

GENERAL NOTES

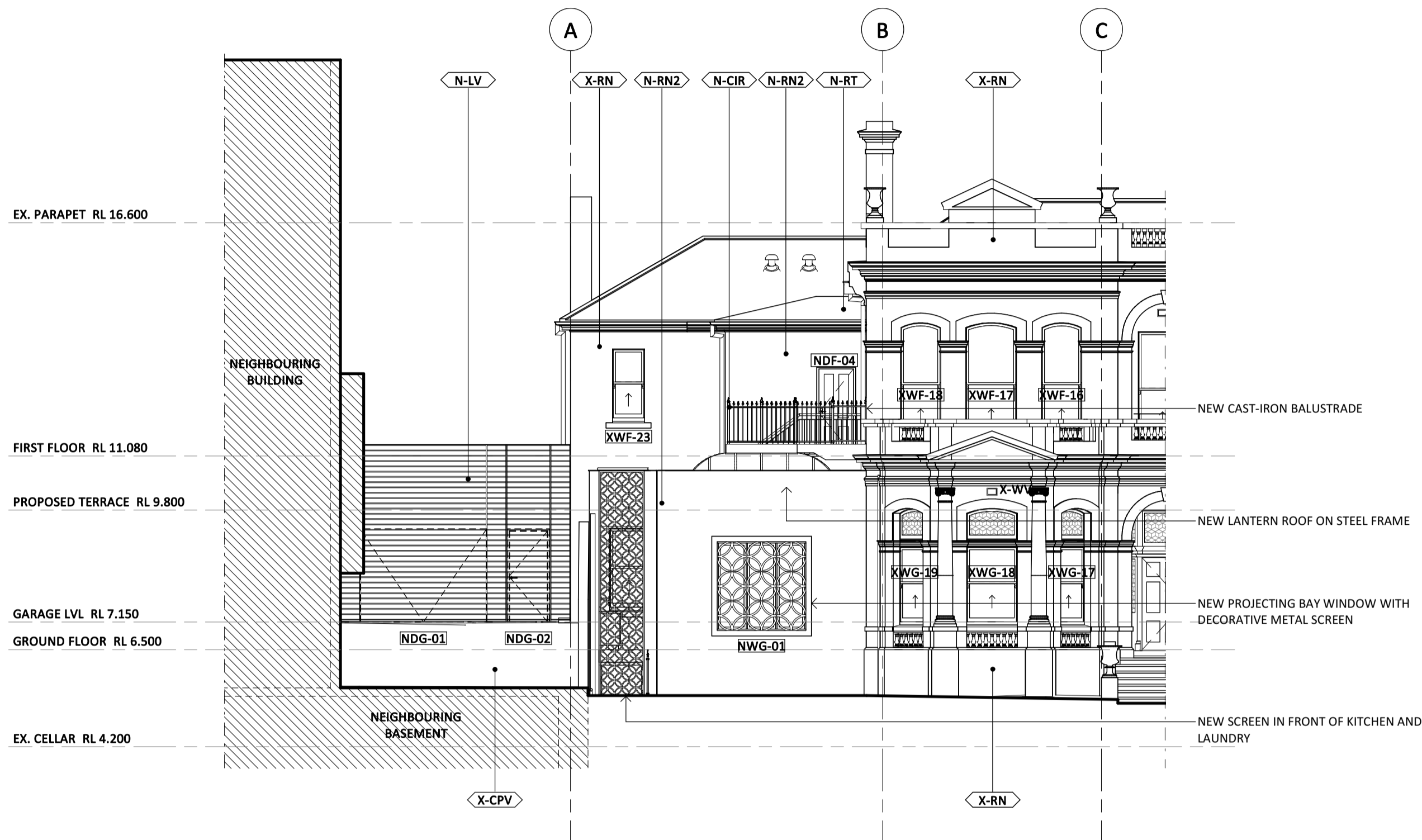
1. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATION AND SCHEDULES OF WORKS.
2. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DOCUMENTATION.
3. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS AT A SMALLER SCALE.
4. DO NOT SCALE OFF DRAWINGS, USE DIMENSIONS ONLY. CONTRACTOR TO CONFIRM ALL EXISTING AND PROPOSED DIMENSIONS ON SITE PRIOR TO MANUFACTURE OR PREPARATION OF SHOP DRAWINGS.
5. CONTRACTOR IS TO CHECK AND CONFIRM EXISTING CONDITIONS ON SITE, LEVELS, ALIGNMENTS, EXISTING RETAINED STRUCTURE, AND OTHER NECESSARY INFORMATION PRIOR TO COMMENCING ANY WORKS.
6. SIZES ARE INDICATIVE, CONTRACTOR TO CONFIRM DIMENSIONS ON SITE.
7. REUSE EXISTING FLOOR GRILLES FOR SUPPLY AND RETURN AIR CONDITIONING.

FINISHES LEGEND

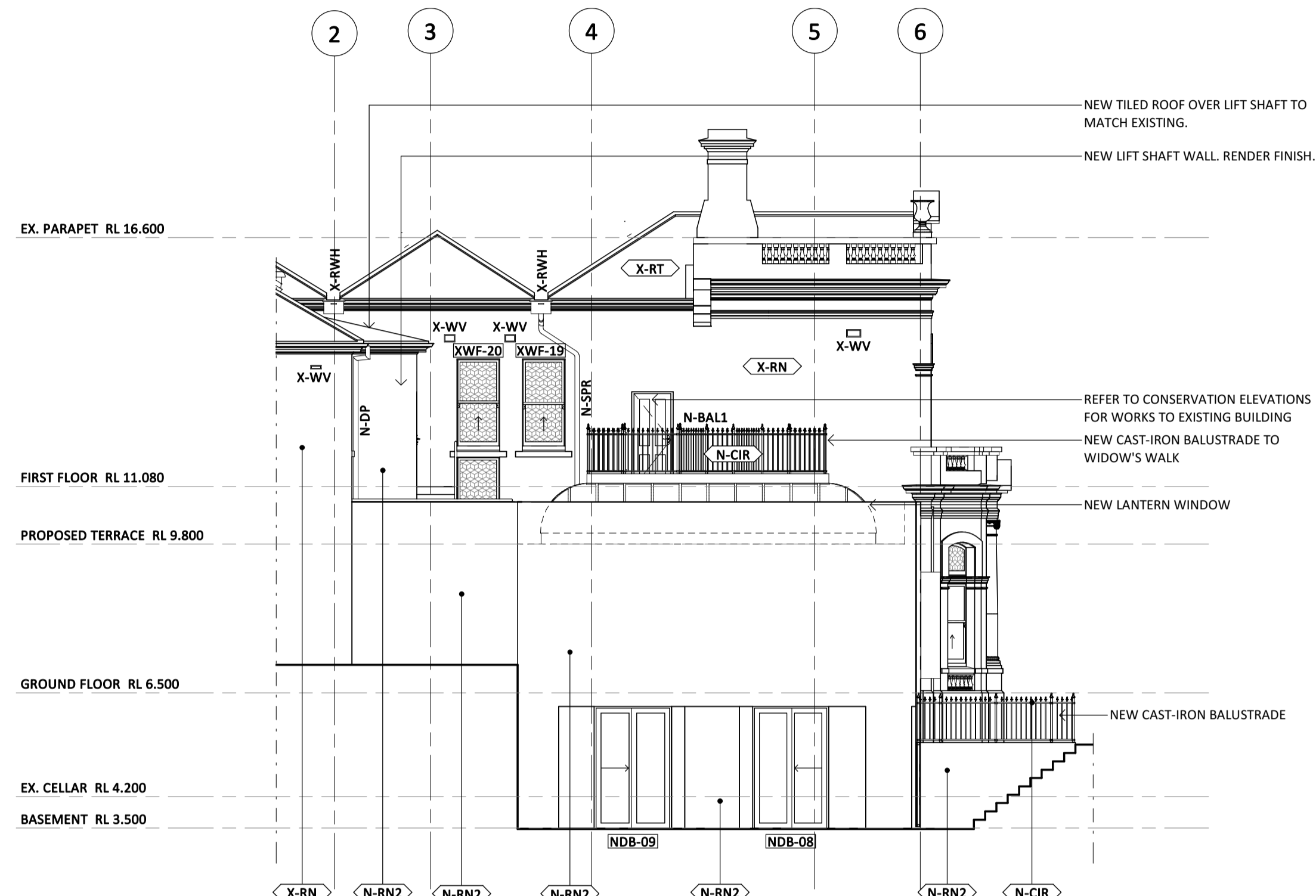
- X-SPV EXISTING STONE PAVERS
- X-RN EXISTING RENDER FINISH
- X-TF EXISTING TIMBER FLOOR
- X-BST1 EXISTING BLUESTONE TILES
- X-BST2 EXISTING BLUESTONE PAINTED PLINTH
- X-CIR EXISTING PAINTED CAST IRON FENCE
- X-TR EXISTING PAINTED TIMBER FRAMES
- X-RT EXISTING ROOF TILES
- X-RS EXISTING METAL ROOF SHEETING
- N-RN PROPOSED RENDER FINISH AS SPECIFIED
- N-SPV PROPOSED STONE PAVERS
- N-TF PROPOSED TIMBER DECK
- N-RT PROPOSED ROOF TILES TO MATCH EXISTING
- N-SM PROPOSED PAINTED LASER CUT METAL SCREEN
- N-CIR PROPOSED PAINTED CAST IRON BALUSTRADE
- N-LV PROPOSED WEATHERPROOF LOUVRE SYSTEM

ABBREVIATIONS & SYMBOLS LEGEND

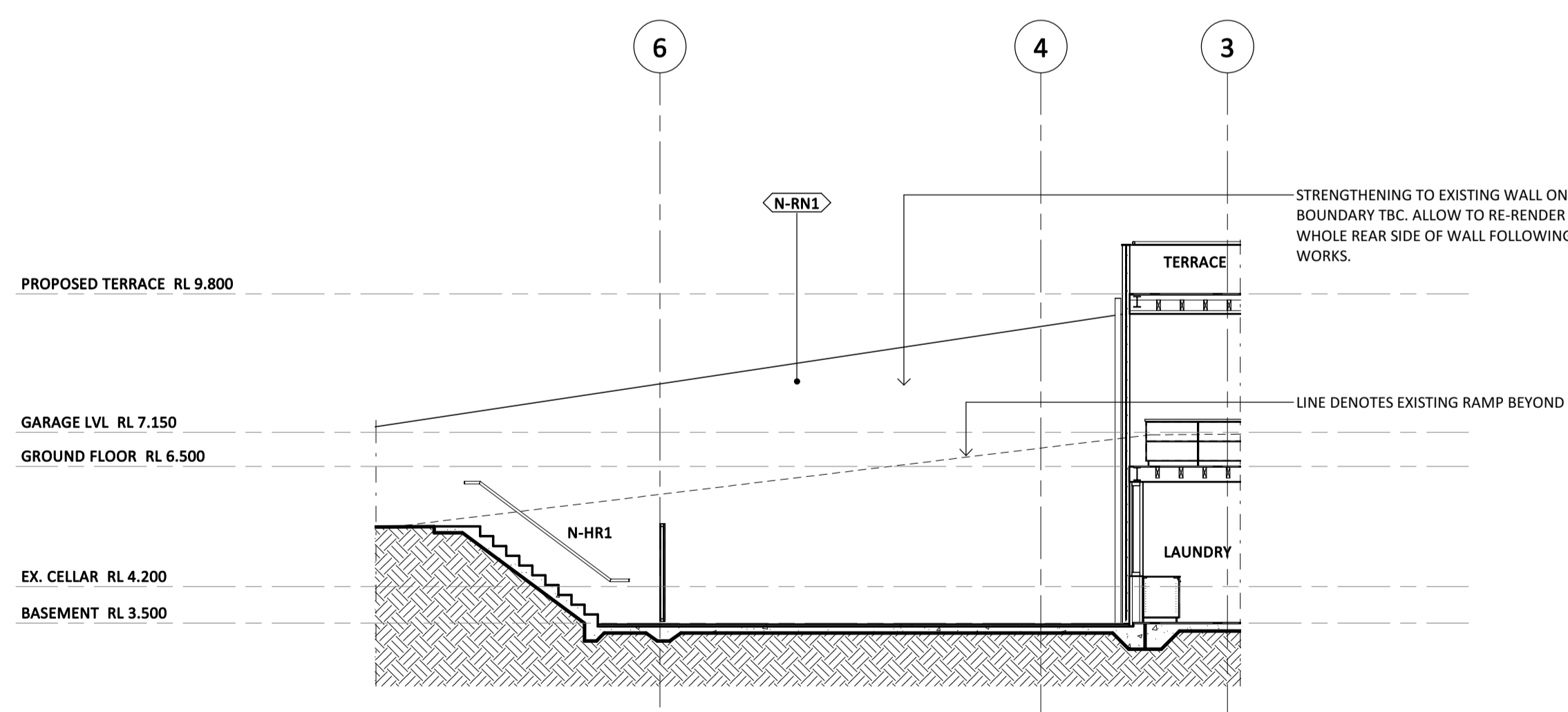
- X-EG EXISTING EAVES GUTTER
- X-BG EXISTING BOX GUTTER
- X-VG EXISTING VALLEY GUTTER
- X-DP EXISTING DOWNPIPE
- X-SM EXISTING SUMP
- X-SG EXISTING SUPPLY GRILLE
- X-WV EXISTING WALL VENTS
- X-CH EXISTING CHIMNEY
- X-FP EXISTING FIREPLACE
- X-RWH EXISTING RAINWATER HEAD
- X-RWO EXISTING RAINWATER OUTLET
- N-EG PROPOSED EAVES GUTTER TO MATCH EXISTING
- N-BG PROPOSED BOX GUTTER
- N-SM PROPOSED SUMP
- N-DP PROPOSED DOWNPIPE
- N-SWG PROPOSED STORMWATER GRATE
- N-SPR PROPOSED DOWNPIPE WITH SPREADER
- N-RV PROPOSED ROOF VENT
- N-RSV PROPOSED ROOF SPACE VENT
- N-RWH PROPOSED RAINWATER HEAD
- OF PROPOSED OVERFLOW
- N-RWO PROPOSED RAINWATER OUTLET



01 SOUTH ELEVATION - PROPOSED
SCALE 1 : 100



02 WEST ELEVATION - PROPOSED
SCALE 1 : 100



03 WEST BOUNDARY WALL - ELEVATION
SCALE 1 : 100

NOT FOR CONSTRUCTION

0 1 2 3 4 5M
SCALE 1:100 @ A1

| NO. | DATE | REVISION |
|-----|------------|----------------------|
| DD1 | 03/11/2023 | DRAFT ISSUE |
| DD2 | 22/12/2023 | AUTHORITY SUBMISSION |
| DD3 | 05/03/2024 | RFI RESPONSE |

NOTE: ALL DIMENSIONS ARE TO BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR PREPARING ANY SHOP DRAWINGS. SCALE INDICATED FOR REFERENCE ONLY. DO NOT SCALE OFF DRAWINGS. DO NOT SCALE DRAWINGS. OMISSIONS OR DISCREPANCIES ARE TO BE NOTIFIED TO THE PDS CONTRACTOR.
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LAND SURVEYOR
VERIS
LEVEL 3, 1 SOUTHBANK BVD
SOUTHBANK VIC 3006

BUILDING SURVEYOR
PHILIP CHUN
SUITE 3, LEVEL 1, 5 QUEENS ROAD
MELBOURNE VIC 3004

STRUCTURAL AND CIVIL ENGINEER
BCE DESIGN
LEVEL 1, 383 SMITH ST
FITZROY VIC 3065

SERVICES ENGINEER AND ESD CONSULTANT
NJM DESIGN
LEVEL 4, 440 ELIZABETH ST
MELBOURNE VIC 3000

PLANNING CONSULTANT
UPCO
LEVEL 1, 80 DORCAS ST
SOUTHBANK VIC 3006

ACOUSTIC ENGINEER
RESONATE
LEVEL 4, 440 ELIZABETH ST
MELBOURNE VIC 3000

LANDSCAPE ARCHITECT
TCL
385 DRUMMOND ST
CARLTON, VIC 3053

CLIENT
SNOWY SEA FAMILY TRUST

LOVELL CHEN
LEVEL 5, 176 WELLINGTON PARADE
EAST MELBOURNE 3002 AUSTRALIA
TEL +61 (0)3 8667 0800
enquiry@lovellichen.com.au
www.lovellichen.com.au

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AIRLIE MANSION
NEW EXTENSION, CONSERVATION WORKS AND LANDSCAPE
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| DRAWN | CHECKED | PROJECT NO. | DATE |
|-------|---------|-------------|----------|
| VK | BM | 9994 | JUL 2023 |

DRAWING TITLE
SOUTH AND WEST ELEVATIONS - PROPOSED

| ISSUE | SCALE | DRAWING NO. | REVISION |
|---------------------|------------|-------------|----------|
| ISSUED FOR APPROVAL | 1 : 100@A1 | A4.00 | DD3 |