSPENDED SUPPORT SYSTEM WHERE NOT REQUIRED. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAILS. PREPARE THE AREA TO SUIT PROPOSED WORKS.
- APPROXIMATE EXTENT OF CEILING LINING AND SUPPORT HANGERS/FRAMING BACK TO STRUCTURE TO BE DEMOLISHED TO SUIT PROPOSED SERVICES AND MECHANICAL WORKS. ALLOW TO REMOVE AREAS OF CEILING AND ASSOCIATED CORNICE TO SUIT NECESSARY ACCESS TO COMPLETE PROPOSED WORKS. ALL CEILING FEATURES TO BE CAREFULLY REMOVED FOR REINSTATEMENT TO ORIGINAL LOCATION AS PART OF PROPOSED NEW CEILING WORKS. PREPARE THE AREA TO SUIT PROPOSED WORKS.
- EXTENT OF FLOOR TO BE DEMOLISHED. PREPARE THE AREA TO SUIT PROPOSED WORKS.
- EXISTING WALL TO BE PARTLY DEMOLISHED TO SUIT PROPOSED PENETRATION WORK. PROVIDE NEW HOT DIP GALVANISED UNTEL WITH PAINT FINISH TO SUIT PROPOSED OPENING. PREPARE THE AREA TO SUIT PROPOSED WORKS.
- EXISTING ACCESS PANEL TO BE CAREFULLY REMOVED FOR REINSTATEMENT TO ORIGINAL LOCATION. PREPARE AREA TO SUIT PROPOSED WORK.
- EXISTING CCTV TO BE CAREFULLY REMOVED FOR REINSTATEMENT TO ORIGINAL LOCATION. PREPARE AREA TO SUIT PROPOSED WORK.
- EXISTING GRILLE TO BE DEMOLISHED.

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REMOVAL OF BUILDINGS BY ROAD MUST BE APPROVED BY RELEVANT COUNCILS TRAFFIC ENGINEERS.

A SITE MANAGEMENT PLAN IS TO BE IMPLEMENTED DURING DEMOLITION WORKS TO CONTROL SEDIMENT RUN-OFF IN ACCORDANCE WITH EPA VICTORIA PUBLICATION #1834.1 CIVIL CONSTRUCTION, BUILDING AND DEMOLITION GUIDE CONSTRUCTION TECHNIQUES FOR EROSION AND SEDIMENT CONTROL. PROVIDE PROPER OR EQUIVALENT SILT FENCES TO THE LOW SIDE OF THE ALLOTMENT AND AROUND ALL SOIL STOCKPILES AND STORM WATER INLET PITS/SUMPS AND INSTALL SILT STOP FILTER BAGS OVER ALL STORM WATER ENTRY PITS DURING DEMOLITION WORKS. SUPERSEDE OR EQUIVALENT EROSION CONTROL FABRIC TO BE PLACED OVER GARDEN BEDS TO PREVENT SURFACE EROSION DURING REVEGETATION PERIOD.

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1. EXISTING & DEMOLITION LEVEL 01 REFLECTED CEILING PLAN



PHOTO 9 - ROOF SERVICES ROOM



PHOTO 10 - ROOF SERVICES ROOM

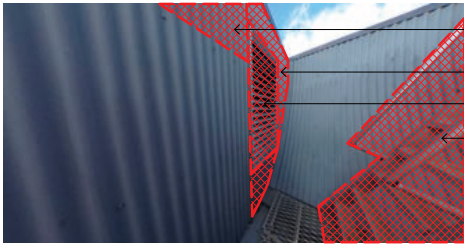


PHOTO 11 - ROOF SERVICES ROOM

- EXISTING WALL TO BE PARTIALLY DEMOLISHED FOR PROPOSED SCOPE OF WORKS
- EXISTING METAL CLADDING TO BE DEMOLISHED
- EXISTING GRILL TO BE DEMOLISHED
- EXISTING LADDER TO BE DEMOLISHED

CONTRACTOR TO ALLOW TO DEMOLISH EXISTING HATCH AND PROVIDE NEW ACCESS HATCH, HAT-01 TO THIS AREA. PRIOR TO DEMOLITION AND ORDERING OF THE NEW ACCESS HATCH, HAT-01, CONTRACTOR TO REVIEW THE EXISTING CONDITION AND HEIGHT OF THE NEW PLANT PLATFORM AND CONFIRM WITH SUPERINTENDENT IF ADEQUATE ACCESS COULD BE PROVIDED FROM THE PROPOSED PLANT PLATFORM TO THE ACCESS HATCH.

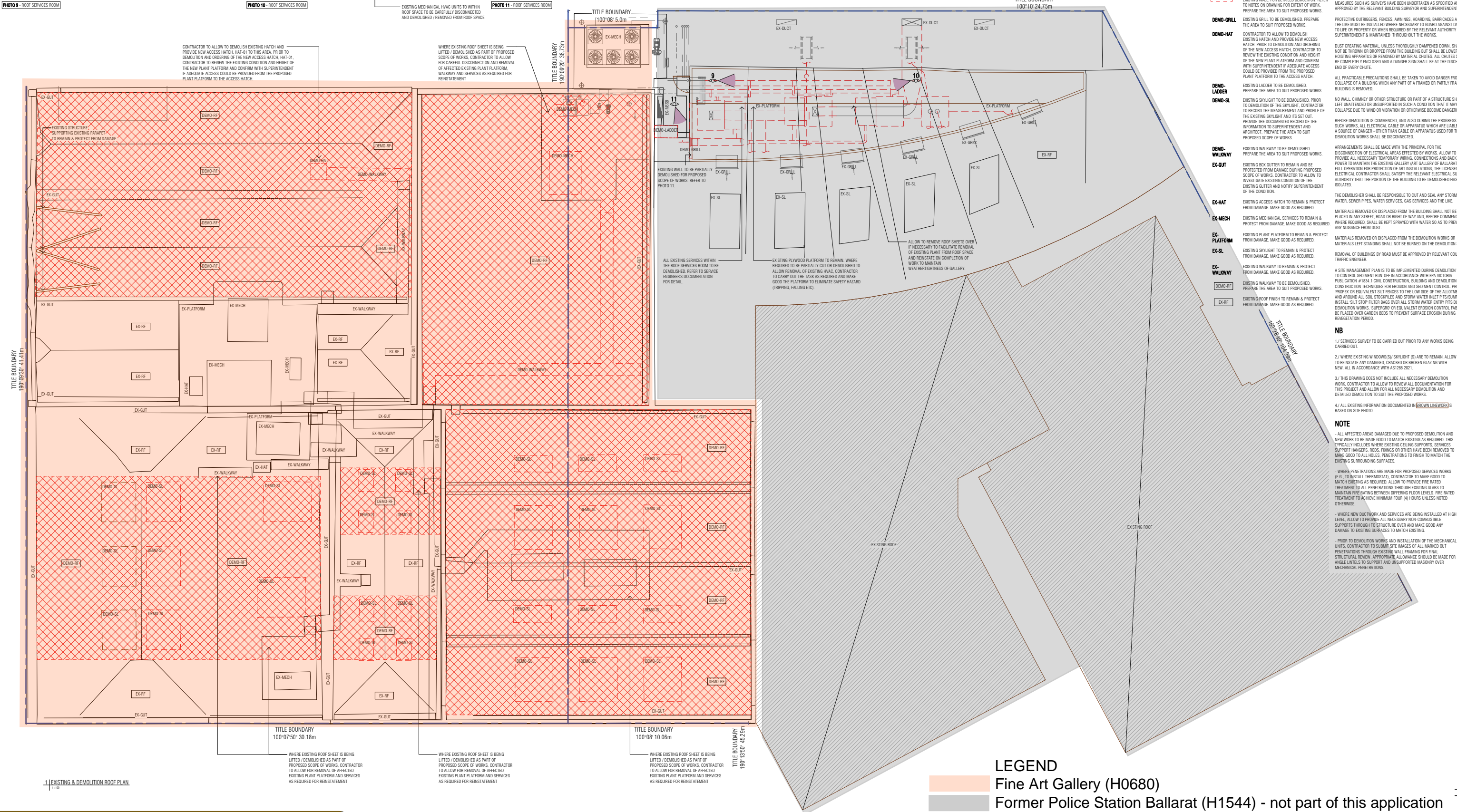
WHERE EXISTING ROOF SHEET IS BEING LIFTED / DEMOLISHED AS PART OF PROPOSED SCOPE OF WORKS, CONTRACTOR TO ALLOW FOR CAREFUL DISCONNECTION AND REMOVAL OF AFFECTED EXISTING PLANT PLATFORM, WALKWAY AND SERVICES AS REQUIRED FOR REINSTATEMENT

EXISTING WALL TO BE PARTIALLY DEMOLISHED FOR PROPOSED SCOPE OF WORKS. REFER TO PHOTO 11.

ALL EXISTING SERVICES WITHIN THE ROOF SERVICES ROOM TO BE DEMOLISHED. REFER TO SERVICE ENGINEERS DOCUMENTATION FOR DETAIL.

EXISTING PLYWOOD PLATFORM TO REMAIN, WHERE REQUIRED TO BE PARTIALLY CUT OR DEMOLISHED TO ALLOW REMOVAL OF EXISTING HVAC. CONTRACTOR TO CARRY OUT THE TASK AS REQUIRED AND MAKE GOOD THE PLATFORM TO ELIMINATE SAFETY HAZARD (TRIPPING, FALLING ETC).

ALLOW TO REMOVE ROOF SHEETS OVER IF NECESSARY TO FACILITATE REMOVAL OF EXISTING PLANT FROM ROOF SPACE AND REINSTATE ON COMPLETION OF WORK TO MAINTAIN WEATHERTIGHTNESS OF GALLERY



EXISTING & DEMOLITION ROOF PLAN

NOTE IMPORTANT

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTATION AND PROJECT SPECIFICATIONS PRIOR TO COMMENCEMENT OF ANY WORKS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE SUPERINTENDENT FOR CLARIFICATION. CONTRACTOR IS TO PROVIDE ALL ITEMS AS IMPLIED WITHIN THIS DOCUMENTATION INCLUDING ALL NECESSARY SUPPORT AND ACCESSORIES AS REQUIRED FOR COMPLETENESS. DO NOT SCALE FROM THESE DRAWINGS. ALL DIMENSIONS TO BE VERIFIED ON SITE AND ANY DISCREPANCIES MUST BE REPORTED TO THE SUPERINTENDENT IMMEDIATELY BEFORE COMMENCING CONSTRUCTION OR SHOP DRAWINGS.

ALL 3D IMAGING USED IN THESE DRAWINGS IS INDICATIVE ONLY. ANY 3D IMAGING IS SHOWN FOR COORDINATION PURPOSES ONLY.

LEGEND

Fine Art Gallery (H0680)
Former Police Station Ballarat (H1544) - not part of this application

PRESENCE OF ASBESTOS NOTES

THE BUILDING OWNER IS RESPONSIBLE FOR THE DETECTION OF ANY ASBESTOS MATERIAL ON AN EXISTING SITE, OR IN AN EXISTING BUILDING TO BE DEMOLISHED OR RENOVATED. ENGAGE A SPECIALIST CONSULTANT TO IDENTIFY ASBESTOS MATERIAL, HAZARDOUS OR TOXIC SUBSTANCES ON THE SITE OR ADJACENT AREAS AND TO COMPLY WITH APPLICABLE LAWS AND REGULATIONS.

IF ANY SUCH MATERIAL IS DISCOVERED ON THE SITE AFTER WORK HAS STARTED THE WORK WILL BE AUTHORISED BY THE SUPERINTENDENT TO CEASE IMMEDIATELY TO THE AFFECTED AREA. THE CLIENT ADVISED AND ASKED TO PROCEED IN ACCORDANCE WITH THE PREVIOUS PARAGRAPH. THE ARCHITECT WILL REQUIRE THE CLIENT TO INDEMNIFY THE ARCHITECT IN WRITING AGAINST ANY CLAIM RELATING TO LIABILITY OR LOSS RELATING TO THE DETECTION, ABATEMENT, REMOVAL AND DISPOSAL OF ASBESTOS, HAZARDOUS AND TOXIC SUBSTANCES.

LEGEND - DEMOLITION ROOF

- EXISTING WALL TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING SERVICES TO REMAIN & PROTECT FROM DAMAGE. REFER TO SERVICE ENGINEERS DOCUMENTATION FOR DETAILS. MAKE GOOD AS REQUIRED.
- EXISTING SERVICES TO BE DEMOLISHED. REFER TO SERVICE ENGINEERS DOCUMENTATION FOR DETAILS. PREPARE THE AREA TO SUIT PROPOSED WORKS.
- EXTENT OF ROOF SHEETS TO BE DEMOLISHED INCLUDING CAREFUL REMOVAL OF EXISTING ROOF BATTENS AND DAMAGED EXISTING INSULATION TO ALLOW FOR NEW INSULATION. BATTEN OVER AND ROOF MEMBRANE. PREPARE THE AREA TO SUIT PROPOSED WORKS.
- EXISTING WALL FOR DETAILED DEMOLITION. REFER TO NOTES ON DRAWING FOR EXTENT OF WORK. PREPARE THE AREA TO SUIT PROPOSED WORKS.
- EXISTING GRILL TO BE DEMOLISHED. PREPARE THE AREA TO SUIT PROPOSED WORKS.
- CONTRACTOR TO ALLOW TO DEMOLISH EXISTING HATCH AND PROVIDE NEW ACCESS HATCH. PRIOR TO DEMOLITION AND ORDERING OF THE NEW ACCESS HATCH, CONTRACTOR TO REVIEW THE EXISTING CONDITION AND HEIGHT OF THE NEW PLANT PLATFORM AND CONFIRM WITH SUPERINTENDENT IF ADEQUATE ACCESS COULD BE PROVIDED FROM THE PROPOSED PLANT PLATFORM TO THE ACCESS HATCH.
- EXISTING LADDER TO BE DEMOLISHED. PREPARE THE AREA TO SUIT PROPOSED WORKS.
- EXISTING SKYLIGHT TO BE DEMOLISHED. PRIOR TO DEMOLITION OF THE SKYLIGHT, CONTRACTOR TO RECORD THE MEASUREMENT AND PROFILE OF THE EXISTING SKYLIGHT AND ITS SET OUT. PROVIDE THE DOCUMENTED RECORD OF THE INFORMATION TO SUPERINTENDENT AND ARCHITECT. PREPARE THE AREA TO SUIT PROPOSED SCOPE OF WORKS.
- EXISTING WALKWAY TO BE DEMOLISHED. PREPARE THE AREA TO SUIT PROPOSED WORKS.
- EXISTING BOX GUTTER TO REMAIN AND BE PROTECTED FROM DAMAGE DURING PROPOSED SCOPE OF WORKS. CONTRACTOR TO ALLOW TO INVESTIGATE EXISTING CONDITION OF THE EXISTING GUTTER AND NOTIFY SUPERINTENDENT OF THE CONDITION.
- EXISTING ACCESS HATCH TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING MECHANICAL SERVICES TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING PLANT PLATFORM TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING SKYLIGHT TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING WALKWAY TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING WALKWAY TO BE DEMOLISHED. PREPARE THE AREA TO SUIT PROPOSED WORKS.
- EXISTING ROOF FINISH TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

GENERAL DEMOLITION NOTES

THE EXISTING BUILDING IS HERITAGE LISTED. DEMOLITION WORK SHALL BE COMPLETED IN A DETAILED MANNER TO AVOID ANY DAMAGE TO THE EXISTING BUILDING AND HERITAGE FABRIC WHICH IS TO REMAIN AND BE PROTECTED FULLY FROM DAMAGE. ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO, THE CURRENT & RELEVANT BUILDING REGULATIONS, THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS. REFERRED TO THEREIN. THESE NOTES SPECIFY ONLY THE MINIMUM STANDARD OF WORK FOR THE DEMOLITION WORKS ON PROJECTS, AND ALL WORKMANSHIP AND PRECAUTIONS SHALL BE AT BEST TRADE PRACTICE.

PRECAUTIONS MUST BE TAKEN BEFORE AND DURING DEMOLITION IN ACCORDANCE WITH AS 2601-2021: DEMOLITION OF STRUCTURES.

DURING THE PROGRESS OF THE DEMOLITION THE WORKS SHALL BE UNDER THE CONTINUOUS SUPERVISION OF THE DEMOLISHER OR OF AN EXPERIENCED FOREMAN, AND DEMOLITION SHALL BE EXECUTED STOREY BY STOREY IF APPLICABLE, COMMENCING AT THE ROOF AND WORKING DOWNWARDS.

THE DEMOLITION MUST NOT BE COMMENCED UNTIL THE PRECAUTIONARY MEASURES SUCH AS SURVEYS HAVE BEEN UNDERTAKEN AS SPECIFIED AND APPROVED BY THE RELEVANT BUILDING SUPERVISOR AND SUPERINTENDENT.

PROTECTIVE OUTRIGGERS, FENCES, ARROWS, HOARDING, BARBORADES AND THE LIKE MUST BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY OR WHEN REQUIRED BY THE RELEVANT AUTHORITY OR SUPERINTENDENT & MAINTAINED THROUGHOUT THE WORKS.

DUST CREATING MATERIAL, UNLESS THOROUGHLY DAMPENED DOWN, SHALL NOT BE THROWN OR DROPPED FROM THE BUILDING BUT SHALL BE LOWERED BY HOISTING APPARATUS OR REMOVED BY MATERIAL CHUTES. ALL CHUTES SHALL BE COMPLETELY ENCLOSED AND A DANGER SIGN SHALL BE AT THE DISCHARGE END OF EVERY CHUTE.

ALL PRACTICABLE PRECAUTIONS SHALL BE TAKEN TO AVOID DANGER FROM COLLAPSE OF A BUILDING WHEN ANY PART OF A FRAMED OR PARTLY FRAMED BUILDING IS REMOVED.

NO WALL, CHIMNEY OR OTHER STRUCTURE OR PART OF A STRUCTURE SHALL BE LEFT UNATTENDED OR UNSUPPORTED IN SUCH A CONDITION THAT IT MAY COLLAPSE DUE TO WIND OR VIBRATION OR OTHERWISE BECOME DANGEROUS.

BEFORE DEMOLITION IS COMMENCED, AND ALSO DURING THE PROGRESS OF SUCH WORKS, ALL ELECTRICAL CABLE OR APPARATUS WHICH ARE LIABLE TO BE A SOURCE OF DANGER - OTHER THAN CABLE OR APPARATUS USED FOR THE DEMOLITION WORKS SHALL BE DISCONNECTED.

ARRANGEMENTS SHALL BE MADE WITH THE PRINCIPAL FOR THE DISCONNECTION OF ELECTRICAL AREAS EFFECTED BY WORKS. ALLOW TO PROVIDE ALL NECESSARY TEMPORARY WIRING, CONNECTIONS AND BACK UP POWER TO MAINTAIN THE EXISTING GALLERY ART GALLERY OF BALLARAT IN FULL OPERATION FOR PROTECTION OF ART INSTALLATIONS. THE LICENSED ELECTRICAL CONTRACTOR SHALL SATISFY THE RELEVANT ELECTRICAL SUPPLY AUTHORITY THAT THE PORTION OF THE BUILDING TO BE DEMOLISHED HAS BEEN ISOLATED.

THE DEMOLISHER SHALL BE RESPONSIBLE TO CUT AND SEAL ANY STORM WATER, SEWER PIPES, WATER SERVICES, GAS SERVICES AND THE LIKE.

MATERIALS REMOVED OR DISPLACED FROM THE BUILDING SHALL NOT BE PLACED IN ANY STREET, ROAD OR RIGHT OF WAY AND, BEFORE COMMENCING, WHERE REQUIRED, SHALL BE KEPT SPRAYED WITH WATER SO AS TO PREVENT ANY NUISANCE FROM DUST.

MATERIALS REMOVED OR DISPLACED FROM THE DEMOLITION WORKS OR MATERIALS LEFT STANDING SHALL NOT BE BURNED ON THE DEMOLITION SITE.

REMOVAL OF BUILDINGS BY ROAD MUST BE APPROVED BY RELEVANT COUNCILS TRAFFIC ENGINEERS.

A SITE MANAGEMENT PLAN IS TO BE IMPLEMENTED DURING DEMOLITION WORKS TO CONTROL SEDIMENT RUN-OFF IN ACCORDANCE WITH EPA VICTORIA PUBLICATION #1834.1 CIVIL CONSTRUCTION, BUILDING AND DEMOLITION GUIDE.

CONSTRUCTION TECHNIQUES FOR EROSION AND SEDIMENT CONTROL. PROVIDE PROPER OR EQUIVALENT SILT FENCES TO THE LOW SIDE OF THE ALLIEMENT AND AROUND ALL SOIL STOCKPILES AND STORM WATER INLET PITS/SUMPS AND INSTALL SILT STOP FILTER BAGS OVER ALL STORM WATER ENTRY PITS DURING DEMOLITION WORKS. SUPERSEDE OR EQUIVALENT EROSION CONTROL FABRIC TO BE PLACED OVER GARDEN BEDS TO PREVENT SURFACE EROSION DURING REVEGETATION PERIOD.

1/ SERVICES SURVEY TO BE CARRIED OUT PRIOR TO ANY WORKS BEING CARRIED OUT.

2/ WHERE EXISTING WINDOWS/SKYLIGHT (S) ARE TO REMAIN, ALLOW TO REINSTATE ANY DAMAGED, CRACKED OR BROKEN GLAZING WITH NEW. ALL IN ACCORDANCE WITH AS1288 2021.

3/ THIS DRAWING DOES NOT INCLUDE ALL NECESSARY DEMOLITION WORK. CONTRACTOR TO ALLOW TO REVIEW ALL DOCUMENTATION FOR THIS PROJECT AND ALLOW FOR ALL NECESSARY DEMOLITION AND DETAILED DEMOLITION TO SUIT THE PROPOSED WORKS.

4/ ALL EXISTING INFORMATION DOCUMENTED IN BROWN LINEWORK IS BASED ON SITE PHOTO

NOTE

- ALL AFFECTED AREAS DAMAGED DUE TO PROPOSED DEMOLITION AND NEW WORK TO BE MADE GOOD TO MATCH EXISTING AS REQUIRED. THIS TYPICALLY INCLUDES WHERE EXISTING CEILING SUPPORTS, SERVICES, SUPPORT HANGERS, RODS, FRINGS OR OTHER HAVE BEEN REMOVED TO MAKE GOOD TO ALL HOLES. PENETRATIONS TO FINISH TO MATCH THE EXISTING SURROUNDING SURFACES.

- WHERE PENETRATIONS ARE MADE FOR PROPOSED SERVICES WORKS (E.G. TO INSTALL THERMOSTAT), CONTRACTOR TO MAKE GOOD TO MATCH EXISTING AS REQUIRED. ALLOW TO PROVIDE FIRE RATED TREATMENT TO ALL PENETRATIONS THROUGH EXISTING SLABS TO MAINTAIN FIRE RATING BETWEEN DIFFERING FLOOR LEVELS. FIRE RATED TREATMENT TO ACHIEVE MINIMUM FOUR (4) HOURS UNLESS NOTED OTHERWISE.

- WHERE NEW DUCTWORK AND SERVICES ARE BEING INSTALLED AT HIGH LEVEL, ALLOW TO PROVIDE ALL NECESSARY NON-COMBUSTIBLE SUPPORTS THROUGH TO STRUCTURE OVER AND MAKE GOOD ANY DAMAGE TO EXISTING SURFACES TO MATCH EXISTING.

- PRIOR TO DEMOLITION WORKS AND INSTALLATION OF THE MECHANICAL UNITS, CONTRACTOR TO ALLOW TO REVIEW ALL MARKED OUT PENETRATIONS THROUGH EXISTING WALL FRAMING FOR FIN STRUCTURAL REVIEW. APPROPRIATE ALLOWANCE SHOULD BE MADE FOR ANGLE LINTELS TO SUPPORT AND UNSUPPORTED MASONRY OVER MECHANICAL PENETRATIONS.

NOTE

- ALL AFFECTED AREAS DAMAGED DUE TO PROPOSED DEMOLITION AND NEW WORK TO BE MADE GOOD TO MATCH EXISTING AS REQUIRED. THIS TYPICALLY INCLUDES WHERE EXISTING CEILING SUPPORTS, SERVICES SUPPORT HANGERS, RISERS, FINISHES OR OTHER HAVE BEEN REMOVED TO MAKE GOOD TO ALL HOLES. PENETRATIONS TO FINISH TO MATCH THE EXISTING SURROUNDING SURFACES.

- WHERE PENETRATIONS ARE MADE FOR PROPOSED SERVICES WORKS (E.G., TO INSTALL THERMOSTATS), CONTRACTOR TO MAKE GOOD TO MATCH EXISTING AS REQUIRED. ALLOW TO PROVIDE FIRE RATED TREATMENT TO ALL PENETRATIONS THROUGH EXISTING SLABS TO MAINTAIN FIRE RATINGS BETWEEN DIFFERING FLOOR LEVELS. FIRE RATED TREATMENT TO ACHIEVE MINIMUM FOUR (4) HOURS UNLESS NOTED OTHERWISE.

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- PRIOR TO DEMOLITION WORKS AND INSTALLATION OF THE MECHANICAL UNITS, CONTRACTOR TO SUBMIT SITE IMAGES OF ALL MARKED OUT PENETRATIONS THROUGH EXISTING WALL FRAMING FOR FINAL STRUCTURAL REVIEW. APPROPRIATE ALLOWANCE SHOULD BE MADE FOR ANGLE LINEETS TO SUPPORT AND UNSUPPORTED MASONRY OVER MECHANICAL PENETRATIONS.

LEGEND - REFLECTED CEILING PLAN

REFER TO PROJECT SCHEDULES FOR SELECTED FINISHES DETAIL.

XX DENOTES FIELDS WITH NUMERICAL LABELLING REFERENCED TO PROJECT SPECIFICATION AND/OR SCHEDULES FOR DETAIL.

EX-GRILL EXISTING GRILL TO REMAIN AND BE PROTECTED DURING PROPOSED SCOPE OF WORKS.

EX-CF EXISTING CEILING FINISH TO BE RETAINED AND PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

FLR-01 PROPOSED FLOOR TO MATCH EXISTING.

CF-XX CEILING FINISH & SYSTEM AS SPECIFIED AND CEILING HEIGHT ABOVE FLOOR LEVEL. REFER TO PROJECT SCHEDULES FOR DETAIL.

AP-01 PROPOSED NEW ACCESS PANEL.

CCTV-01 EXISTING CCTV.

EX-BMS EXISTING BMS TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

EX-LF EXISTING LIGHT FITTING TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

EX-MS88 EXISTING MSS8S TO BE UPGRADED. MAKE GOOD AS REQUIRED.

EX-SL EXISTING SKYLIGHT TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

EX-IN DASHED LINE INDICATES APPROXIMATE EXTENT OF EXISTING FIXED JOINTS TO REMAIN AND BE PROTECTED FROM DAMAGE. CONTRACTOR TO ALLOW PLASTIC WRAPPING TO AVOID ANY INFILTRATION OF DUST INTO THE EXISTING SHELVING. WHERE THERE ARE ADJUSTABLE SHELVING OR LOOSE SHELVES, CONTRACTOR TO REMOVE AND STORE IN A SAFE LOCATION ON SITE AND REINSTATE UPON COMPLETION OF PROPOSED WORKS.

FS-01 PROVIDE FOR PROPRIETARY FIRE STOP AND SEAL AROUND PROPOSED PENETRATION, AND FULLY CAULK AND SEAL WITH ACOUSTIC AND FIRE RATED MASTIC TO BOTH SIDES OF PENETRATION.

GRILL-01 EXISTING GRILL.
LF-01 REINSTATE CLIENT SUPPLIED LIGHT FITTING. CONTRACTOR TO CONFIRM WITH SUPERINTENDENT IF THERE ARE CLIENT SUPPLIED LIGHT FITTINGS PRIOR TO RUNNING SERVICES FOR THE LIGHT FITTING AND INSTALLATION. INSTALL CLIENT SUPPLIED LIGHT FITTING AS PER ART GALLERY OF BALLARAT AND MANUFACTURERS INSTALLATION REQUIREMENTS. SHOULD PARTICULAR GALLERY ROOM NOT HAVE CLIENT SUPPLIER LIGHTS, CONTRACTOR TO REINSTATE REMOVED EXISTING LIGHT INTO SAME LOCATION.

LF-02 REINSTATE EXISTING LIGHT FITTING.

MISC-01 EXISTING MISCELLANEOUS SERVICES.

SD-01 EXISTING SMOKE DETECTOR.

SK-XX PROPOSED SKIRTING TO MATCH EXISTING. REFER TO PROJECT SCHEDULE FOR DETAIL.

EXISTING SERVICES TO REMAIN & PROTECT FROM DAMAGE. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAILS. MAKE GOOD AS REQUIRED.

EXISTING THERMOSTAT, REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL.

EXISTING AFTER HOURS PUSH BUTTON, REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL.

HIGHLIGHTED AREA DENOTES PROPOSED COST OPTION X.

NOTES:

REFER TO MATERIAL, SCHEDULE & SPECIFICATIONS FOR FULL CEILING MATERIAL TYPE, SIZING & INSTALLATION DETAILS.

THIS DRAWINGS TO BE READ IN CONJUNCTION WITH WALL SETOUT DRAWINGS & ARCHITECTURAL DETAILS.

CEILING TO WALL JUNCTIONS SHALL BE SQUARE SET PROFILE THROUGHOUT, UNLESS NOTED OTHERWISE ON DRAWINGS.

ALL PAINTED CEILING SURFACE ARE TO BE SEALED AND PRIMED AS PER SPECIFICATION PRIOR TO CARRYING OUT FINISHES COAT. ALL STOPPING AND TRAVELLING WORKS ARE TO BE CARRIED OUT TO INDUSTRY BEST PRACTICE. NO GLANCING LIGHT EFFECT 'VARIATION IN TONE' ARE ACCEPTABLE UNDER ALL NATURAL OR ARTIFICIAL LIGHTING CONDITIONS.

REFER ELECTRICAL ENGINEERS DOCUMENTATION & SPECIFICATIONS FOR ELECTRICAL WORKS. ALL PENETRATIONS TO CEILING IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS, STANDARDS & REGULATIONS & ARCHITECTURAL SPECIFICATION.

REFER MECHANICAL ENGINEERS DOCUMENTATION & SPECIFICATION FOR MECHANICAL WORKS. ALL PENETRATIONS TO CEILING IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS, STANDARDS & REGULATIONS & ARCHITECTURAL SPECIFICATION.

ALL EXIT SIGNS SHALL BE CLEAR OF ALL DOOR SWINGS. ANY CLASHES TO BE REPORTED TO ARCHITECT AND RESOLVED PRIOR TO ANY INSTALLATION.

THE CLASHING / OVERLAPPING OF ANY PROPOSED NEW AND EXISTING SERVICES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR DIRECTION.

REFER LIGHTING SCHEDULE & SPECIFICATIONS FOR LIGHT FITTING DETAILS.

REFER PROJECT SCHEDULE AND SPECIFICATION FOR SELECTED SYSTEMS, FINISHES & LININGS.

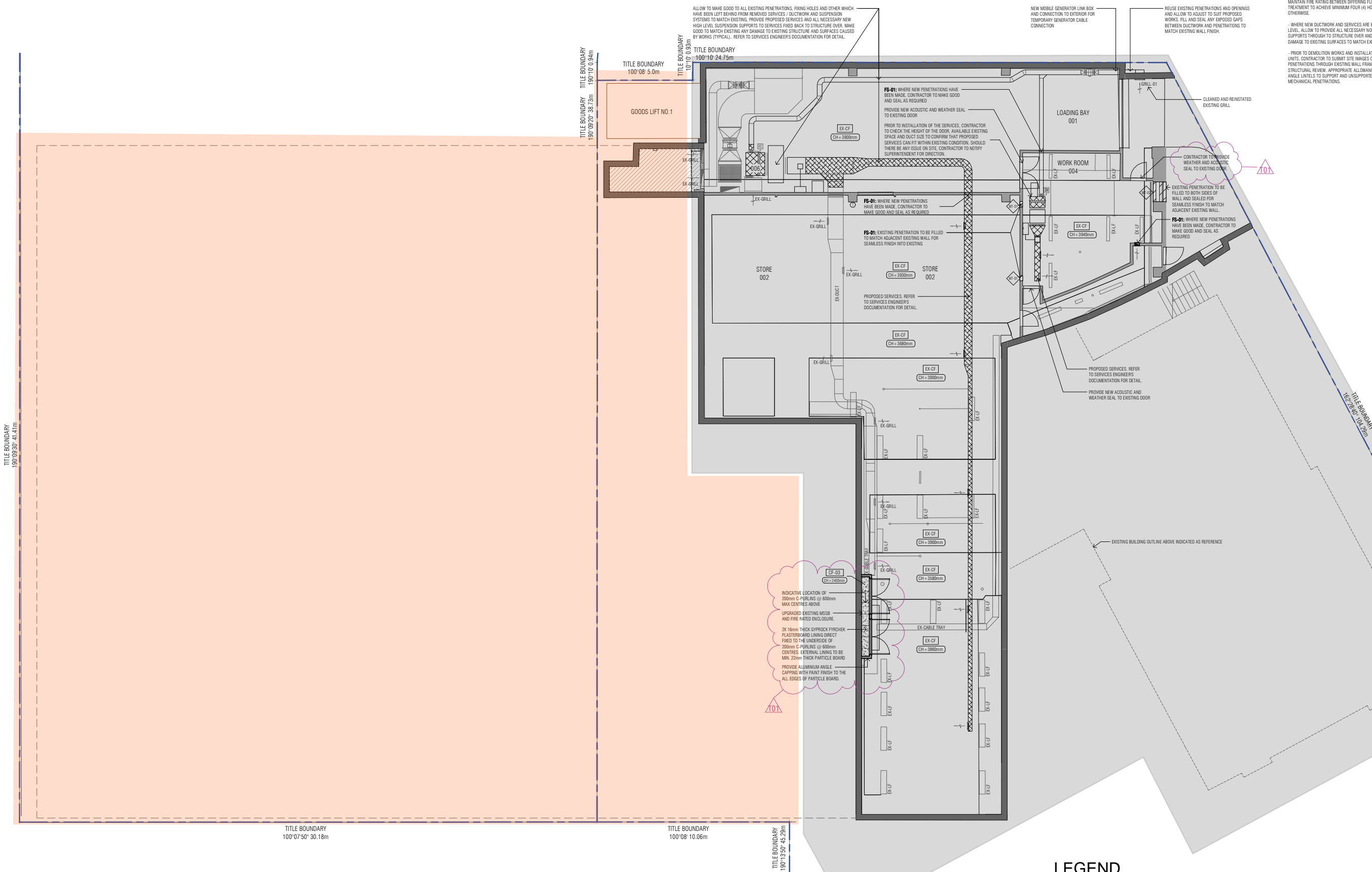
WHERE EXISTING SERVICES DUCT WORK, PIPES CONDUITS AND THE SIMILAR ALIKE IS REMAINING IN THE VOID CEILING SPACE, IT IS TO BE CLEANED AND WIPE DOWN TO BE FREE OF DUST AND DEBRIS.

ALL WIRING TO BE CONCEALED IN WALL AND/OR CEILING BUILD UPS, NO EXPOSED WIRING UNLESS NOTED SPECIFICALLY IN DOCUMENTATION.

ALLOW TO LAG ALL DOWNPIPES WITHIN CEILING SPACES AND RUNNING WITHIN BUILDING FOR ACOUSTIC TREATMENT TO ACHIEVE MINIMUM Rw+5 UNLESS OTHERWISE NOTED.

AS PART OF PROPOSED SCOPE OF WORKS, WHERE ROOF SHEETS AND/OR OTHER ELEMENTS IN THE ROOF HAVE BEEN REMOVED OR DEMOLISHED THAT WOULD ALLOW WATER INGRESS TO INTERNAL AREAS, CONTRACTOR TO ALLOW FOR TEMPORARY PROTECTIVE SHEETING TO MAKE SURE THAT BUILDING IS WEATHERTIGHT AS REQUIRED TO AVOID ANY DAMAGES TO THE EXISTING BUILDING FOR THE FULL DURATION OF THE CONSTRUCTION.

ALL EXISTING INFORMATION DOCUMENTED IN BROWN LINEWORK IS BASED ON SITE PHOTO



LEGEND

Fine Art Gallery (H0680)

Former Police Station Ballarat (H1544) - not part of this application

PROJECT ART GALLERY OF BALLARAT - HVAC WORKS
ADDRESS 40 LYDIARD ST N, BALLARAT CENTRAL VIC 3350
CLIENT BALLARAT CITY COUNCIL



NOTE IMPORTANT.

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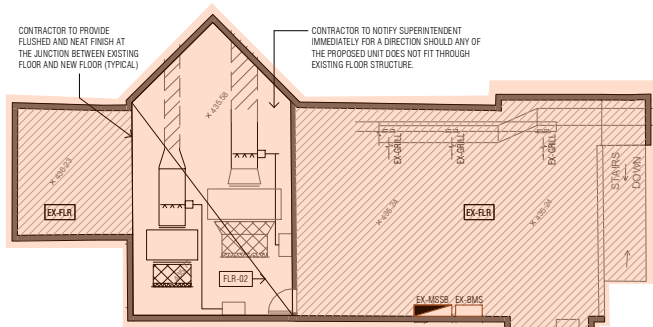
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TENDER

DRAWING PROPOSED BASEMENT REFLECTED CEILING PLAN
DRAWING No. HVAC-A2.05
PROJECT No. 0504ART
AUTHOR JAQ
REVISION T01
SCALE @ A1 1:100
DATE 26/02/2025

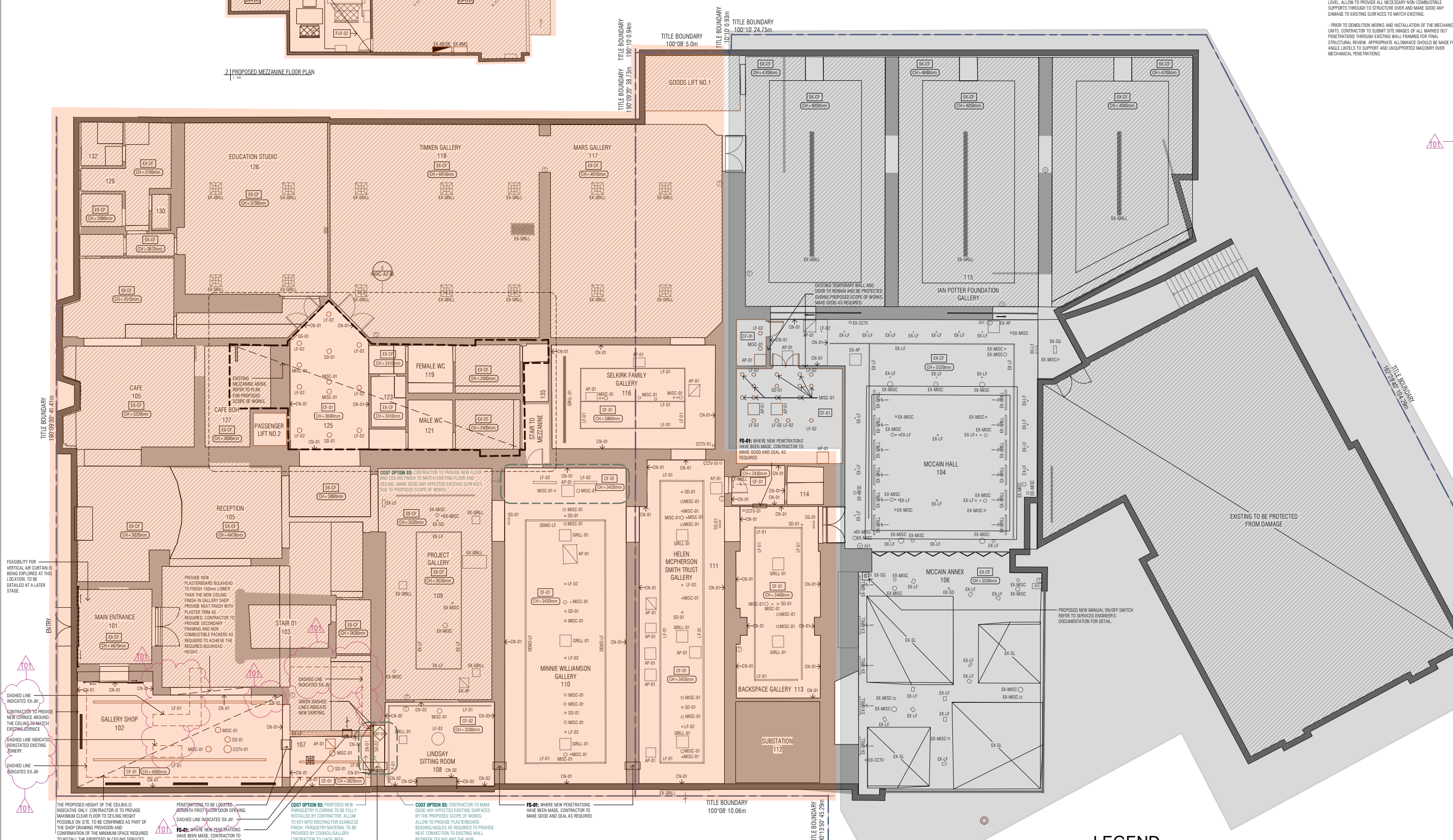


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2 | PROPOSED MEZZANINE FLOOR PLAN



1 | PROPOSED GROUND FLOOR REFLECTED CEILING PLAN

NOTE

- ALL AFFECTED AREAS DAMAGED DUE TO PROPOSED DEMOLITION AND NEW WORK TO BE MADE GOOD TO MATCH EXISTING AS REQUIRED. THIS TYPICALLY INCLUDES WHERE EXISTING CEILING SUPPORTS, SERVICES SUPPORT HANGERS, RISERS, FINISHES OR OTHER HAVE BEEN REMOVED TO MAKE GOOD TO ALL HOLES. PENETRATIONS TO FINISH TO MATCH THE EXISTING SURROUNDING SURFACES.

- WHERE PENETRATIONS ARE MADE FOR PROPOSED SERVICES WORKS (E.G. TO INSTALL THERMOSTATS), CONTRACTOR TO MAKE GOOD TO MATCH EXISTING AS REQUIRED. ALLOW TO PROVIDE FIRE RATED TREATMENT TO ALL PENETRATIONS THROUGH EXISTING SLABS TO MAINTAIN FIRE RATING BETWEEN DIFFERING FLOOR LEVELS. FIRE RATED TREATMENT TO ACHIEVE MINIMUM FOUR (4) HOURS UNLESS NOTED OTHERWISE.

- WHERE NEW DUCTWORK AND SERVICES ARE BEING INSTALLED AT HIGH LEVEL, ALLOW TO PROVIDE ALL NECESSARY NON-COMBUSTIBLE SUPPORTS THROUGH TO STRUCTURE OVER AND MAKE GOOD ANY DAMAGE TO EXISTING SURFACES TO MATCH EXISTING.

- PRIOR TO DEMOLITION WORKS AND INSTALLATION OF THE MECHANICAL UNITS, CONTRACTOR TO SUBMIT SITE IMAGES OF ALL MARKED OUT PENETRATIONS THROUGH EXISTING WALL FRAMING FOR FINAL STRUCTURAL REVIEW. APPROPRIATE ALLOWANCE SHOULD BE MADE FOR ANGLE LINES TO SUPPORT AND UNSUPPORTED MASONRY OVER MECHANICAL PENETRATIONS.

LEGEND - REFLECTED CEILING PLAN

REFER TO PROJECT SCHEDULES FOR SELECTED FINISHES DETAIL. REFER TO PROJECT SPECIFICATION AND/OR SCHEDULES FOR DETAIL.

XX DENOTES FIELDS WITH NUMERICAL LABELLING REFERENCED TO PROJECT SPECIFICATION AND/OR SCHEDULES FOR DETAIL.

EXTENT OF ALL EXISTING TO REMAIN AND BE PROTECTED DURING PROPOSED SCOPE OF WORKS.

EXISTING CEILING FINISH TO BE RETAINED AND PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

PROPOSED FLOOR TO MATCH EXISTING.

CEILING FINISH & SYSTEM AS SPECIFIED AND CEILING HEIGHT ABOVE FLOOR LEVEL. REFER TO PROJECT SCHEDULES FOR DETAIL.

PROPOSED NEW ACCESS PANEL.

EXISTING CCTV.

EXISTING BIMS TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

EXISTING LIGHT FITTING TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

EXISTING MSSS TO BE UPGRADED. MAKE GOOD AS REQUIRED.

EXISTING SKYLIGHT TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

DASHED LINE INDICATES APPROXIMATE EXTENT OF EXISTING FIXED JOINTS TO REMAIN AND BE PROTECTED FROM DAMAGE. CONTRACTOR TO ALLOW PLASTIC WRAPPING TO AVOID ANY INFILTRATION OF DUST INTO THE EXISTING SHELVING. WHERE THERE ARE ADJUSTABLE SHELVING OR LOOSE SHELVES, CONTRACTOR TO REMOVE AND STORE IN A SAFE LOCATION ON SITE AND REINSTATE UPON COMPLETION OF PROPOSED WORKS.

PROVIDE FOR PROPRIETARY FIRE STOP AND SEAL, INCLUDING PROPOSED PENETRATION, AND FULLY CALLS AND SEAL WITH ACROSTIC AND FIRE RATED MASTIC TO BOTH SIDES OF PENETRATION.

EXISTING GRILLE.

REINSTATE CLIENT SUPPLIED LIGHT FITTING. CONTRACTOR TO CONFIRM WITH SUPERINTENDENT IF THERE ARE CLIENT SUPPLIED LIGHT FITTINGS PRIOR TO RUNNING SERVICES FOR THE LIGHT FITTING AND INSTALLATION. INSTALL CLIENT SUPPLIED LIGHT FITTING AS PER ART GALLERY OF BALLARAT AND MANUFACTURERS INSTALLATION REQUIREMENTS. SHOULD PARTICULAR GALLERY ROOM NOT HAVE CLIENT SUPPLIER LIGHTS, CONTRACTOR TO REINSTATE REMOVED EXISTING LIGHT INTO SAME LOCATION.

REINSTATE EXISTING LIGHT FITTING.

EXISTING MISCELLANEOUS SERVICES.

EXISTING SMOKE DETECTOR.

PROPOSED SKIRTING TO MATCH EXISTING. REFER TO PROJECT SCHEDULE FOR DETAIL.

EXISTING SERVICES TO REMAIN & PROTECT FROM DAMAGE. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAILS. MAKE GOOD AS REQUIRED.

EXISTING THERMOSTAT. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL.

EXISTING AFTER HOURS PUSH BUTTON. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL.

HIGHLIGHTED AREA DENOTES PROPOSED COST OPTION X.

NOTES:

REFER TO MATERIAL SCHEDULE & SPECIFICATIONS FOR FULL CEILING MATERIAL TYPE, SIZING & INSTALLATION DETAILS.

THIS DRAWINGS TO BE READ IN CONJUNCTION WITH WALL SETOUT DRAWINGS & ARCHITECTURAL DETAILS.

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REFER ELECTRICAL ENGINEERS DOCUMENTATION & SPECIFICATIONS FOR ELECTRICAL WORKS. ALL PENETRATIONS TO CEILING IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS, STANDARDS & REGULATIONS & ARCHITECTURAL SPECIFICATION.

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THE CLASHING (OVERLAPPING) OF ANY PROPOSED NEW AND EXISTING SERVICES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR DIRECTION.

REFER LIGHTING SCHEDULE & SPECIFICATIONS FOR LIGHT FITTING DETAILS.

REFER PROJECT SCHEDULE AND SPECIFICATION FOR SELECTED SYSTEMS, FINISHES & LININGS.

WHERE EXISTING SERVICES DUCT WORK, PIPES CONDUITS AND THE SIMILAR ALIKE IS REMAINING IN THE VOID CEILING SPACE, IT IS TO BE CLEANED AND WIPE DOWN TO BE FREE OF DUST AND DEBRIS.

ALL WIRING TO BE CONCEALED IN WALL AND/OR CEILING BUILD UPS. NO EXPOSED WIRING UNLESS NOTED SPECIFICALLY IN DOCUMENTATION.

ALLOW TO LAG ALL DOWNPIPES WITHIN CEILING SPACES AND RUNNING WITHIN BUILDING FOR ACOUSTIC TREATMENT TO ACHIEVE MINIMUM R-wb UNLESS OTHERWISE NOTED.

AS PART OF PROPOSED SCOPE OF WORKS, WHERE ROOF SHEETS AND/OR OTHER ELEMENTS IN THE ROOF HAVE BEEN REMOVED OR DEMOLISHED THAT WOULD ALLOW WATER INGRESS TO INTERNAL AREAS, CONTRACTOR TO ALLOW FOR TEMPORARY PROTECTIVE SHEETING TO MAKE SURE THAT BUILDING IS WEATHERTIGHT AS REQUIRED TO AVOID ANY DAMAGES TO THE EXISTING BUILDING FOR THE FULL DURATION OF THE CONSTRUCTION.

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LEGEND

Fine Art Gallery (H0680)

Former Police Station Ballarat (H1544) - not part of this application



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PROJECT | ART GALLERY OF BALLARAT - HVAC WORKS
ADDRESS | 40 LYDIARD ST N, BALLARAT CENTRAL VIC 3350
CLIENT | BALLARAT CITY COUNCIL



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TENDER

DRAWING | PROPOSED GROUND FLOOR REFLECTED CEILING PLAN

DRAWING No. | HVAC-A2.06

PROJECT No. | 0504ART

AUTHOR | JAQ

REVISION

T01

SCALE @ A1

1:100

DATE

26/02/2025



NOTE

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PROPOSED NEW ACCESS PANEL.
EXISTING CCTV.
EXISTING BMS TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
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REINSTATE EXISTING LIGHT FITTING.
EXISTING MISCELLANEOUS SERVICES.
EXISTING SMOKE DETECTOR.
PROPOSED SKIRTING TO MATCH EXISTING. REFER TO PROJECT SCHEDULE FOR DETAIL.
EXISTING SERVICES TO REMAIN & PROTECT FROM DAMAGE. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAILS. MAKE GOOD AS REQUIRED.
EXISTING THERMOSTAT. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL.
EXISTING AFTER HOURS PUSH BUTTON. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL.
HIGHLIGHTED AREA DENOTES PROPOSED COST OPTION X.

NOTES:
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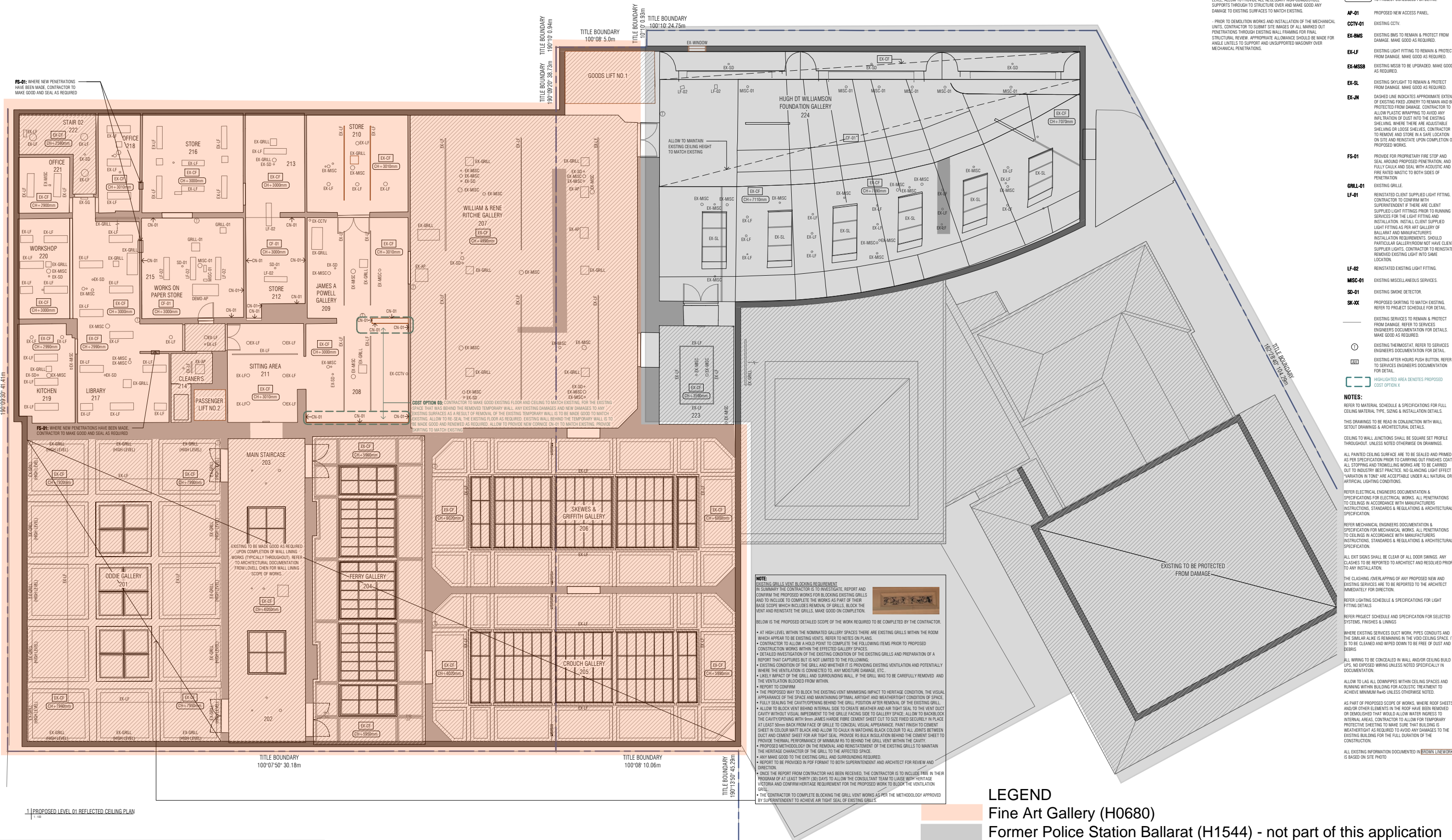
REFER LIGHTING SCHEDULE & SPECIFICATIONS FOR LIGHT FITTING DETAILS
REFER PROJECT SCHEDULE AND SPECIFICATION FOR SELECTED SYSTEMS, FINISHES & LININGS

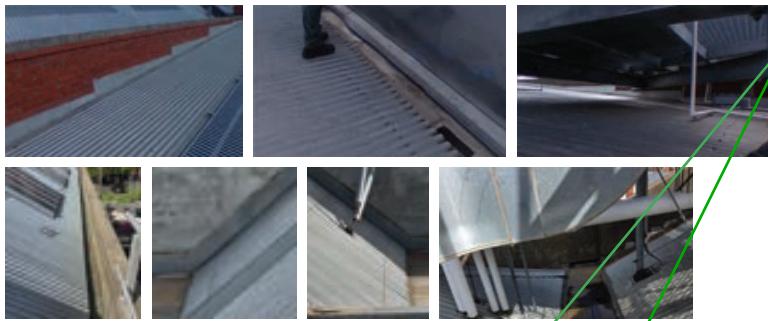
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ALLOW TO LAG ALL DOWNPIPES WITHIN CEILING SPACES AND RUNNING WITHIN BUILDING FOR ACOUSTIC TREATMENT TO ACHIEVE MINIMUM R_w40 UNLESS OTHERWISE NOTED.

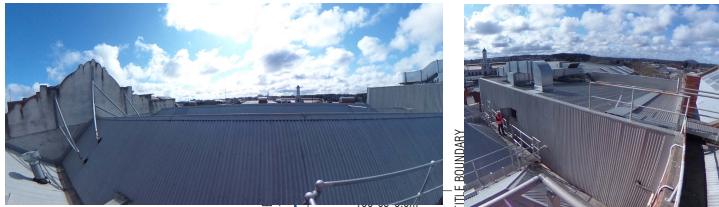
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WHERE EXISTING ROOF SHEETS ARE BEING REPLACED WITH NEW, CONTRACTOR TO ALLOW TO RENEW EXISTING FLASHES BETWEEN EXISTING PARAPET AND NEW ROOF SHEETS. CONTRACTOR TO ALLOW TO MAKE GOOD, PATCH AND RE-RENDER THE EXISTING PARAPET WALL/BRICKWORK. RE-RENDER AS REQUIRED TO MATCH EXISTING STYLE AND FINISH AND INSTALL NEW FLASHING FOR WEATHERTIGHT INSTALLATION.

the existing we understand is corrugated steel roof sheeting, and our intent is to match this roofing material and type



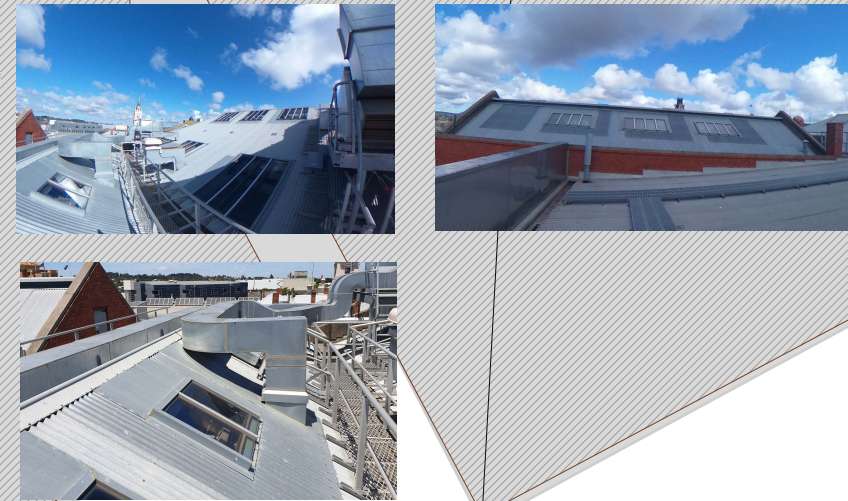
FS-01: PENETRATIONS TO BE COORDINATED AROUND EXISTING STRUCTURAL MEMBERS AND GIRTS. CONTRACTOR TO MAKE GOOD AS REQUIRED AND PROVIDE FIRE SEAL IN ACCORDANCE TO RELEVANT CODE REQUIREMENT TO ALL PENETRATIONS.

FS-01: PENETRATIONS TO BE COORDINATED AROUND EXISTING STRUCTURAL MEMBERS AND GIRTS. CONTRACTOR TO MAKE GOOD AS REQUIRED AND PROVIDE FIRE SEAL IN ACCORDANCE TO RELEVANT CODE REQUIREMENT TO ALL PENETRATIONS.

AHU-2
3800mm L x 1405mm W x 1710mm H

AHU-1
3800mm L x 1100mm W x 1405mm H

the existing we understand is corrugated steel roof sheeting, and our intent is to match this roofing material and type



LEGEND - ROOF

REFER TO PROJECT SCHEDULE FOR SELECTED FINISHES DETAIL.
XX DENOTES FIELDS WITH NUMERICAL LABELLING REFERENCED TO PROJECT SPECIFICATION AND/OR SCHEDULES FOR DETAIL.

- EXISTING SERVICES TO REMAIN & PROTECT FROM DAMAGE. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAILS. MAKE GOOD AS REQUIRED.
- EX-GUT EXISTING BOX GUTTER TO REMAIN AND BE PROTECTED FROM DAMAGE DURING PROPOSED SCOPE OF WORKS. CONTRACTOR TO ALLOW TO INVESTIGATE EXISTING CONDITION OF THE EXISTING GUTTER AND NOTIFY SUPERINTENDENT OF THE CONDITION.
- EX-HAT EXISTING ACCESS HATCH TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EX-MECH REINSTATED EXISTING MECHANICAL SERVICES. MAKE GOOD AS REQUIRED. CONTRACTOR TO NOTE THE COST OPTION 02 TO REPLACE THE UNIT. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR THE COST OPTION DETAILS TO REPLACE EXISTING UNITS WITH NEW UNITS.
- EX-PLATFORM REINSTATED PLANT PLATFORM. MAKE GOOD AS REQUIRED.
- EX-SL EXISTING SKYLIGHT TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EX-WALKWAY REINSTATED WALKWAY. MAKE GOOD AS REQUIRED.
- FS-01 PROVIDE FOR PROPRIETARY FIRE STOP AND SEAL AROUND PROPOSED PENETRATION, AND FULLY CAULK AND SEAL WITH ACROSTIC AND FIRE RATED MASTIC TO BOTH SIDES OF PENETRATION.
- HAT-01 PROPOSED ACCESS HATCH. REFER TO PROJECT SCHEDULE FOR DETAILS.
- MSH-01 PROPOSED MESH PLATFORM. REFER TO PROJECT SCHEDULE FOR DETAILS.
- EX-RF EXISTING ROOF FINISH TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- RF-01 PROPOSED ROOF FINISH TO MATCH EXISTING. WHERE NEW ROOF SHEET IS BEING PROVIDED, CONTRACTOR TO ALLOW FOR 120x6 LVL 15 BATTEN @ 900 MAX CENTRES.
- PROPOSED COLUMN. REFER STRUCTURAL ENGINEERS DOCUMENTATION.

NOTES

- REFER MECHANICAL ENGINEERS DOCUMENTATION FOR ALL MECHANICAL EQUIPMENT LOCATED ON ROOF.
- REFER HYDRAULIC ENGINEERS DOCUMENTATION TO ALL SERVICE PENETRATIONS THROUGH ROOF.
- ALL ROOF PENETRATIONS TO BE WATERPROOF AS PER SPECIFICATION DETAILS.
- REFER TO STRUCTURAL ENGINEERS DOCUMENTATION FOR FULL DETAILS & SIZES OF ALL STRUCTURAL MEMBERS.
- READ THIS DRAWING IN CONJUNCTION WITH THE SPECIFICATION & FINISHES SCHEDULE FOR ALL ROOF DETAILS. SPECIFICATION TAKES PRECEDENCE OVER ARCHITECTURAL DRAWINGS.
- EAVES GUTTER TO FALL MIN. 1:400 TO OUTLETS. BOX GUTTERS TO FALL MIN. 1:200 TO OUTLETS. BOX GUTTER DEPTHS NOMINATED ARE TO BE READ AS MINIMUM DEPTHS AT HIGHEST POINT. BOX GUTTER Sumps & OVERFLOW DESIGN TO BE CONSTRUCTED IN ACCORDANCE WITH AS3500.3.
- ROOF INSTALLATION TO BE CONSTRUCTED IN ACCORDANCE WITH AS1562.1:2018, VBA, NCC AND MANUFACTURERS REQUIREMENTS.
- ALL PROPRIETARY ROOFING MATERIALS TO BE INSTALLED STRICTLY AS PER MANUFACTURERS DETAILS WHILST COMPLYING WITH AUSTRALIAN STANDARDS, NCC & VBA REQUIREMENTS.
- REFER TO ESD CONSULTANT SECTION J REPORT FOR DETAILS REGARDING ROOF INSULATION REQUIREMENTS.
- ROOF ACCESS SYSTEM TO BE DESIGNED IN ACCORDANCE WITH SECTION 28 OF THE OCCUPATIONAL HEALTH & SAFETY ACT 2004 AND CODES OF PRACTICE, INCLUDING AUSTRALIAN STANDARDS AS1891 & AS1857. REFER TO SPECIFICATION FOR FULL DETAILS.
- NOTE: FINAL LOCATION & QUANTITIES OF ANCHOR POINTS AND/OR STATIC LINES, ROOF ACCESS LADDERS AND ANCILLARY COMPONENTS TO BE DETERMINED & VERIFIED BY THE SAFE ROOF ACCESS CONTRACTOR. ALL ROOF ACCESS LADDERS TO MANUFACTURERS DETAIL & IN COMPLIANCE WITH AS1857.
- ALLOW TO LAG ALL DOWNPIPES WITHIN CEILING SPACES AND RUNNING WITHIN BUILDING FOR ACOUSTIC TREATMENT TO ACHIEVE MINIMUM R1W4S.
- AS PART OF PROPOSED SCOPE OF WORKS, WHERE ROOF SHEETS AND/OR OTHER ELEMENTS IN THE ROOF HAVE BEEN REMOVED OR DEMOLISHED THAT WOULD ALLOW WATER INGRESS TO INTERNAL AREAS, CONTRACTOR TO ALLOW FOR TEMPORARY PROTECTIVE SHEETING TO MAKE SURE THAT BUILDING IS WEATHERTIGHT AS REQUIRED TO AVOID ANY DAMAGES TO THE EXISTING BUILDING FOR THE FULL DURATION OF THE CONSTRUCTION.
- PRIOR TO DEMOLITION WORKS AND INSTALLATION OF THE MECHANICAL UNITS, CONTRACTOR TO SUBMIT SITE IMAGES OF ALL MARKED OUT PENETRATIONS THROUGH EXISTING WALL FRAMING FOR FINAL STRUCTURAL REVIEW. APPROPRIATE ALLOWANCE SHOULD BE MADE FOR ANGLE LITTELS TO SUPPORT AND UNSUPPORTED MASONRY OVER MECHANICAL PENETRATIONS.
- CONTRACTOR TO PROVIDE FLASHING AND CAPPING AS REQUIRED TO ALL AREAS AS REQUIRED TO NEW ROOF SHEET FOR COMPLETE WEATHERTIGHT INSTALLATION. REFER TO ARCHITECTURAL SPECIFICATION FOR DETAIL.

NOTE

- ALL AFFECTED AREAS DUE TO PROPOSED WORK TO BE MADE GOOD TO MATCH EXISTING AS REQUIRED.
- WHERE PENETRATIONS ARE MADE FOR PROPOSED SERVICES WORKS (E.G. TO INSTALL THERMOSTAT), CONTRACTOR TO MAKE GOOD THE AFFECTED SURFACES TO MATCH EXISTING ADJACENT SURFACES AND SEAL AS REQUIRED.
- ALL EXISTING INFORMATION DOCUMENTED IN BROWN LINEWORKS BASED ON SITE PHOTO.

LEGEND

Fine Art Gallery (H0680)
Former Police Station Ballarat (H1544) - not part of this application

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DRAWING PROPOSED ROOF PLAN

DRAWING No. HVAC-A2.08

PROJECT No. 0504ART

AUTHOR JAQ

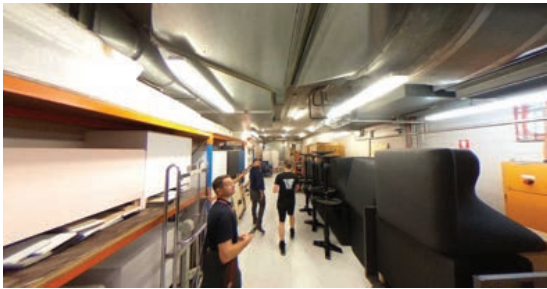
REVISION T01

SCALE @ A1 As indicated

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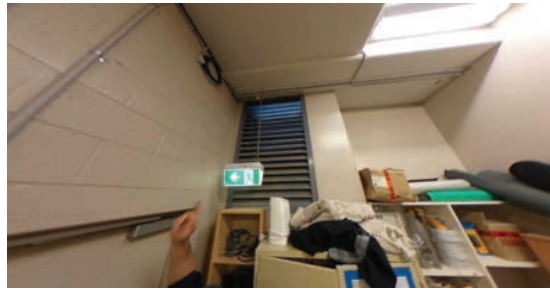
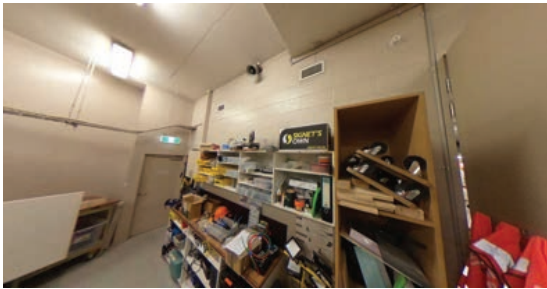
ROOM 001 - LOADING BAY



ROOM 002 - STORE



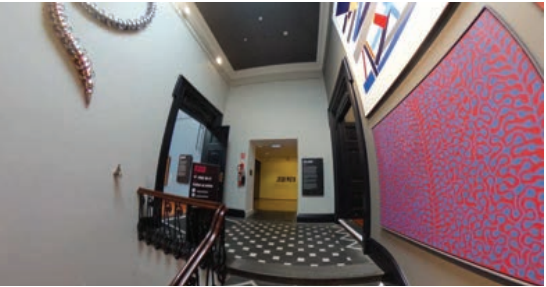
ROOM 004 - WORK ROOM



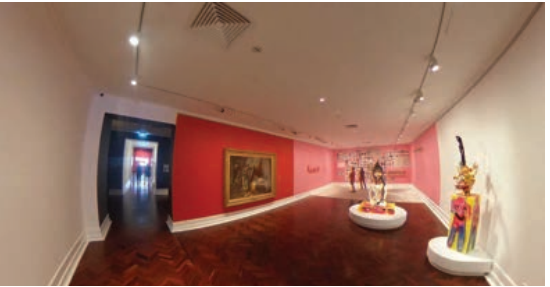
ROOM 102 - GALLERY SHOP



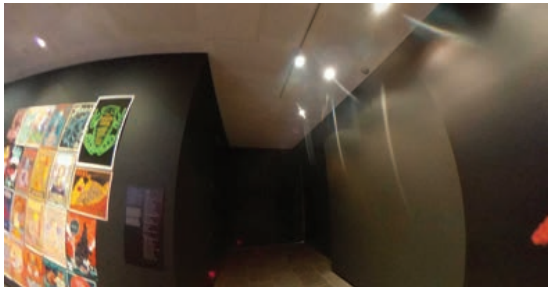
ROOM 103 - STAIR 01



ROOM 110 - MINNIE WILLIAMSON GALLERY



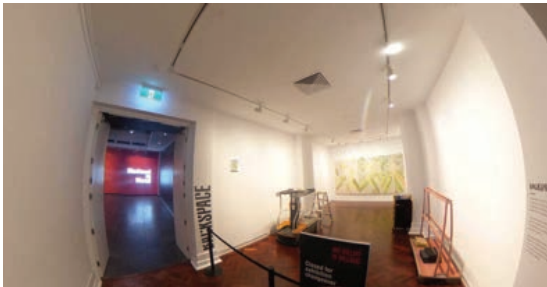
ROOM 104 - MCCAIN HALL



ROOM 111 - HELEN MCPHERSON SMITH TRUST GALLERY



ROOM 113 - BACKSPACE GALLERY



ROOM 116 - SELKIRK FAMILY GALLERY



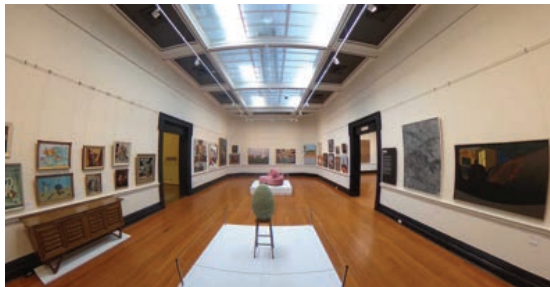
ROOM 125 - CORRIDOR



MEZZANINE



ROOM 206 - SKEWES & GRIFFITH GALLERY



ROOM 212 - STORE



ROOM 224 - HUGH DT WILLIAMSON FOUNDATION GALLERY



LEGEND - DEMOLITION PLAN

- EXTENT OF ALL EXISTING TO REMAIN AND BE PROTECTED DURING PROPOSED SCOPE OF WORKS.
- EXISTING WALL TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- PROPERTY LINE (BASED ON BEVERIDGE WILLIAMS SURVEY INFORMATION DATED 10/02/2025)
- EXISTING FIRE EXTINGUISHER TO BE REMOVED AND RELOCATED.
- EXISTING GRILL TO BE REMOVED, CLEANED AND REINSTATED AS PART OF THE HVAC MECHANICAL WORKS. AS PART OF TEMPORARY GENERATOR WORKS, PREPARE THE SURFACE TO SUIT CREATING 300mm X 300mm PENETRATION IN EXISTING GRILL.
- EXISTING HOSE TO BE REMOVED AND RELOCATED.
- EXISTING MISCELLANEOUS ITEMS TO BE CAREFULLY REMOVED AND REINSTATED. ANY DAMAGES ARE TO BE PATCHED AND MAKE GOOD AS REQUIRED. LOCATION TO BE CONFIRMED ON SITE BY SUPERINTENDENT. PRIOR TO PROCEEDING WITH DEMOLITION WORK, CONTRACTOR TO CONFIRM WITH SUPERINTENDENT IF ITEMS COULD BE REMOVED AND RELOCATED.
- EXISTING MSSB TO BE DEMOLISHED. EXISTING CABLES TO BE DISCONNECTED AS REQUIRED AND RETAINED FOR RECONNECTION TO NEW MSSB. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL.
- EXISTING REMOTE AUTHORITY METER TO BE REMOVED AND RELOCATED. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL.
- EXISTING ACCESS PANEL TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING COLUMN TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING DOWNPIPE TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EXISTING MSSB TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

GENERAL DEMOLITION NOTES

THE EXISTING BUILDING IS HERITAGE LISTED. DEMOLITION WORK SHALL BE COMPLETED IN A DETAILED MANNER TO AVOID ANY DAMAGE TO THE EXISTING BUILDING AND HERITAGE FABRIC WHICH IS TO REMAIN AND BE PROTECTED FULLY FROM DAMAGE. ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO, THE CURRENT & RELEVANT BUILDING REGULATIONS, THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS REFERRED TO THEREIN. THESE NOTES SPECIFY ONLY THE MINIMUM STANDARD OF WORK FOR THE DEMOLITION WORKS ON PROJECTS, AND ALL WORKMANSHIP AND PRECAUTIONS SHALL BE TO BEST TRADE PRACTICE.

PRECAUTIONS MUST BE TAKEN BEFORE AND DURING DEMOLITION IN ACCORDANCE WITH AS 2881:2021 DEMOLITION OF STRUCTURES.

DURING THE PROGRESS OF THE DEMOLITION THE WORKS SHALL BE UNDER THE CONTINUOUS SUPERVISION OF THE DEMOLISHER OR OF AN EXPERIENCED FOREMAN, AND DEMOLITION SHALL BE EXECUTED STOREY BY STOREY IF APPLICABLE, COMMENCING AT THE ROOF AND WORKING DOWNWARDS.

THE DEMOLITION MUST NOT BE COMMENCED UNTIL THE PRECAUTIONARY MEASURES SUCH AS SURVEYS HAVE BEEN UNDERTAKEN AS SPECIFIED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AND SUPERINTENDENT.

PROTECTIVE OUTRIGGERS, FENCES, ARROWS, HOARDING, BARBARRIES AND THE LIKE MUST BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY OR WHEN REQUIRED BY THE RELEVANT AUTHORITY OR SUPERINTENDENT & MAINTAINED THROUGHOUT THE WORKS.

DUST CREATING MATERIAL, UNLESS THOROUGHLY DAMPENED DOWN, SHALL NOT BE THROWN OR DROPPED FROM THE BUILDING BUT SHALL BE LOWERED BY HOISTING APPARATUS OR REMOVED BY MATERIAL CHUTES. ALL CHUTES SHALL BE COMPLETELY ENCLOSED AND A DANGER SIGN SHALL BE AT THE DISCHARGE END OF EVERY CHUTE.

ALL PRACTICABLE PRECAUTIONS SHALL BE TAKEN TO AVOID DANGER FROM COLLAPSE OF A BUILDING WHEN ANY PART OF A FRAMED OR PARTLY FRAMED BUILDING IS REMOVED.

NO WALL, CHIMNEY OR OTHER STRUCTURE OR PART OF A STRUCTURE SHALL BE LEFT UNATTENDED OR UNSUPPORTED IN SUCH A CONDITION THAT IT MAY COLLAPSE DUE TO WIND OR VIBRATION OR OTHERWISE BECOME DANGEROUS.

BEFORE DEMOLITION IS COMMENCED, AND ALSO DURING THE PROGRESS OF SUCH WORKS, ALL ELECTRICAL CABLE OR APPARATUS WHICH ARE LIABLE TO BE A SOURCE OF DANGER - OTHER THAN CABLE OR APPARATUS USED FOR THE DEMOLITION WORKS SHALL BE DISCONNECTED.

ARRANGEMENTS SHALL BE MADE WITH THE PRINCIPAL FOR THE DISCONNECTION OF ELECTRICAL AREAS EFFECTED BY WORKS. ALLOW TO PROVIDE ALL NECESSARY TEMPORARY WIRING, CONNECTIONS AND BACK UP POWER TO MAINTAIN THE EXISTING GALLERY ART GALLERY (OF BALLARAT) IN FULL OPERATION FOR PROTECTION OF ART INSTALLATIONS. THE LICENSED ELECTRICAL CONTRACTOR SHALL SATISFY THE RELEVANT ELECTRICAL SUPPLY AUTHORITY THAT THE PORTION OF THE BUILDING TO BE DEMOLISHED HAS BEEN ISOLATED.

THE DEMOLISHER SHALL BE RESPONSIBLE TO CUT AND SEAL ANY STORM WATER, SEWER PIPES, WATER SERVICES, GAS SERVICES AND THE LIKE.

MATERIALS REMOVED OR DISPLACED FROM THE BUILDING SHALL NOT BE PLACED IN ANY STREET, ROAD OR RIGHT OF WAY AND, BEFORE COMMENCING, WHERE REQUIRED, SHALL BE KEPT SPRAYED WITH WATER SO AS TO PREVENT ANY NUISANCE FROM DUST.

MATERIALS REMOVED OR DISPLACED FROM THE DEMOLITION WORKS OR MATERIALS LEFT STANDING SHALL NOT BE BURNED ON THE DEMOLITION SITE.

REMOVAL OF BUILDINGS BY ROAD MUST BE APPROVED BY RELEVANT COUNCILS TRAFFIC ENGINEER.

A SITE MANAGEMENT PLAN IS TO BE IMPLEMENTED DURING DEMOLITION WORKS TO CONTROL SEDIMENT RUN-OFF IN ACCORDANCE WITH EPA VICTORIA PUBLICATION #1834.1 CIVIL CONSTRUCTION, BUILDING AND DEMOLITION GUIDE CONSTRUCTION TECHNIQUES FOR EROSION AND SEDIMENT CONTROL. PROVIDE PROPER OR EQUIVALENT SILT FENCES TO THE LOW SIDE OF THE ALLOTMENT AND AROUND ALL SOIL STOCKPILES AND STORM WATER INLET PITS/SUMPS AND INSTALL SILT STOP FILTER BAGS OVER ALL STORM WATER ENTRY PITS DURING DEMOLITION WORKS. SUPERBURY OR EQUIVALENT EROSION CONTROL FABRIC TO BE PLACED OVER GARDEN BEDS TO PREVENT SURFACE EROSION DURING REVEGETATION PERIOD.

NB

- 1/ SERVICES SURVEY TO BE CARRIED OUT PRIOR TO ANY WORKS BEING CARRIED OUT.
- 2/ WHERE EXISTING WINDOWS(S)/ SKYLIGHT (S) ARE TO REMAIN, ALLOW TO REINSTATE ANY DAMAGED, CRACKED OR BROKEN GLAZING WITH NEW. ALL IN ACCORDANCE WITH AS1288 2021.
- 3/ THIS DRAWING DOES NOT INCLUDE ALL NECESSARY DEMOLITION WORK, CONTRACTOR TO ALLOW TO REVIEW ALL DOCUMENTATION FOR THIS PROJECT AND ALLOW FOR ALL NECESSARY DEMOLITION AND DETAILED DEMOLITION TO SUIT THE PROPOSED WORKS.
- 4/ ALL EXISTING INFORMATION DOCUMENTED IN BROWN LINEWORK IS BASED ON SITE PHOTO

NOTE

- ALL AFFECTED AREAS DAMAGED DUE TO PROPOSED DEMOLITION AND NEW WORK TO BE MADE GOOD TO MATCH EXISTING AS REQUIRED. THIS TYPICALLY INCLUDES WHERE EXISTING CEILING SUPPORTS, SERVICES SUPPORT HANGERS, RODS, FININGS OR OTHER HAVE BEEN REMOVED TO MAKE GOOD TO ALL HOLES, PENETRATIONS TO FINISH TO MATCH THE EXISTING SURROUNDING SURFACES.
- WHERE PENETRATIONS ARE MADE FOR PROPOSED SERVICES WORKS (E.G. TO INSTALL THERMISTAT), CONTRACTOR TO MAKE GOOD TO MATCH EXISTING AS REQUIRED. ALLOW TO PROVIDE FIRE RATED TREATMENT TO ALL PENETRATIONS THROUGH EXISTING SLABS TO MAINTAIN FIRE RATING BETWEEN DIFFERING FLOOR LEVELS. FIRE RATED TREATMENT TO ACHIEVE MINIMUM FOUR (4) HOURS UNLESS NOTED OTHERWISE.
- WHERE NEW DUCTWORK AND SERVICES ARE BEING INSTALLED AT HIGH LEVEL, ALLOW TO PROVIDE ALL NECESSARY NON-COMBUSTIBLE SUPPORTS THROUGH TO STRUCTURE OVER AND MAKE GOOD ANY DAMAGE TO EXISTING SURFACES TO MATCH EXISTING.
- PRIOR TO DEMOLITION WORKS AND INSTALLATION OF THE MECHANICAL UNITS, CONTRACTOR TO SUBMIT SITE IMAGES OF ALL MARKED OUT PENETRATIONS THROUGH EXISTING WALL FRAMING FOR FIN STRUCTURAL REVIEW. APPROPRIATE ALLOWANCE SHOULD BE MADE FOR ANGLE LINTELS TO SUPPORT AND UNSUPPORTED MASONRY OVER MECHANICAL PENETRATIONS.

PRESENCE OF ASBESTOS NOTES

THE BUILDING OWNER IS RESPONSIBLE FOR THE DETECTION OF ANY ASBESTOS MATERIAL ON AN EXISTING SITE. OR IN AN EXISTING BUILDING TO BE DEMOLISHED OR RENOVATED. ENGAGE A SPECIALIST CONSULTANT TO IDENTIFY ASBESTOS MATERIAL, HAZARDOUS OR TOXIC SUBSTANCES ON THE SITE OR ADJACENT AREAS AND TO COMPLY WITH APPLICABLE LAWS AND REGULATIONS.

IF ANY SUCH MATERIAL IS DISCOVERED ON THE SITE AFTER WORK HAS STARTED THE WORK WILL BE AUTHORISED BY THE SUPERINTENDENT TO CEASE IMMEDIATELY TO THE EFFECTED AREA, THE CLIENT ADVISED AND ADEQUATE TO PROCEED IN ACCORDANCE WITH THE PREVIOUS PARAGRAPH. THE ARCHITECT WILL REQUIRE THE CLIENT TO REDEFINE THE ARCHITECT IN WRITING AGAINST ANY CLAIM RELATING TO LIABILITY OR LOSS RELATING TO THE DETECTION, ABATEMENT, REMOVAL AND DISPOSAL OF ASBESTOS, HAZARDOUS AND TOXIC SUBSTANCES.

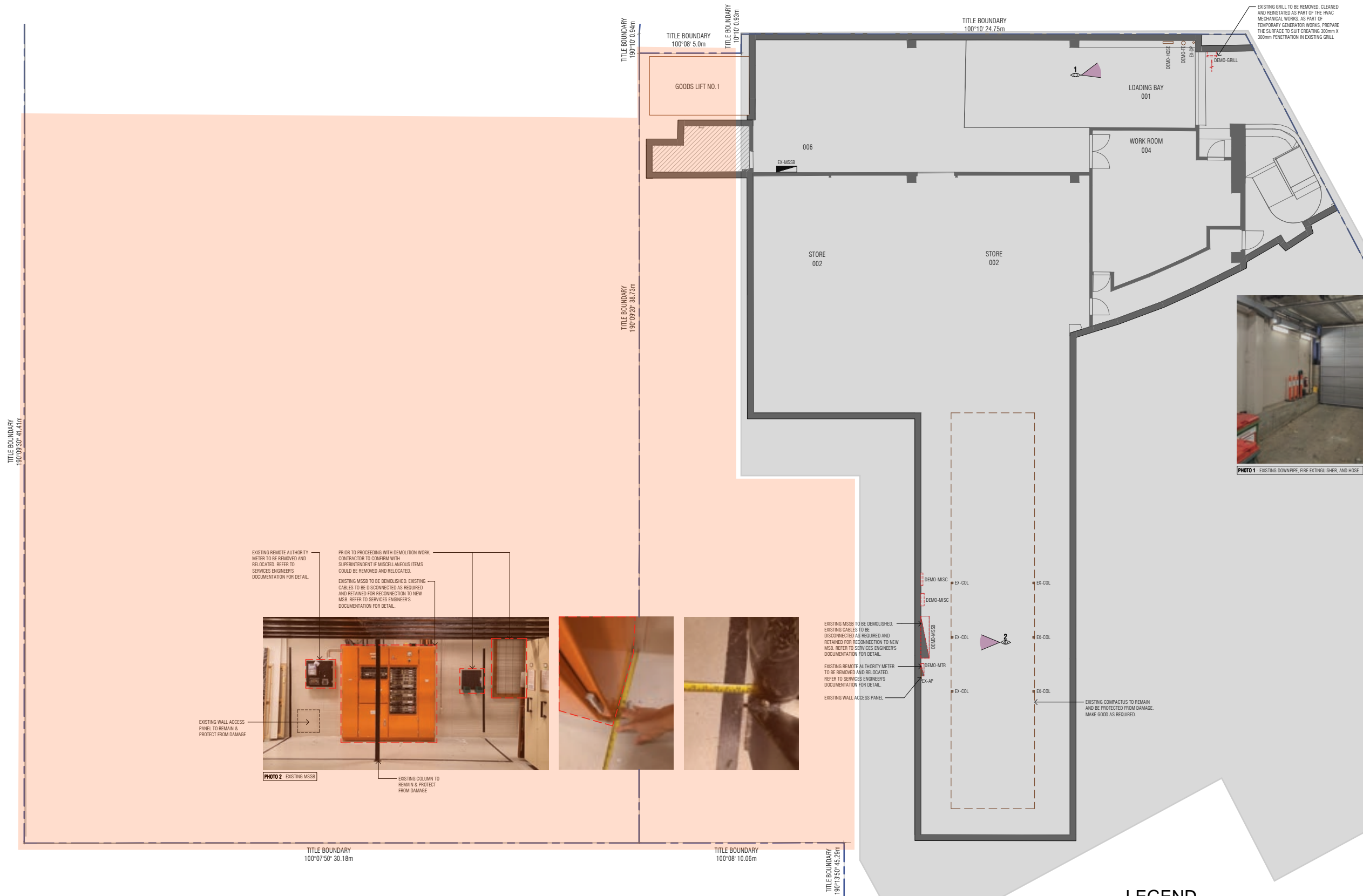


PHOTO 1 - EXISTING DOWNPIPE, FIRE EXTINGUISHER, AND HOSE

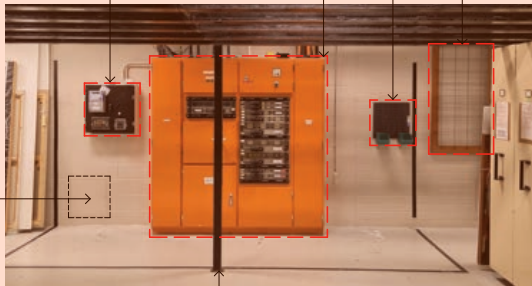


PHOTO 2 - EXISTING MSSB



EXISTING MSSB TO BE DEMOLISHED. EXISTING CABLES TO BE DISCONNECTED AS REQUIRED AND RETAINED FOR RECONNECTION TO NEW MSSB. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL.

EXISTING REMOTE AUTHORITY METER TO BE REMOVED AND RELOCATED. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL.

EXISTING WALL ACCESS PANEL

LEGEND

Fine Art Gallery (H0680)
Former Police Station Ballarat (H1544) - not part of this application

1 | EXISTING/DEMOLITION TEMPORARY GENERATOR WORKS

NOTE IMPORTANT

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ALL 3D IMAGING USED IN THESE DRAWINGS IS INDICATIVE ONLY. ANY 3D IMAGING IS SHOWN FOR COORDINATION PURPOSES ONLY.

PRELIMINARY - NOT FOR CONSTRUCTION

DO NOT SCALE

TENDER

DRAWING | EXISTING/DEMOLITION TEMPORARY GENERATOR WORKS

DRAWING No. | HVAC-A2.10

PROJECT No. | 0504ART

AUTHOR | JAQ

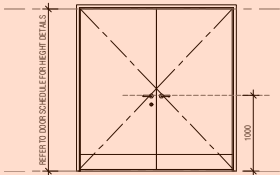
REVISION | T00

SCALE @ A1 | 1 : 100

DATE | 26/02/2025



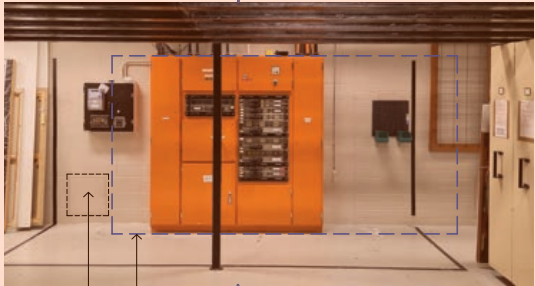
TITLE BOUNDARY
190°09'30" 41.41m



TYPE A
DOUBLE HINGED, FIRE RATED SOLID CORE DOORS WITH PRESSED METAL JAMBS & KICKPLATE

DOOR TYPE SCHEDULE (PROPOSED)

ROOM No.	DOOR No.	FROM ROOM	TO ROOM	DOOR TYPE	LEAF WIDTH	2ND LEAF WIDTH	LEAF HEIGHT	DESCRIPTION	LOCATION	FRAME FINISH	LEAF FINISH	HARDWARE TYPE	THRESHOLD PLATE	GLAZING TYPE	SEAL TYPE	STATUTORY SIGNAGE	AS1428.1	DOOR NOTES
002	01	STORE	SERVICES ENCLOSURE	TYPE A	920	920	2140	DOUBLE HINGED, FIRE RATED SOLID CORE DOORS WITH PRESSED METAL JAMBS & KICKPLATE	INTERNAL	DF-01	LF-01	AS1428 COMPLIANT	N/A	N/A	PROVIDE SMOKE SEAL	SG-05, REFER TO PROJECT SCHEDULE FOR DETAIL	YES	FIRE RATED DOOR LEAF AS PER ARCHITECTURAL SPECIFICATION, PROVIDE FIRE RATED HINGES AND HARDWARE, REFER TO APPENDIX P - DOOR HARDWARE SCHEDULE FOR DOOR HARDWARE INFORMATION.
002	02	STORE	SERVICES ENCLOSURE	TYPE A	920	920	2140	DOUBLE HINGED, FIRE RATED SOLID CORE DOORS WITH PRESSED METAL JAMBS & KICKPLATE	INTERNAL	DF-01	LF-01	AS1428 COMPLIANT	N/A	N/A	PROVIDE SMOKE SEAL		YES	FIRE RATED DOOR LEAF AS PER ARCHITECTURAL SPECIFICATION, PROVIDE FIRE RATED HINGES AND HARDWARE, REFER TO APPENDIX P - DOOR HARDWARE SCHEDULE FOR DOOR HARDWARE INFORMATION.



EXISTING WALL ACCESS PANEL TO REMAIN & PROTECT FROM DAMAGE
PROPOSED SERVICES ENCLOSURE TO STAY CLEAR FROM EXISTING WALL ACCESS PANEL

TITLE BOUNDARY
100°07'50" 30.18m

TITLE BOUNDARY
100°08' 10.06m

TITLE BOUNDARY
190°15'50" 45.29m

1 | PROPOSED TEMPORARY GENERATOR WORKS



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design development

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PROJECT | ART GALLERY OF BALLARAT - HVAC WORKS
ADDRESS | 40 LYDIARD ST N, BALLARAT CENTRAL VIC 3350
CLIENT | BALLARAT CITY COUNCIL



NOTE IMPORTANT.

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LEGEND

Fine Art Gallery (H0680)

Former Police Station Ballarat (H1544) - not part of this application

PRELIMINARY -
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DO NOT SCALE

TENDER

DRAWING | PROPOSED TEMPORARY GENERATOR WORKS

DRAWING No. | HVAC-A2.11

PROJECT No. | 0504ART

AUTHOR | JAQ

REVISION

T00

SCALE @ A1 | As indicated

DATE

26/02/2025



LEGEND - PROPOSED FLOOR PLAN

- EXTENT OF ALL EXISTING TO REMAIN AND BE PROTECTED DURING PROPOSED SCOPE OF WORKS.
- EXISTING WALL TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- PROPERTY LINE (BASED ON BEVERIDGE WILLIAMS SURVEY INFORMATION DATED 10/02/2025)
- EX-AP** EXISTING ACCESS PANEL TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EX-COL** EXISTING COLUMN TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- MISC-01** REINSTATED MISCELLANEOUS ITEMS.
- MSSB-01** PROPOSED MSSB. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL.
- MTR-01** REINSTATED REMOTE AUTHORITY METER.

NOTES:

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEERS DRAWINGS. ANY DISCREPANCIES TO BE CONFIRMED WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORKS.

THESE DRAWINGS TO BE READ IN CONJUNCTION WITH WALL TYPE DRAWINGS & ARCHITECTURAL DETAILS. REFER TO ARCHITECTURAL SPECIFICATION FOR SPECIFIED MATERIALS ETC. EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS-2993.

ALL EXTERNAL STEELWORK EXPOSED TO WEATHER SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE.

ALL INTERNAL STEELWORK IS TO BE SHOP PRIMED.

ALLOW FOR ALL MAKING GOOD AND RE-SCREEDING TO FLOOR SURFACE FOR PROPOSED FLOOR FINISHES.

GRADED FLOOR TO FLOOR WASTE ARE NOT SHOWN ON THIS DRAWING. REFER PROPOSED FLOOR PLAN & FITOUT PLAN FOR DETAILS OF GRADED FLOORS.

ISOLATION JOINTS TO BE PROVIDED BETWEEN SEPARATE CONCRETE ELEMENTS. REFER PROJECT SPECIFICATION.

REFER PROJECT SPECIFICATION FOR SELECTED FLOOR COVER TRIM THRESHOLD PLATE BETWEEN CHANGE IN FLOOR FINISHES.

ALL EXISTING INFORMATION DOCUMENTED IN **BROWN LINEWORK** IS BASED ON SITE PHOTO.

NOTE

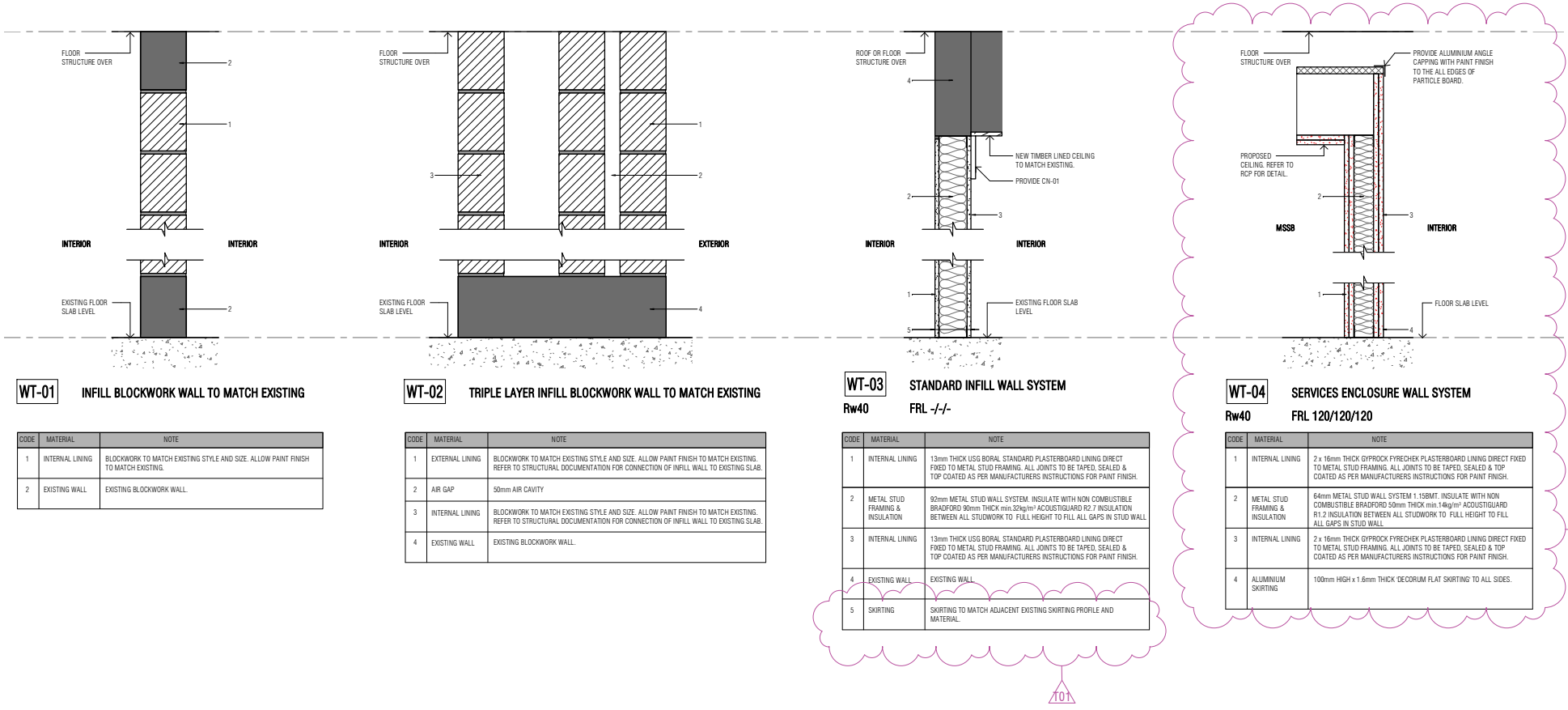
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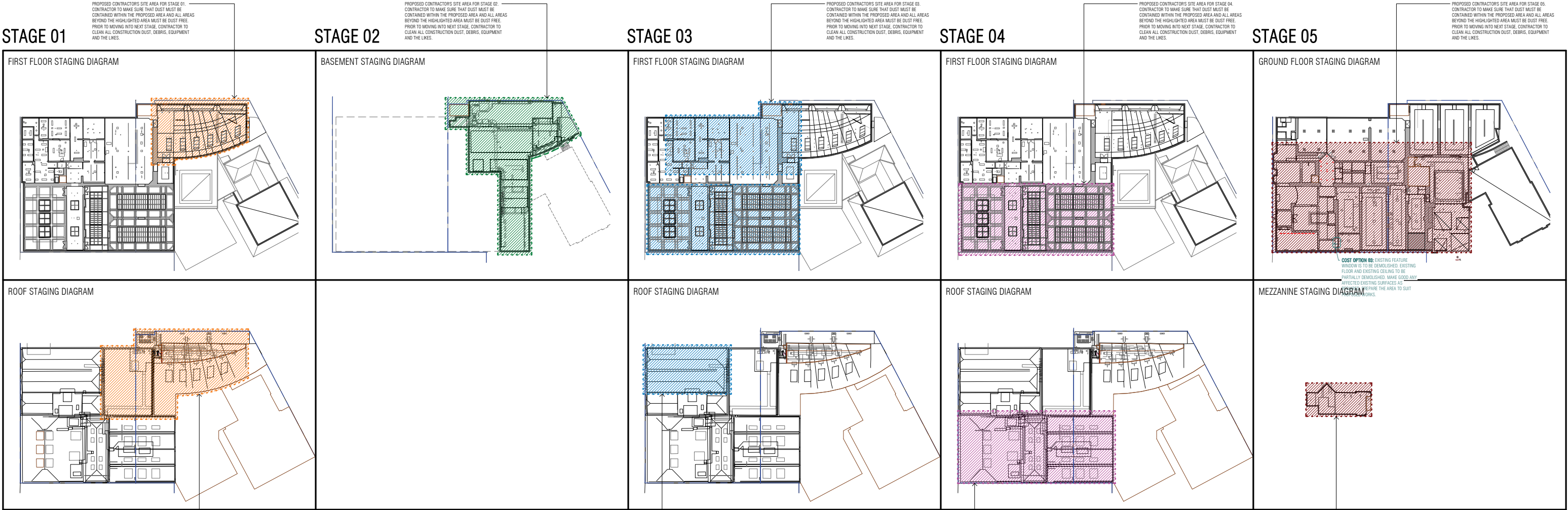
- WHERE PENETRATIONS ARE MADE FOR PROPOSED SERVICES WORKS (E.G. TO INSTALL THERMOSTAT), CONTRACTOR TO MAKE GOOD TO MATCH EXISTING AS REQUIRED. ALLOW TO PROVIDE FIRE RATED TREATMENT TO ALL PENETRATIONS THROUGH EXISTING SLABS TO MAINTAIN FIRE RATING BETWEEN DIFFERING FLOOR LEVELS. FIRE RATED TREATMENT TO ACHIEVE MINIMUM FOUR (4) HOURS UNLESS NOTED OTHERWISE.

- WHERE NEW DUCTWORK AND SERVICES ARE BEING INSTALLED AT HIGH LEVEL, ALLOW TO PROVIDE ALL NECESSARY NON-COMBUSTIBLE SUPPORTS THROUGH TO STRUCTURE OVER AND MAKE GOOD ANY DAMAGE TO EXISTING SURFACES TO MATCH EXISTING.

- PRIOR TO DEMOLITION WORKS AND INSTALLATION OF THE MECHANICAL UNITS, CONTRACTOR TO SUBMIT SITE IMAGES OF ALL MARKED OUT PENETRATIONS THROUGH EXISTING WALL FRAMING FOR FINAL STRUCTURAL REVIEW. APPROPRIATE ALLOWANCE SHOULD BE MADE FOR ANGLE LINTELS TO SUPPORT AND UNSUPPORTED MASONRY OVER MECHANICAL PENETRATIONS.

INTERNAL WALL SYSTEMS





- LEGEND - STAGING DIAGRAM**
- STAGE 01: EXTENT OF STAGE 01 WORKS AND CONTRACTOR'S AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.
 - STAGE 02: EXTENT OF STAGE 02 WORKS AND CONTRACTOR'S AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.
 - STAGE 03: EXTENT OF STAGE 03 WORKS AND CONTRACTOR'S AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.
 - STAGE 04: EXTENT OF STAGE 04 WORKS AND CONTRACTOR'S AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.
 - STAGE 05: EXTENT OF STAGE 05 WORKS AND CONTRACTOR'S AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.

NOTE:
FOR PROPOSED STAGING PLAN DETAILS, REFER TO HVAC-A4 SERIES INCLUDING PROPOSED LOCATION OF THE HOARDINGS.

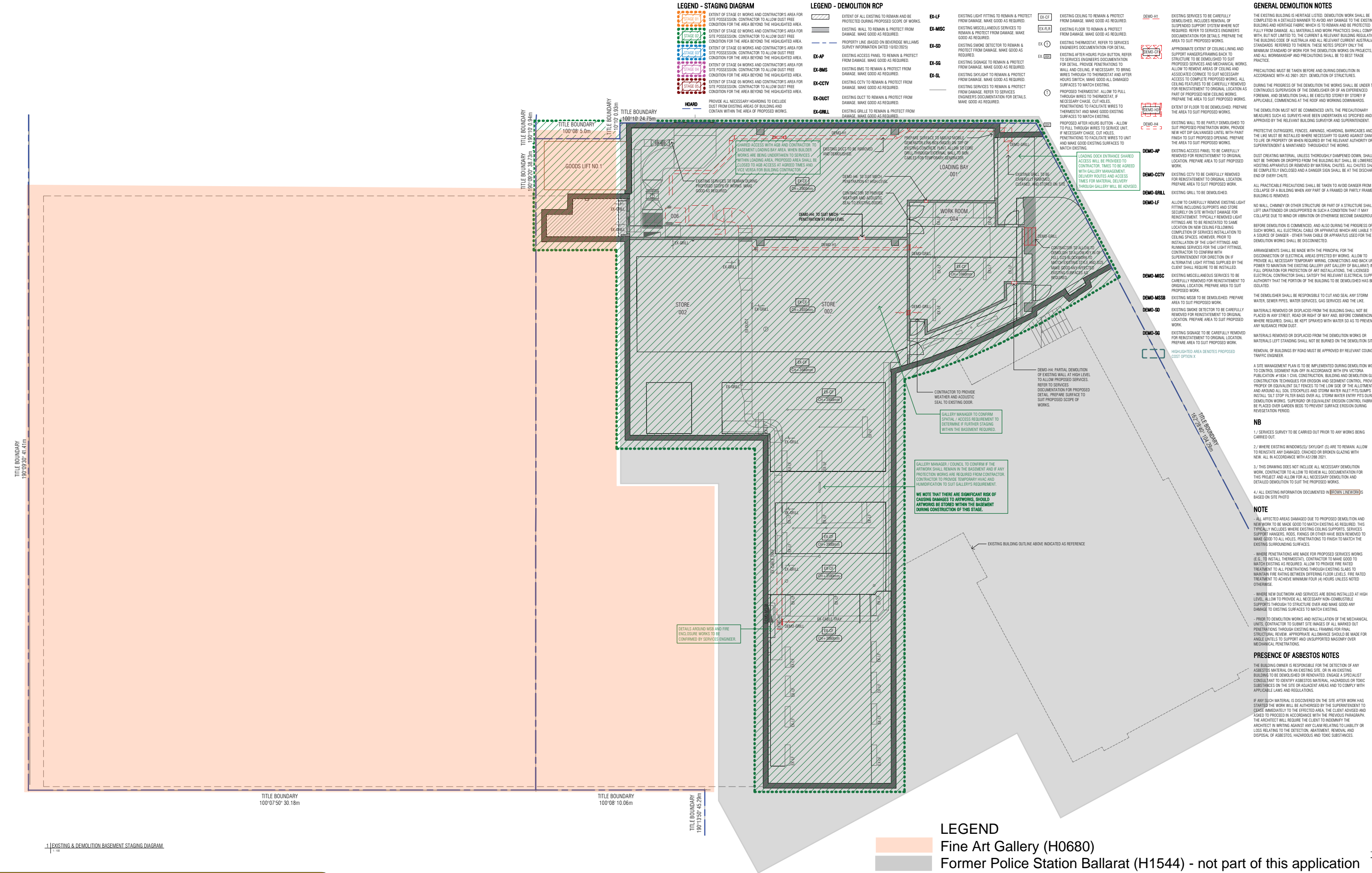


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CONTRACTOR IS TO PROVIDE ALL ITEMS AS IMPLIED WITHIN THIS DOCUMENTATION INCLUDING ALL NECESSARY SUPPORT AND ACCESSORIES AS REQUIRED FOR COMPLETENESS.
DO NOT SCALE FROM THESE DRAWINGS. ALL DIMENSIONS TO BE VERIFIED ON SITE AND ANY DISCREPANCIES MUST BE REPORTED TO THE SUPERINTENDENT IMMEDIATELY BEFORE COMMENCING CONSTRUCTION OR SHOP DRAWINGS.
ALL 3D IMAGING USED IN THESE DRAWINGS IS INDICATIVE ONLY. ANY 3D IMAGING IS SHOWN FOR COORDINATION PURPOSES ONLY.

PRELIMINARY -
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DO NOT SCALE

TENDER






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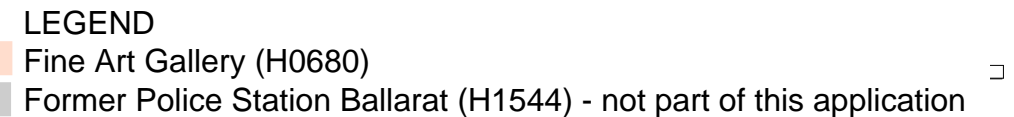
PROJECT	ART GALLERY OF BALLARAT - HVAC WORKS
ADDRESS	40 LYDIARD ST N, BALLARAT CENTRAL VIC 3350
CLIENT	BALLARAT CITY COUNCIL

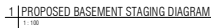


NOTE IMPORTANT.
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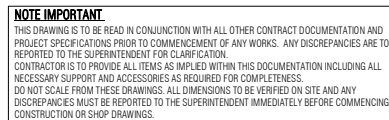
ALL 3D IMAGING USED IN THESE DRAWINGS IS INDICATIVE ONLY. ANY 3D IMAGING IS SHOWN FOR COORDINATION PURPOSES ONLY.

PRELIMINARY - NOT FOR CONSTRUCTION	DRAWING	EXISTING/DEMOLITION BASEMENT STAGING DIAGRAM
DO NOT SCALE	DRAWING No.	HVAC-A4.01
TENDER	PROJECT No.	0504ART
	AUTHOR	JAQ
	REVISION	T00
	SCALE @ A1	1 : 100
	DATE	26/02/2025





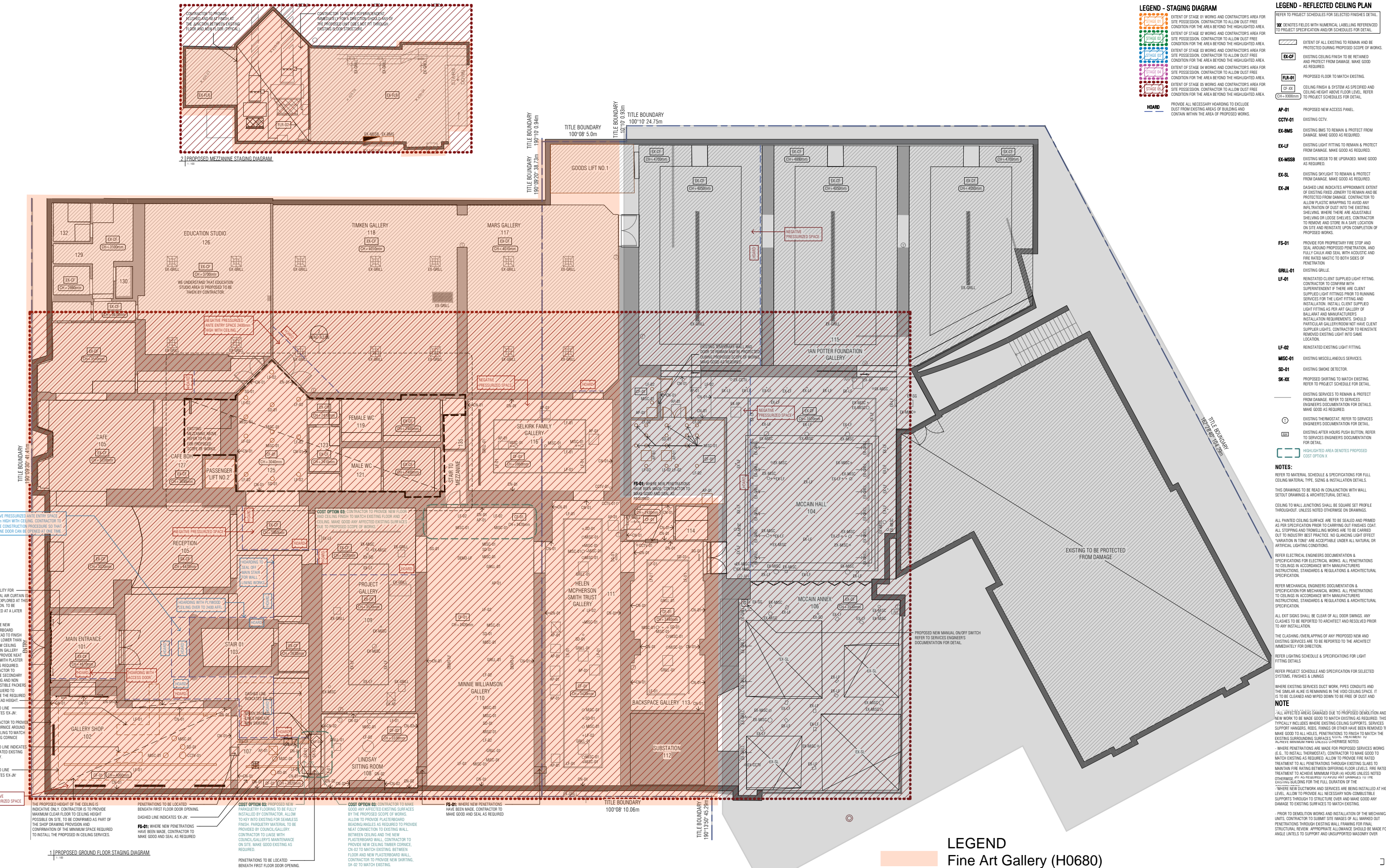
PROJECT	ART GALLERY OF BALLARAT - HVAC WORKS
ADDRESS	40 LYDIARD ST N, BALLARAT CENTRAL VIC 3350
CLIENT	BALLARAT CITY COUNCIL



PRELIMINARY -
NOT FOR CONSTRUCTION

DO NOT SCALE

TENDER



LEGEND - STAGING DIAGRAM

EXTENT OF STAGE 01 WORKS AND CONTRACTORS AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.

EXTENT OF STAGE 02 WORKS AND CONTRACTORS AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.

EXTENT OF STAGE 03 WORKS AND CONTRACTORS AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.

EXTENT OF STAGE 04 WORKS AND CONTRACTORS AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.

EXTENT OF STAGE 05 WORKS AND CONTRACTORS AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.

PROVIDE ALL NECESSARY HOARDING TO INCLUDE DUST FROM EXISTING AREAS OF BUILDING AND CONTAIN WITHIN THE AREA OF PROPOSED WORKS.

HOARD

LEGEND - REFLECTED CEILING PLAN

REFER TO PROJECT SCHEDULES FOR SELECTED FINISHES DETAIL.

XX DENOTES FIELDS WITH NUMERICAL LABELLING REFERENCED TO PROJECT SPECIFICATION AND/OR SCHEDULES FOR DETAIL.

EXTENT OF ALL EXISTING TO REMAIN AND BE PROTECTED DURING PROPOSED SCOPE OF WORKS.

EXISTING CEILING FINISH TO BE RETAINED AND PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

PROPOSED FLOOR TO MATCH EXISTING.

CEILING FINISH & SYSTEM AS SPECIFIED AND CEILING HEIGHT ABOVE FLOOR LEVEL. REFER TO PROJECT SCHEDULES FOR DETAIL.

AP-01 PROPOSED NEW ACCESS PANEL.

CCTV-01 EXISTING CCTV.

EX-BMS EXISTING BMS TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

EX-LF EXISTING LIGHT FITTING TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

EX-MSB EXISTING MSSB TO BE UPGRADED. MAKE GOOD AS REQUIRED.

EX-SL EXISTING SKYLIGHT TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.

EX-IN DASHED LINE INDICATES APPROXIMATE EXTENT OF EXISTING FLOOR JOINTS TO REMAIN AND BE PROTECTED FROM DAMAGE. CONTRACTOR TO ALLOW PLASTIC WRAPPING TO AVOID ANY INFILTRATION OF DUST INTO THE EXISTING SHELVING. WHERE THERE ARE ADJUSTABLE SHELVING OR LOOSE SHELVES, CONTRACTOR TO REMOVE AND STORE IN A SAFE LOCATION ON SITE AND REINSTATE UPON COMPLETION OF PROPOSED WORKS.

FS-01 PROVIDE FOR PROPRIETARY FIRE STOP AND SEAL AROUND PROPOSED PENETRATION, AND FULLY CAULK AND SEAL WITH ACROSEAL AND FIRE RATED MASTIC TO BOTH SIDES OF PENETRATION.

GRILL-01 EXISTING GRILLE.

LF-01 RENAISSANCE CLIENT SUPPLIED LIGHT FITTING. CONTRACTOR TO CONFER WITH SUPERINTENDENT IF THERE ARE CLIENT SUPPLIED LIGHT FITTINGS PRIOR TO RUNNING SERVICES FOR THE LIGHT FITTING AND INSTALLATION. INSTALL CLIENT SUPPLIED LIGHT FITTING AS PER ART GALLERY OF BALLARAT AND MANUFACTURERS INSTALLATION REQUIREMENTS. SHOULD PARTICULAR GALLERY FROM NOT HAVE CLIENT SUPPLIER LIGHTS, CONTRACTOR TO REINSTATE REMOVED EXISTING LIGHT INTO SAME LOCATION.

LF-02 RENAISSANCE EXISTING LIGHT FITTING.

MSC-01 EXISTING MISCELLANEOUS SERVICES.

SD-01 EXISTING SMOKE DETECTOR.

SK-XX PROPOSED SKIRTING TO MATCH EXISTING. REFER TO PROJECT SCHEDULE FOR DETAIL.

EXISTING SERVICES TO REMAIN & PROTECT FROM DAMAGE. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAILS. MAKE GOOD AS REQUIRED.

EXISTING THERMOSTAT. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL.

EXISTING AFTER HOURS PUSH BUTTON. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAIL.

HIGHLIGHTED AREA DENOTES PROPOSED COST OPTION X.

NOTES:

REFER TO MATERIAL, SCHEDULE & SPECIFICATIONS FOR FULL CEILING MATERIAL TYPE, SIZING & INSTALLATION DETAILS.

THIS DRAWINGS TO BE READ IN CONJUNCTION WITH WALL SETOUT DRAWINGS & ARCHITECTURAL DETAILS.

CEILING TO WALL JUNCTIONS SHALL BE SQUARE SET PROFILE THROUGHOUT, UNLESS NOTED OTHERWISE ON DRAWINGS.

ALL PAINTED CEILING SURFACE ARE TO BE SEALED AND PRIMED AS PER SPECIFICATION PRIOR TO CARRYING OUT FINISHES COAT. ALL STOPPING AND TRAVELLING WORKS ARE TO BE CARRIED OUT TO INDUSTRY BEST PRACTICE. NO GLANDING LIGHT EFFECT VARIATION IN TONE ARE ACCEPTABLE UNDER ALL NATURAL OR ARTIFICIAL LIGHTING CONDITIONS.

REFER ELECTRICAL ENGINEERS DOCUMENTATION & SPECIFICATIONS FOR ELECTRICAL WORKS. ALL PENETRATIONS TO CEILING IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS, STANDARDS & REGULATIONS & ARCHITECTURAL SPECIFICATION.

REFER MECHANICAL ENGINEERS DOCUMENTATION & SPECIFICATION FOR MECHANICAL WORKS. ALL PENETRATIONS TO CEILING IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS, STANDARDS & REGULATIONS & ARCHITECTURAL SPECIFICATION.

ALL EXIT SIGNS SHALL BE CLEAR OF ALL DOOR SWINGS. ANY CLASHES TO BE REPORTED TO ARCHITECT AND RESOLVED PRIOR TO ANY INSTALLATION.

THE CLASHING (OVERLAPPING) OF ANY PROPOSED NEW AND EXISTING SERVICES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR DIRECTION.

REFER LIGHTING SCHEDULE & SPECIFICATIONS FOR LIGHT FITTING DETAILS.

REFER PROJECT SCHEDULE AND SPECIFICATION FOR SELECTED SYSTEMS, FINISHES & LININGS.

WHERE EXISTING SERVICES DUCT WORK, PIPES CONDUITS AND THE SIMILAR ALIKE IS REMAINING IN THE VOID CEILING SPACE. IT IS TO BE CLEANED AND WIPED DOWN TO BE FREE OF DUST AND

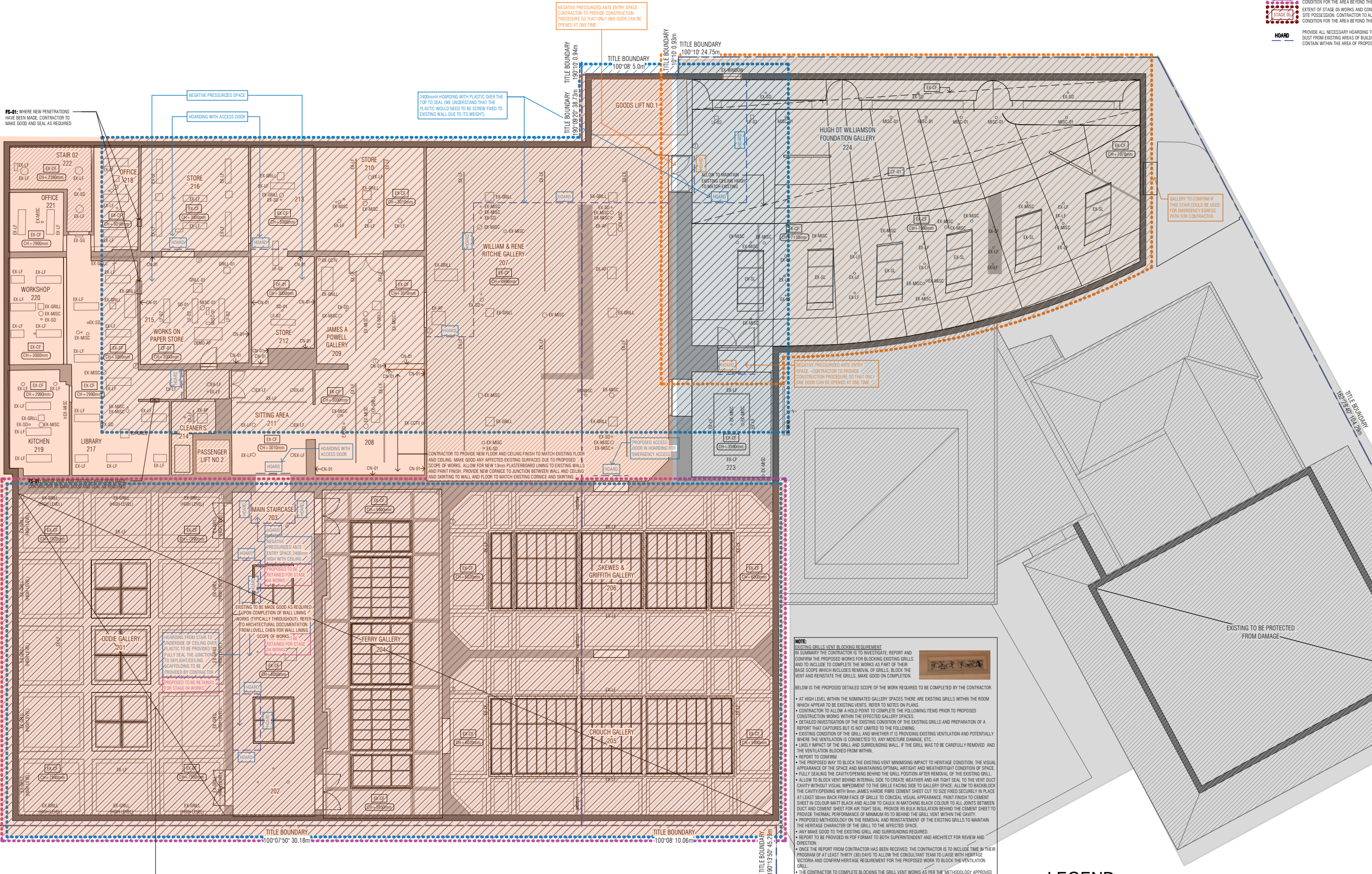
NOTE

ALL AFFECTED AREAS DAMAGED DUE TO PROPOSED DEMOLITION AND NEW WORK TO BE MADE GOOD TO MATCH EXISTING AS REQUIRED. THIS TYPICALLY INCLUDES WHERE EXISTING CEILING SUPPORTS, SERVICES SUPPORT HANGERS, RODS, FININGS OR OTHER HAVE BEEN REMOVED TO MAKE GOOD TO ALL HOLES. PENETRATIONS TO FINISH TO MATCH THE EXISTING SURROUNDING SURFACES. (20% TREATMENT) TO ALL AFFECTED AREAS. (20% TREATMENT) TO ALL AFFECTED AREAS.

WHERE PENETRATIONS ARE MADE FOR PROPOSED SERVICES WORKS (E.G. TO INSTALL THERMOSTAT), CONTRACTOR TO MAKE GOOD TO MATCH EXISTING AS REQUIRED. ALLOW TO PROVIDE FIRE RATED TREATMENT TO ALL PENETRATIONS THROUGH EXISTING SLABS TO MAINTAIN FIRE RATING BETWEEN OFFERING FLOOR LEVELS. FIRE RATED TREATMENT TO ACHIEVE MINIMUM FOUR (4) HOURS UNLESS NOTED OTHERWISE. (20% TREATMENT) TO ALL AFFECTED AREAS.

WHERE NEW DUCTWORK AND SERVICES ARE BEING INSTALLED AT HIGH LEVEL, ALLOW TO PROVIDE ALL NECESSARY NON COMBUSTIBLE SUPPORTS THROUGH TO STRUCTURE OVER AND MAKE GOOD ANY DAMAGE TO EXISTING SURFACES TO MATCH EXISTING.

PRIOR TO DEMOLITION WORKS AND INSTALLATION OF THE MECHANICAL UNITS, CONTRACTOR TO SUBMIT RANGES OF ALL MARKED PENETRATIONS THROUGH EXISTING WALL FRAMING FOR FINAL STRUCTURAL REVIEW. APPROPRIATE ALLOWANCE SHOULD BE MADE FOR ANGLE LINTELS TO SUPPORT AND UNSUPPORTED MASONRY OVER

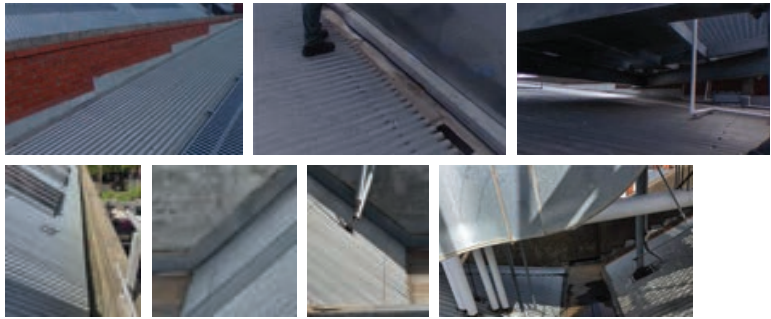


1 PROPOSED LEVEL 01 STAGING DIAGRAM

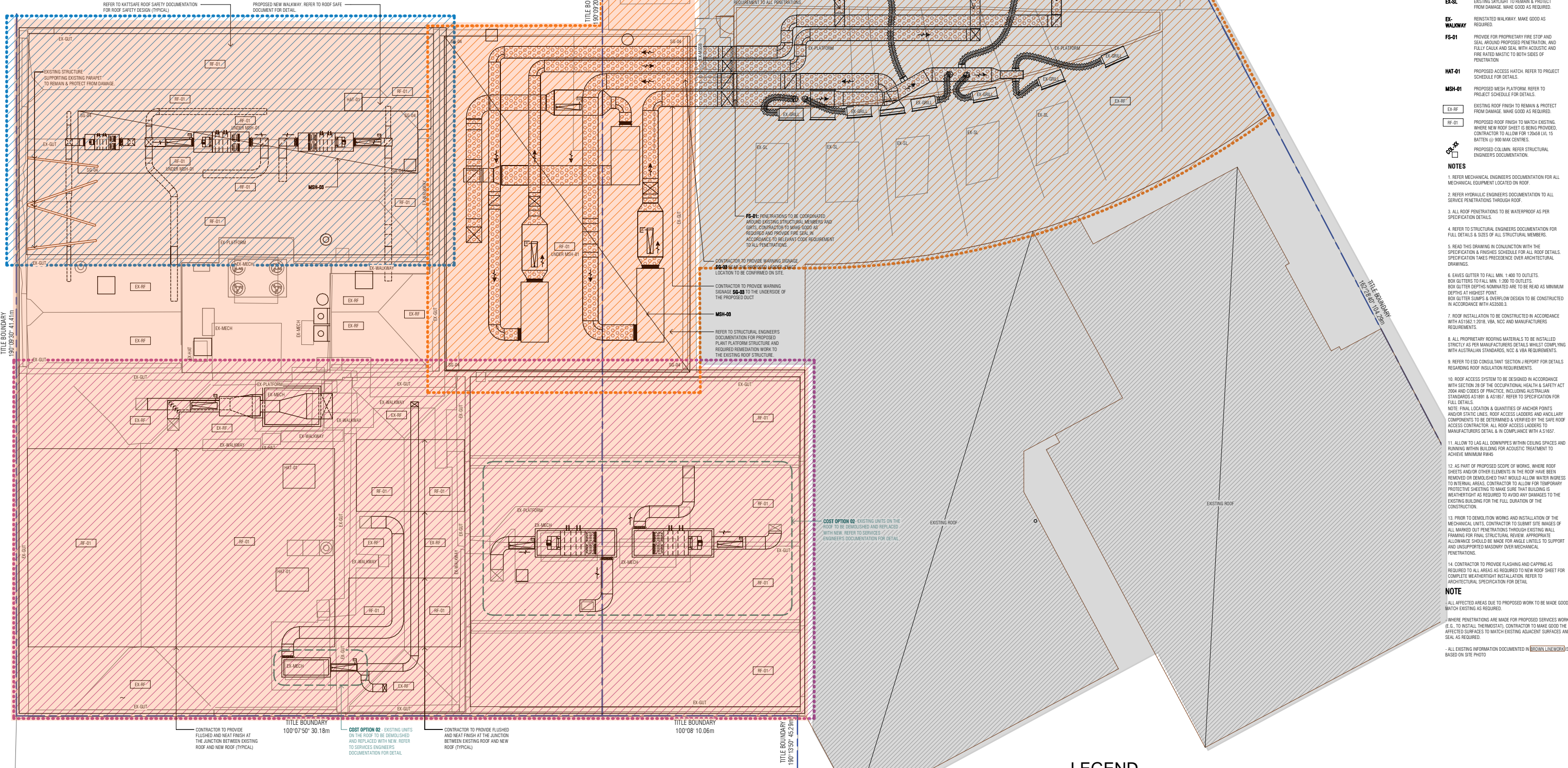
LEGEND

Fine Art Gallery (H0680)
Former Police Station Ballarat (H1544) - not part of this application





WHERE EXISTING ROOF SHEETS ARE BEING REPLACED WITH NEW, CONTRACTOR TO ALLOW TO RENEW EXISTING FLASHES BETWEEN EXISTING PARAPET AND NEW ROOF SHEETS. CONTRACTOR TO ALLOW TO MAKE GOOD, PATCH AND RE-RENDER THE EXISTING PARAPET WALL/BRICKWORK. RE-RENDER AS REQUIRED TO MATCH EXISTING STYLE AND FINISH AND INSTALL NEW FLASHING FOR WEATHERTIGHT INSTALLATION.



LEGEND - STAGING DIAGRAM

- STAGE 01: EXTENT OF STAGE 01 WORKS AND CONTRACTOR'S AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.
- STAGE 02: EXTENT OF STAGE 02 WORKS AND CONTRACTOR'S AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.
- STAGE 03: EXTENT OF STAGE 03 WORKS AND CONTRACTOR'S AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.
- STAGE 04: EXTENT OF STAGE 04 WORKS AND CONTRACTOR'S AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.
- STAGE 05: EXTENT OF STAGE 05 WORKS AND CONTRACTOR'S AREA FOR SITE POSSESSION. CONTRACTOR TO ALLOW DUST FREE CONDITION FOR THE AREA BEYOND THE HIGHLIGHTED AREA.
- HOARD: PROVIDE ALL NECESSARY HOARDING TO EXCLUDE DUST FROM EXISTING AREAS OF BUILDING AND CONTAIN WITHIN THE AREA OF PROPOSED WORKS.

LEGEND - ROOF

- REFER TO PROJECT SCHEDULE FOR SELECTED FINISHES DETAIL.
- XX DENOTES FIELDS WITH NUMERICAL LABELLING REFERENCED TO PROJECT SPECIFICATION AND/OR SCHEDULES FOR DETAIL.
- EXISTING SERVICES TO REMAIN & PROTECT FROM DAMAGE. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR DETAILS. MAKE GOOD AS REQUIRED.
- EX-GUT: EXISTING BOX GUTTER TO REMAIN AND BE PROTECTED FROM DAMAGE DURING PROPOSED SCOPE OF WORKS. CONTRACTOR TO ALLOW TO INVESTIGATE EXISTING CONDITION OF THE EXISTING GUTTER AND NOTIFY SUPERINTENDENT OF THE CONDITION.
- EX-HAT: EXISTING ACCESS HATCH TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EX-MECH: REINSTATED EXISTING MECHANICAL SERVICES. MAKE GOOD AS REQUIRED. CONTRACTOR TO NOTE THE COST OPTION 02 TO REPLACE THE UNIT. REFER TO SERVICES ENGINEERS DOCUMENTATION FOR THE COST OPTION DETAILS TO REPLACE EXISTING UNITS WITH NEW UNITS.
- EX-PLAT: REINSTATED PLANT PLATFORM. MAKE GOOD AS REQUIRED.
- EX-SL: EXISTING SKYLIGHT TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- EX-WALK: REINSTATED WALKWAY. MAKE GOOD AS REQUIRED.
- FS-01: PROVIDE FOR PROPRIETARY FIRE STOP AND SEAL AROUND PROPOSED PENETRATION, AND FULLY CALLS AND SEAL WITH ACOUSTIC AND FIRE RATED MASTIC TO BOTH SIDES OF PENETRATION.
- HAT-01: PROPOSED ACCESS HATCH. REFER TO PROJECT SCHEDULE FOR DETAILS.
- MSH-01: PROPOSED MESH PLATFORM. REFER TO PROJECT SCHEDULE FOR DETAILS.
- EX-RF: EXISTING ROOF FINISH TO REMAIN & PROTECT FROM DAMAGE. MAKE GOOD AS REQUIRED.
- RF-01: PROPOSED ROOF FINISH TO MATCH EXISTING. WHERE NEW ROOF SHEET IS BEING PROVIDED, CONTRACTOR TO ALLOW FOR 120x6 LVL 15 BATTEN @ 900 MAX CENTRES.
- SC-01: PROPOSED COLUMN. REFER STRUCTURAL ENGINEERS DOCUMENTATION.

NOTES

- REFER MECHANICAL ENGINEERS DOCUMENTATION FOR ALL MECHANICAL EQUIPMENT LOCATED ON ROOF.
- REFER HYDRAULIC ENGINEERS DOCUMENTATION TO ALL SERVICE PENETRATIONS THROUGH ROOF.
- ALL ROOF PENETRATIONS TO BE WATERPROOF AS PER SPECIFICATION DETAILS.
- REFER TO STRUCTURAL ENGINEERS DOCUMENTATION FOR FULL DETAILS & SIZES OF ALL STRUCTURAL MEMBERS.
- READ THIS DRAWING IN CONJUNCTION WITH THE SPECIFICATION & FINISHES SCHEDULE FOR ALL ROOF DETAILS. SPECIFICATION TAKES PRECEDENCE OVER ARCHITECTURAL DRAWINGS.
- EAVES GUTTER TO FALL MIN. 1:400 TO OUTLETS. BOX GUTTERS TO FALL MIN. 1:200 TO OUTLETS. BOX GUTTER DEPTHS NOMINATED ARE TO BE READ AS MINIMUM DEPTHS AT HIGHEST POINT. BOX GUTTER SUMPS & OVERFLOW DESIGN TO BE CONSTRUCTED IN ACCORDANCE WITH AS3500.3.
- ROOF INSTALLATION TO BE CONSTRUCTED IN ACCORDANCE WITH AS1562.1:2018, VBA, NCC AND MANUFACTURERS REQUIREMENTS.
- ALL PROPRIETARY ROOFING MATERIALS TO BE INSTALLED STRICTLY AS PER MANUFACTURERS DETAILS WHILST COMPLYING WITH AUSTRALIAN STANDARDS, NCC & VBA REQUIREMENTS.
- REFER TO ESD CONSULTANT SECTION J REPORT FOR DETAILS REGARDING ROOF INSULATION REQUIREMENTS.
- ROOF ACCESS SYSTEM TO BE DESIGNED IN ACCORDANCE WITH SECTION 28 OF THE OCCUPATIONAL HEALTH & SAFETY ACT 2004 AND CODES OF PRACTICE, INCLUDING AUSTRALIAN STANDARDS AS1891 & AS1857. REFER TO SPECIFICATION FOR FULL DETAILS.
- NOTE: FINAL LOCATION & QUANTITIES OF ANCHOR POINTS AND/OR STATIC LINES, ROOF ACCESS LADDERS AND ANCILLARY COMPONENTS TO BE DETERMINED & VERIFIED BY THE SAFE ROOF ACCESS CONTRACTOR. ALL ROOF ACCESS LADDERS TO MANUFACTURERS DETAIL & IN COMPLIANCE WITH AS1857.
- ALLOW TO LAG ALL DOWNPIPES WITHIN CEILING SPACES AND RUNNING WITHIN BUILDING FOR ACOUSTIC TREATMENT TO ACHIEVE MINIMUM R14S.
- AS PART OF PROPOSED SCOPE OF WORKS, WHERE ROOF SHEETS AND/OR OTHER ELEMENTS IN THE ROOF HAVE BEEN REMOVED OR DEMOLISHED THAT WOULD ALLOW WATER INGRESS TO INTERNAL AREAS, CONTRACTOR TO ALLOW FOR TEMPORARY PROTECTIVE SHEETING TO MAKE SURE THAT BUILDING IS WEATHERTIGHT AS REQUIRED TO AVOID ANY DAMAGES TO THE EXISTING BUILDING FOR THE FULL DURATION OF THE CONSTRUCTION.
- PRIOR TO DEMOLITION WORKS AND INSTALLATION OF THE MECHANICAL UNITS, CONTRACTOR TO SUBMIT SITE IMAGES OF ALL MARKED OUT PENETRATIONS THROUGH EXISTING WALL FRAMING FOR FINAL STRUCTURAL REVIEW. APPROPRIATE ALLOWANCE SHOULD BE MADE FOR ANGLE LINTELS TO SUPPORT AND UNSUPPORTED MASONRY OVER MECHANICAL PENETRATIONS.
- CONTRACTOR TO PROVIDE FLASHING AND CAPPING AS REQUIRED TO ALL AREAS AS REQUIRED TO NEW ROOF SHEET FOR COMPLETE WEATHERTIGHT INSTALLATION. REFER TO ARCHITECTURAL SPECIFICATION FOR DETAIL.

NOTE

- ALL AFFECTED AREAS DUE TO PROPOSED WORK TO BE MADE GOOD TO MATCH EXISTING AS REQUIRED.
- WHERE PENETRATIONS ARE MADE FOR PROPOSED SERVICES WORKS (E.G. TO INSTALL THERMOSTAT), CONTRACTOR TO MAKE GOOD THE AFFECTED SURFACES TO MATCH EXISTING ADJACENT SURFACES AND SEAL AS REQUIRED.
- ALL EXISTING INFORMATION DOCUMENTED IN BROWN LINEWORK IS BASED ON SITE PHOTO.

LEGEND

Fine Art Gallery (H0680)
Former Police Station Ballarat (H1544) - not part of this application

NOTE IMPORTANT

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTATION AND PROJECT SPECIFICATIONS PRIOR TO COMMENCEMENT OF ANY WORKS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE SUPERINTENDENT FOR CLARIFICATION. CONTRACTOR IS TO PROVIDE ALL ITEMS AS IMPLIED WITHIN THIS DOCUMENTATION INCLUDING ALL NECESSARY SUPPORT AND ACCESSORIES AS REQUIRED FOR COMPLETENESS. DO NOT SCALE FROM THESE DRAWINGS. ALL DIMENSIONS TO BE VERIFIED ON SITE AND ANY DISCREPANCIES MUST BE REPORTED TO THE SUPERINTENDENT IMMEDIATELY BEFORE COMMENCING CONSTRUCTION OR SHOP DRAWINGS.

ALL 3D IMAGING USED IN THESE DRAWINGS IS INDICATIVE ONLY. ANY 3D IMAGING IS SHOWN FOR COORDINATION PURPOSES ONLY.