

TOWN PLANNING

189 Bank St South Melbourne VIC 3205

CLIENT: Ian Holten

ARCHITECT: JAK ARCHITECTURE & ROBIN WILLIAMS ARCHITECT

GENERAL SPECIFICATION

ARCHITECT/DRAFTSPERSON/DOCUMENTATION
JAK Studio in collaboration with Robin Williams Architect
Only refer to stamped 'For construction' drawings.

BUILDING SURVEYOR
TBC

GEOTECHNICAL
TBC

ENERGY REPORT
TBC

ENGINEER
James Bolton - Simon Anderson Consultants

LANDSCAPING
TBC

ARBORIST
TBC

ALL WORKS
To comply with National Construction Code (Building Code of Australia) 2020.
To be read in conjunction with engineering specifications & drawings, energy report, interior drawings & specifications.

EXTERNAL FIXINGS
Nails, Connector Plates etc. to be 316 Stainless Steel. Concealed fixings where possible to avoid staining of external cladding.

GLAZING
To Comply With Australian Standards 1288-2006
Provide Grade a Safety Glass to All Glass Within 500mm Above FFL, 2000mm Above FFL or Bottom of Bath/shower in Bathroom & Ensuites.

WATERPROOFING
Installation of the work shall be in accord with AS 3740 waterproofing of wet areas with in residential buildings.
All showers recesses, bathes, vanity basin up-stands to be tanked in accord with bca requirements by qualified tradesman. The warranty shall be provided and state the the materials are the to the standard required and that the materials and workmanship of the membrane system as installed and approved are free of defects.

TIMBER FRAMING
Timber frame/ bracing & tie downs to comply with timber framing manuals and AS 1684-2010.

MASONRY
All wall ties to be 316 Stainless Steel. Full height Articulation Joints in all masonry walls. Bricks to be First Quality Pressed Bricks approved by Architect.

RENDER
Sample must be approved by Architect before application. Cement to comply with AS 3972. Graded sands used for finishing coats.

EXTERNAL FIXINGS
Nails, Connector Plates etc. to be 316 Stainless Steel.

STRUCTURAL STEEL
To comply with AS 4100-1997 and AS/NZS 4600-2005
Provide corrosion protection in accordance with table 4.1 of AS 4773.1-2015

MASONRY
To comply with AS 3700- 2011 "masonry structures" or as 4773-2015 "masonry for small buildings", part 1 & 2.
AJ = articulation joint - refer engineering plans for locations. Provide sliding/ extendable masonry expansion ties at every 4th brick course to maintain lateral stability. Seal with fire rated mastic over backing rod.

LIGHTING
Max. Lighting requirements - 5 watt/m2 to dwelling, 4 watt/m2 to external balcoconies, & 3 watt/m2 to garage.

WINDOWS
Openable windows to rooms with floor more than 4000mm (bed rooms -2000mm) above surface below to have openings restricted to 124mm max, alternative have sill more than 1700mm above floor or have secure barrier fitted in accordance with Clause 3.9.2.5 of BCA. Windows sizes nominated are nominal only and may vary according to manufacturer. External windows & doors to be flashed all around.

INSULATION
Refer to first rate energy report. Follow all requirements for insulation to wall floors ceilings etc to achieve energy rating as approved.

STORMWATER
Refer to Civil Engineering Specifications and Connection to Council Legal Point of Discharge.

VENTILATION
All mechanical ventilation in accordance with AS 1668.2 - Mechanical Ventilation for Acceptable Indoor Air Quality.

SANITARY COMPARTMENTS
Lift off hinges to doors where WC pan is within 1.2m of doorway.

GENERAL
Building and relevant subcontractors to ensure all stormwater pipes, sewer pipes, trenching, excavations and the like are sufficient distance from any building so as to prevent general moisture penetration, dampness. Weakening and undermining of any building and its footing system.

EXTERNAL PAVING/GROUND
Ensure ground slopes away from building - minimum 50mm for the first metre.

STAIRS
Tops of handrails to be minimum 865mm above stairs nosing ramp surface. Provide continuous handrail to at least one side stairs.
-Going 240mm minimum to 355mm maximum.
-Risers 115mm minimum to 190mm maximum.
-2R - 1G minimum 550mm to 700mm maximum.
- Max. 124mm gap to open treads
- Non-slip finish to all treads and landing
- Dry conditions: P3 or R10 treads, P3 nosing
- Wet conditions: P4 or R11, P4 nosing
- Ensure 2m head height above nosing in stairs.
- Provide balustrade/barrier where change in level exceeds 1000mm above the surface beneath floors, landing, ramps and/or treads. Balustrading/barrier (other than tensioned wire balustrade) to be:
- 1000mm above finished surface level (865mm above stair nosing or ramp)
- Vertical, max 124mm gaps
- Any horizontal element within the balustrade/ barrier between 150mm and 760mm above floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath floors, landings, ramps and/or treads.

CHIMNEY / FLUE
The Chimney or Flue of an Open Solid-Fuel Burning Appliance must be provided with a damper or a flap that can be closed to seal the Chimney or Flue in accordance with BCA clause 3.12.3.1

FOUNDATIONS & FOOTINGS
Refer to geotechnical report for soil classification & footing requirements. Read in conjunction with engineering specifications. Building and relevant subcontractors to ensure all stormwater pipes, sewer pipes, trenching, excavations and the like are sufficient distance from any building so as to prevent general moisture penetration, dampness. Weakening and undermining of any building and its footing system.
-Footings to comply with AS 2870-2011
-Concrete to comply with AS 3600-2009

SMOKE DETECTORS
Provide inter-connected smoke detectors. Hardwired to mains with battery backup. To comply with AS 3786-2014. Refer to plans for positions.

EXHAUST FAN
Self sealing. Ducted to external air. Refer plans for positions.

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TP07.1	RENDER: NORTH EAST VIEWS	
TP07.2	RENDER: SOUTH EAST VIEWS	

Development Summary

NLA of the existing café
NLA GROUND FLOOR = 105m²
NLA FIRST FLOOR = 72m²
EXISTING CAFÉ NLA = 177m²

NLA of the proposed medical centre
NLA GROUND FLOOR = 72m²
NLA FIRST FLOOR = 72m²
PROPOSED MEDICAL CENTRE = 144m²

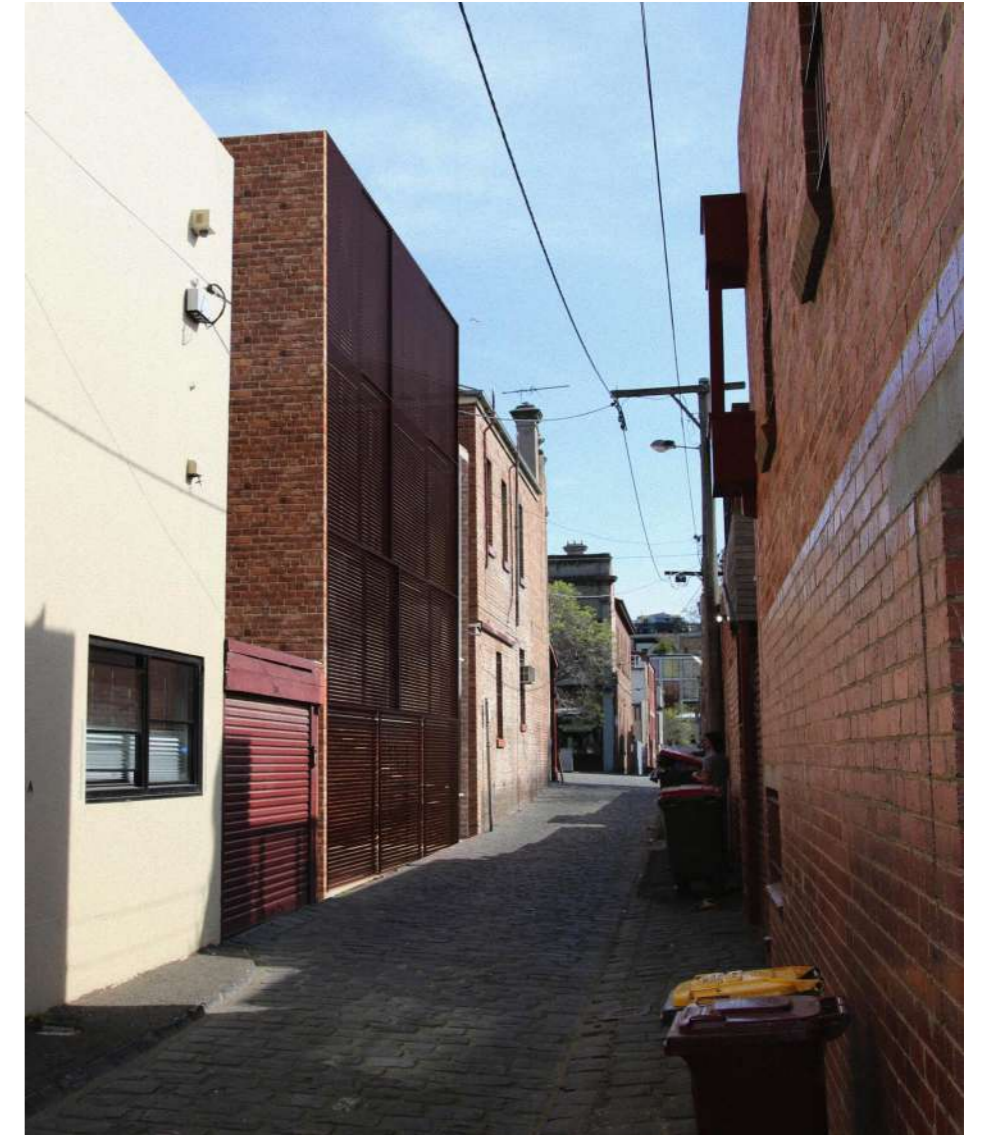


ARCHICAD EDUCATION VERSION

AERIAL OF SURROUNDING NEIGHBOURHOOD



LANEWAY VIEW FROM NORTH

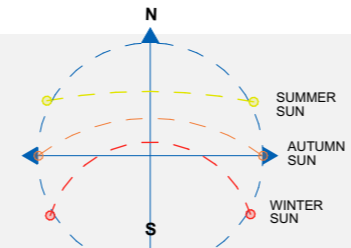
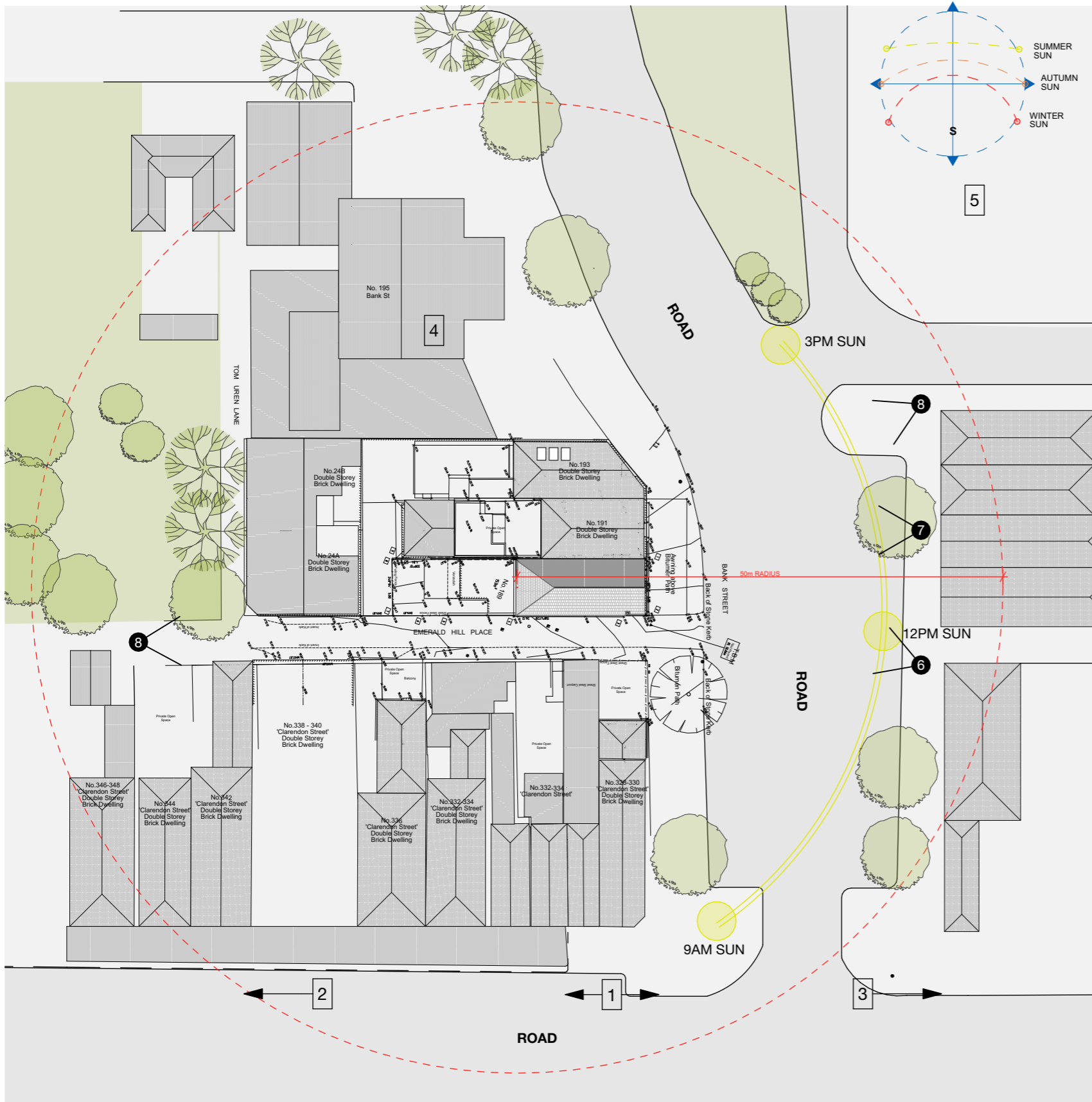


LANEWAY VIEW FROM SOUTH

NEIGHBOURHOOD AND SITE DESCRIPTION

SCALE 1:500

- 1 CLARENDON STREET SHOPS - 40m WALK
- 2 129 - PARK ST/CLARENDON ST TRAM STOP - 160m WALK
- 3 128 - DORCAS ST TRAM STOP - 170m WALK
- 4 EMERALD HILL LIBRARY - 46m WALK
- 5 SOUTH MELBOURNE TOWN HALL - 39m WALK



LEGEND

▲ Permanent Marker	⊠ Fire Plug
■ Title Peg	⊠ Fire Hydrant
⊙ Aluminium Rivet	⊙ Water Meter
⊙ Texter Mark	⊙ Water Unclassified
⊠ Etch Mark	⊙ Water Tap
● Rod	⊙ Stay for Pole
○ Pipe	⊙ Unclassified Pit
⊠ Star Picket	— Fence
⊠ Dumpy Peg	— Gate
▲ Nail	— Toe of Bank
▲ Spike	— Top of Bank
⊙ Tree	— Electricity Line Overhead
⊙ Pipe Invert	— Telecom Line Overhead
⊙ Sign	— Lower Storey Window
⊙ Letter Box	— Upper Storey Window
⊙ Bollard	— Lower Storey Door
⊙ Electricity Main	— Upper Storey Door
⊙ Light Pole	— Highlight Window
⊙ Electricity Pole	WH Window Head
⊙ Electricity Pole/Light	NWH Non Habitable Window Head
⊙ Electricity Pit	WS Window Sill
⊙ Telstra Pit	DH Door Head
⊙ Gas Meter	DS Door Sill
⊙ Sewer Pit	PH Parapet Height
⊙ Sewer Unclassified	FL Floor Level
⊙ Sewer Vent/Pipe	□ Side Entry Pit
⊙ Sewer Inspection Shaft	□ Grated Pit
⊙ Water Stop Valve	□ Junction Pit
⊙ Picture Point	□ Drainage Pit



6. NORTHERN VIEW OF 189 BANK STREET



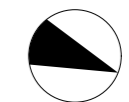
8. SOUTHERN VIEW OF EMERALD HILL PLACE



7. NORTHERN VIEW OF 189 BANK STREET



8. NORTH-WEST VIEW OF 189 BANK STREET

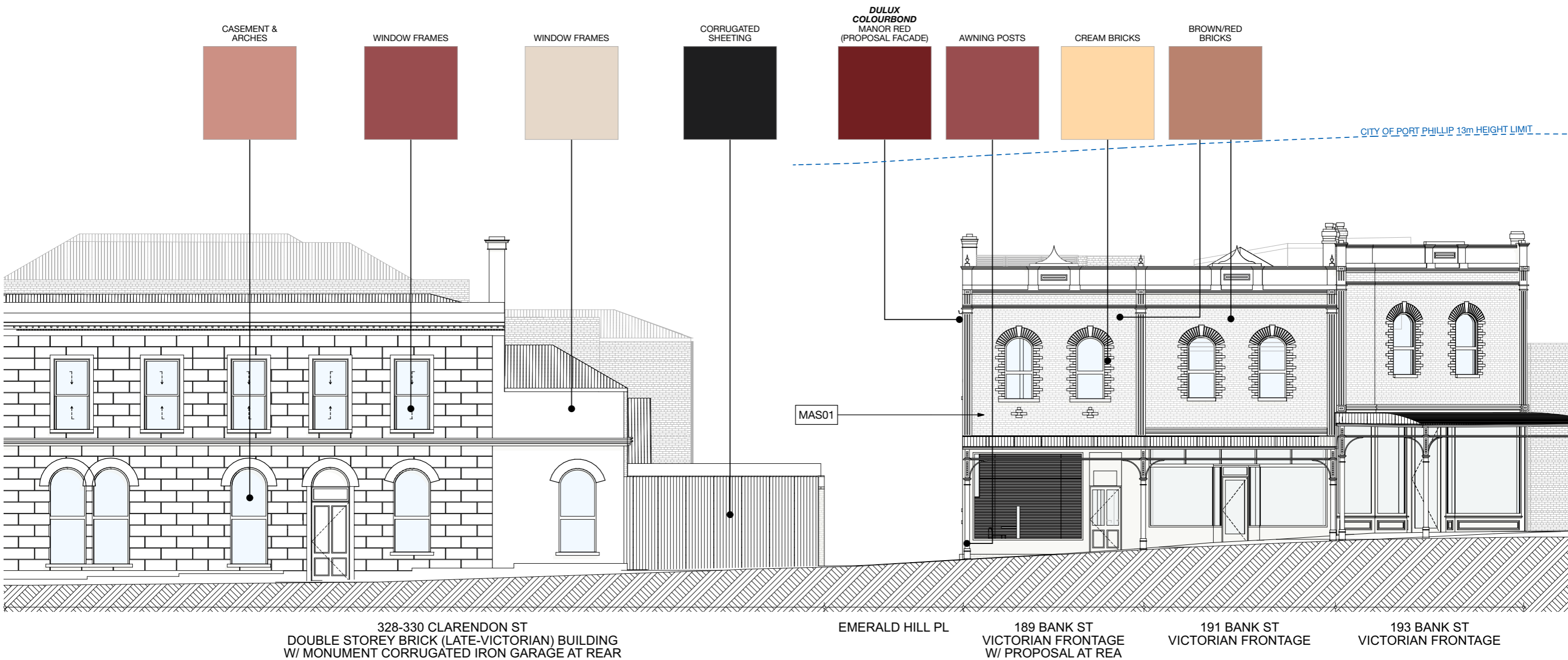


NOTES

01. COLOURS SHOWN MAY DISPLAY DIFFERENTLY AND ARE NOT 100% ACCURATE TO REAL LIFE COLOURS - SHOWN AS INDICATIVE ONLY.

FINISHES SCHEDULE

TAG	NAME	DESCRIPTION & CODE	APPLICATION	FINISH	IMAGE	SUPPLIER	REV
EXTERIOR							
RF01	ROOF	KLIPLOK 700 TRAYDECK LYSAGHT & COLOURBOND (minimum 1 degree fall)	PROPOSED NEW REAR ADDITION & REPLACING EXISTING VICTORIAN BUILDING ROOF	SHALE GREY		LYSAGHT/ COLOURBOND	
	SOLAR PANELS	SOLAR PANELS	PROPOSED NEW REAR ADDITION	AS IS		TBS	
	SARKING	KINGSPAN AIRCELL ROOF SARKING	PROPOSED NEW REAR ADDITION	REFLECTIVE		KINGSPAN	
GU01	GUTTERS	COLOURBOND	ALL GUTTERS	MANOR RED		DULUX - COLOURBOND	
FL01	FLASHING	COLOURBOND	ALL FLASHING	MANOR RED		DULUX - COLOURBOND	
MAS01	EXISTING BRICKS	EXISTING RED BRICKS - COMMON BOND	EXTERIOR BRICK WALLS	RED BRICK		N/A	
CONC01	PRECAST CONCRETE	COLOURBOND	PRECAST CONCRETE WALLS & SLABS	GREY		DULUX - COLOURBOND	
EF01	EXTERIOR FINISH 01 - LOUVRE SCREENS	COLOURBOND	EXTERIOR LOUVRE SCREENS	MANOR RED		DULUX - COLOURBOND	



328-330 CLARENDON ST
DOUBLE STOREY BRICK (LATE-VICTORIAN) BUILDING
W/ MONUMENT CORRUGATED IRON GARAGE AT REAR

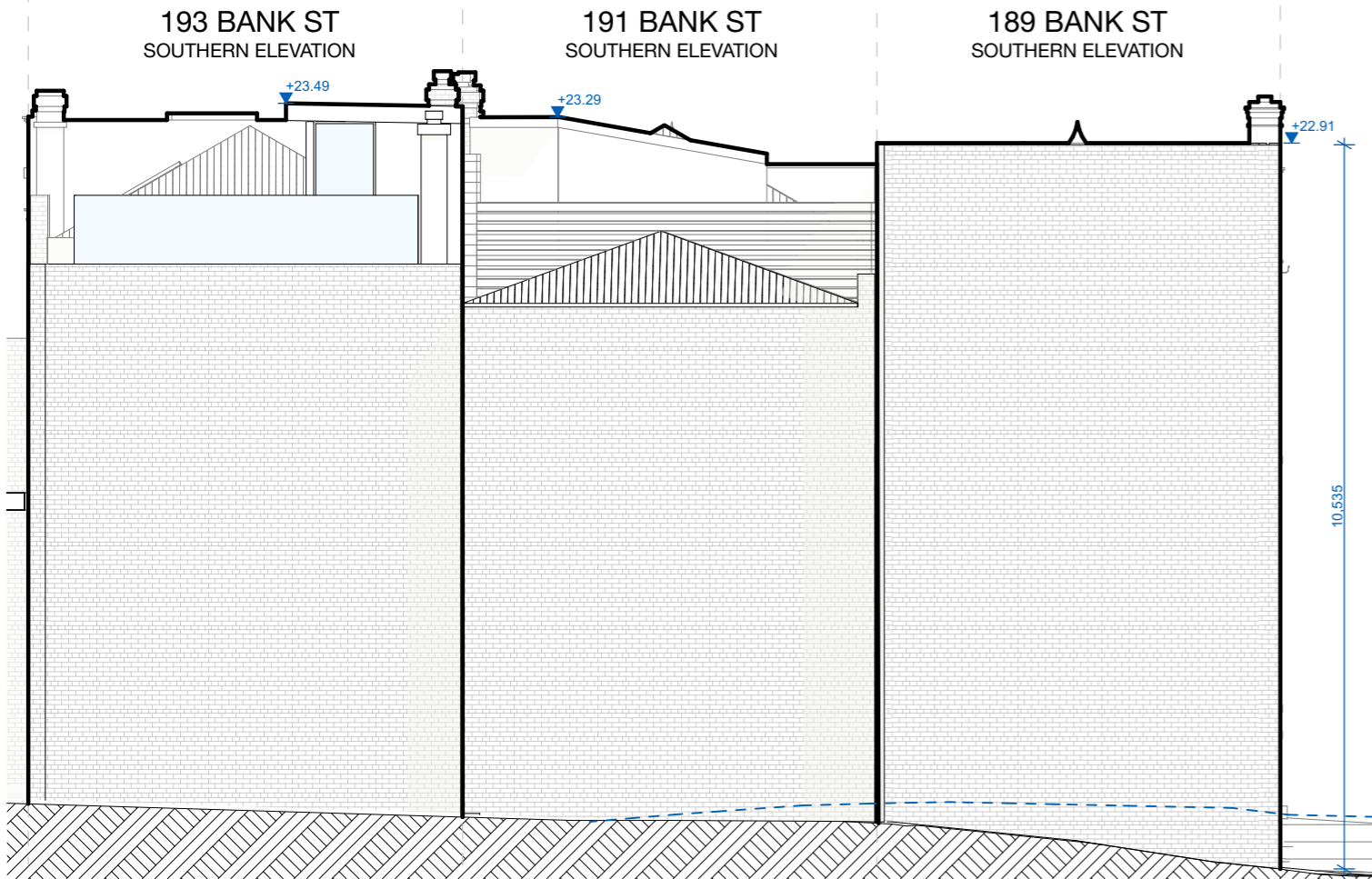
EMERALD HILL PL

189 BANK ST
VICTORIAN FRONTAGE
W/ PROPOSAL AT REA

191 BANK ST
VICTORIAN FRONTAGE

193 BANK ST
VICTORIAN FRONTAGE

CITY OF PORT PHILLIP 13m HEIGHT LIMIT



CITY OF PORT PHILLIP 13m HEIGHT LIMIT

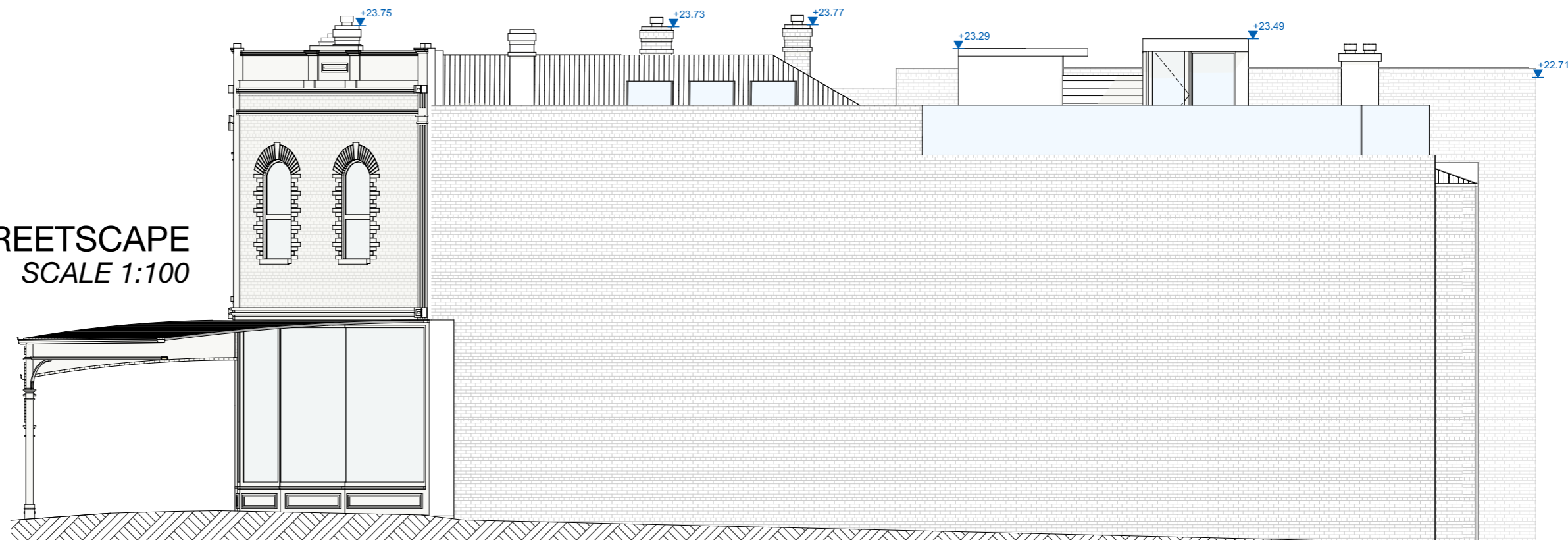
PROPOSED SOUTHERN STREETSCAPE SCALE 1:100

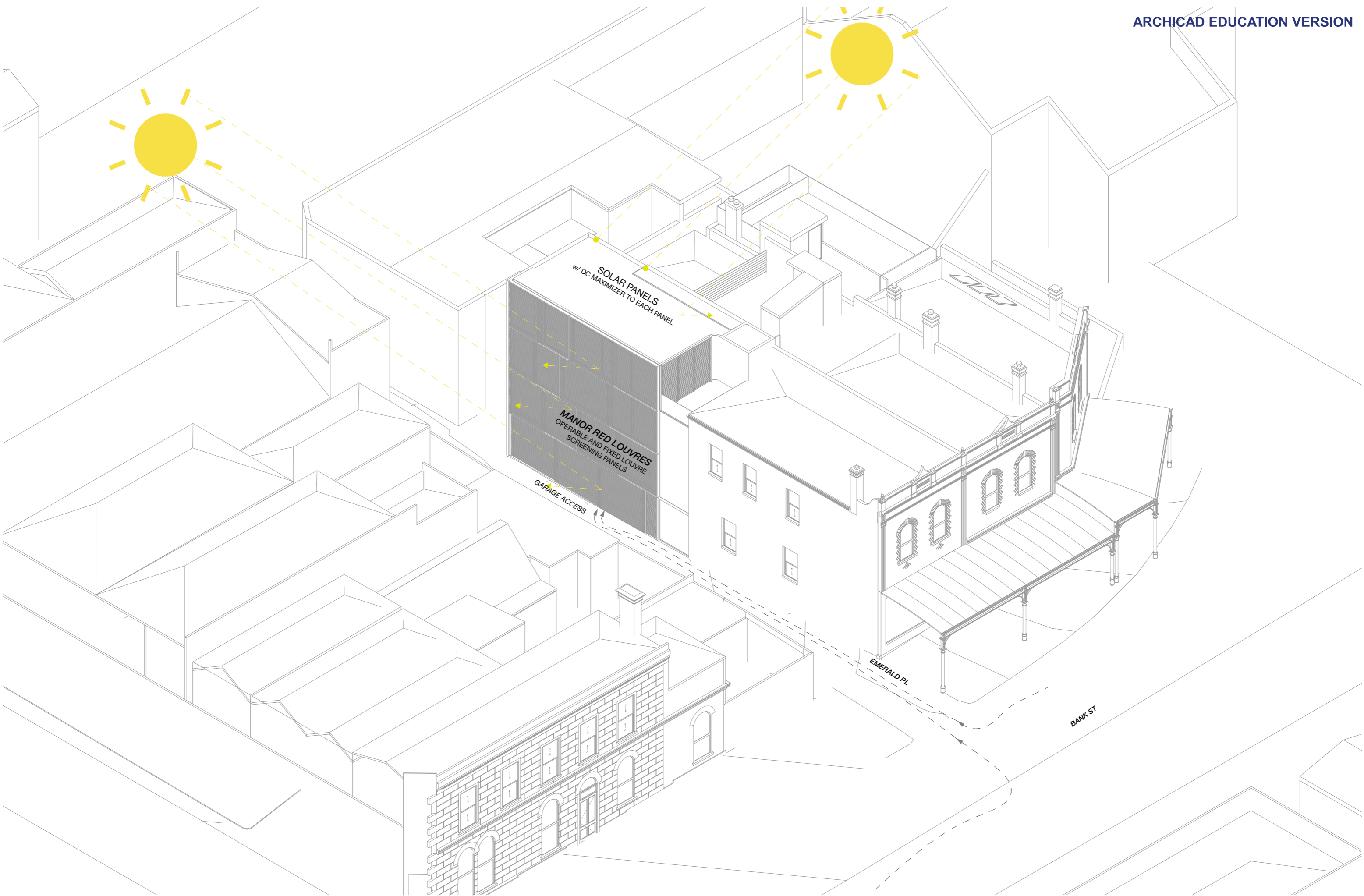
193 BANK ST
WESTERN ELEVATION

191 BANK ST
WESTERN ELEVATION BEYOND

189 BANK ST
WESTERN ELEVATION BEYOND

PROPOSED WESTERN STREETSCAPE SCALE 1:100





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TOWN PLANNING

NOTES:

NOT FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE ARCHITECT AS A STAMPED CONSTRUCTION SET

PRELIMINARY

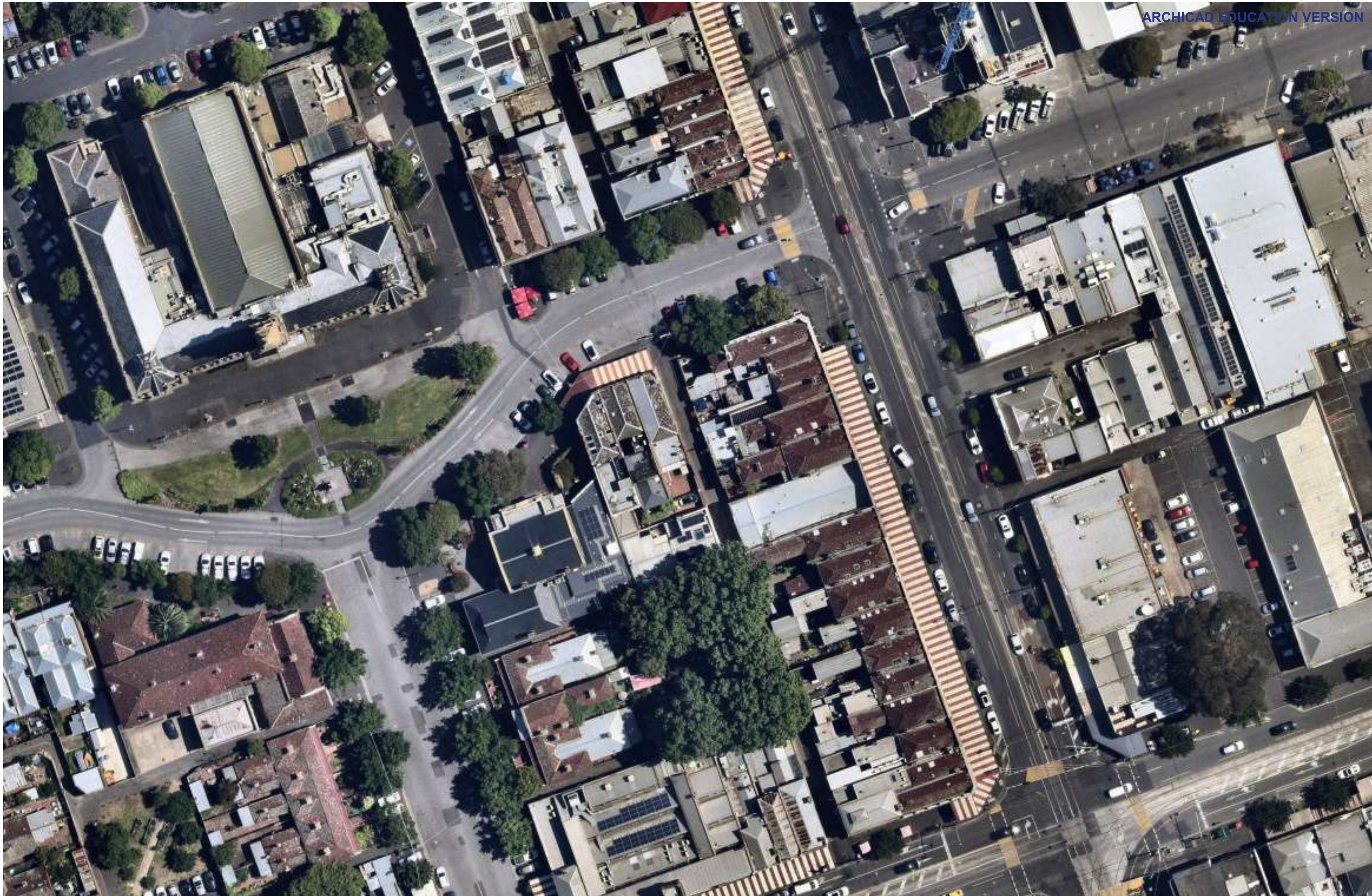
SITE DIAGRAM

SCALE 1:200 @ A3

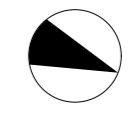


TP.01.4

PLOT DATE: 22/12/2023



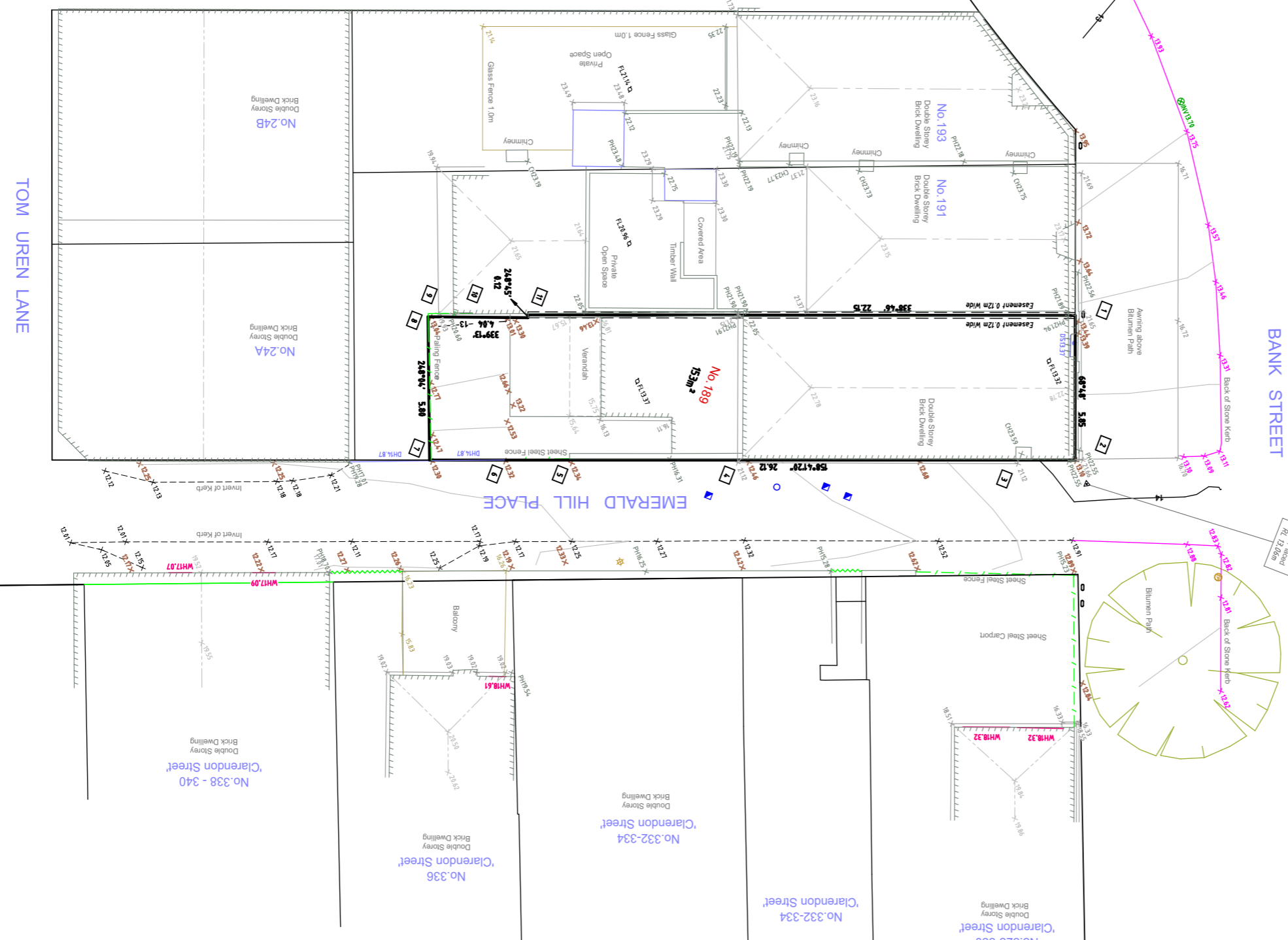
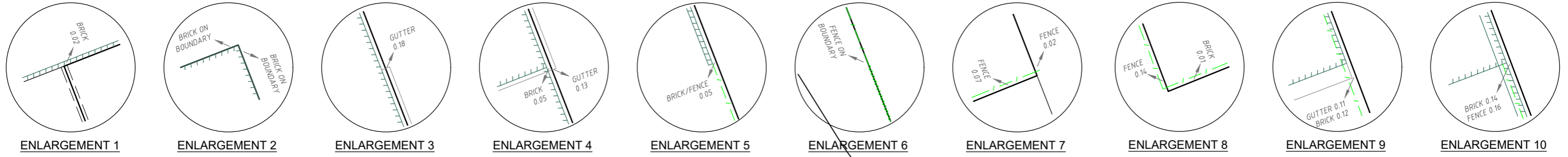
PRELIMINARY



SITE SURVEY

SCALE 1:200

ARCHICAD EDUCATION VERSION



LEGEND

	Permanent Marker		Fire Plug
	Title Peg		Fire Hydrant
	Aluminium Rivet		Water Meter
	Texter Mark		Water Unclassified
	Etch Mark		Water Tap
	Rod		Stay for Pole
	Pipe		Unclassified Pit
	Star Picket		Fence
	Dumpy Peg		Gate
	Nail		Toe of Bank
	Spike		Top of Bank
	Tree		Electricity Line Overhead
	Pipe Invert		Telecom Line Overhead
	Sign		Lower Storey Window
	Letter Box		Upper Storey Window
	Bollard		Lower Storey Door
	Electricity Main		Upper Storey Door
	Light Pole		Highlight Window
	Electricity Pole		WH Window Head
	Electricity Pole/Light		NWH Non Habitable Window Head
	Electricity Pit		WS Window Sill
	Telstra Pit		DH Door Head
	Gas Meter		DS Door Sill
	Sewer Pit		PH Parapet Height
	Sewer Unclassified		FL Floor Level
	Sewer Vent/Pipe		Side Entry Pit
	Sewer Inspection Shaft		Grated Pit
	Water Stop Valve		Junction Pit
	Picture Point		Drainage Pit

NEIGHBOURING ROOFING CONDITIONS

TAKEN FROM 193 BANK ST



EXISTING ROOF CONDITIONS

193 BANK ST



EXISTING ROOF CONDITIONS

195 BANK ST



EXISTING ROOF CONDITIONS

24A & 24B EMERALD HILL PLACE



EXISTING ROOF CONDITIONS

193 BANK ST



EXISTING ROOF CONDITIONS

191 BANK ST. 189 BANK ST



EXISTING ROOF CONDITIONS

191 BANK ST. CLARENDON ST ROOFING BEYOND



EXISTING SITE PLAN

SCALE 1:100

No.24B
Double Storey
Brick Dwelling

No.24A
Double Storey
Brick Dwelling

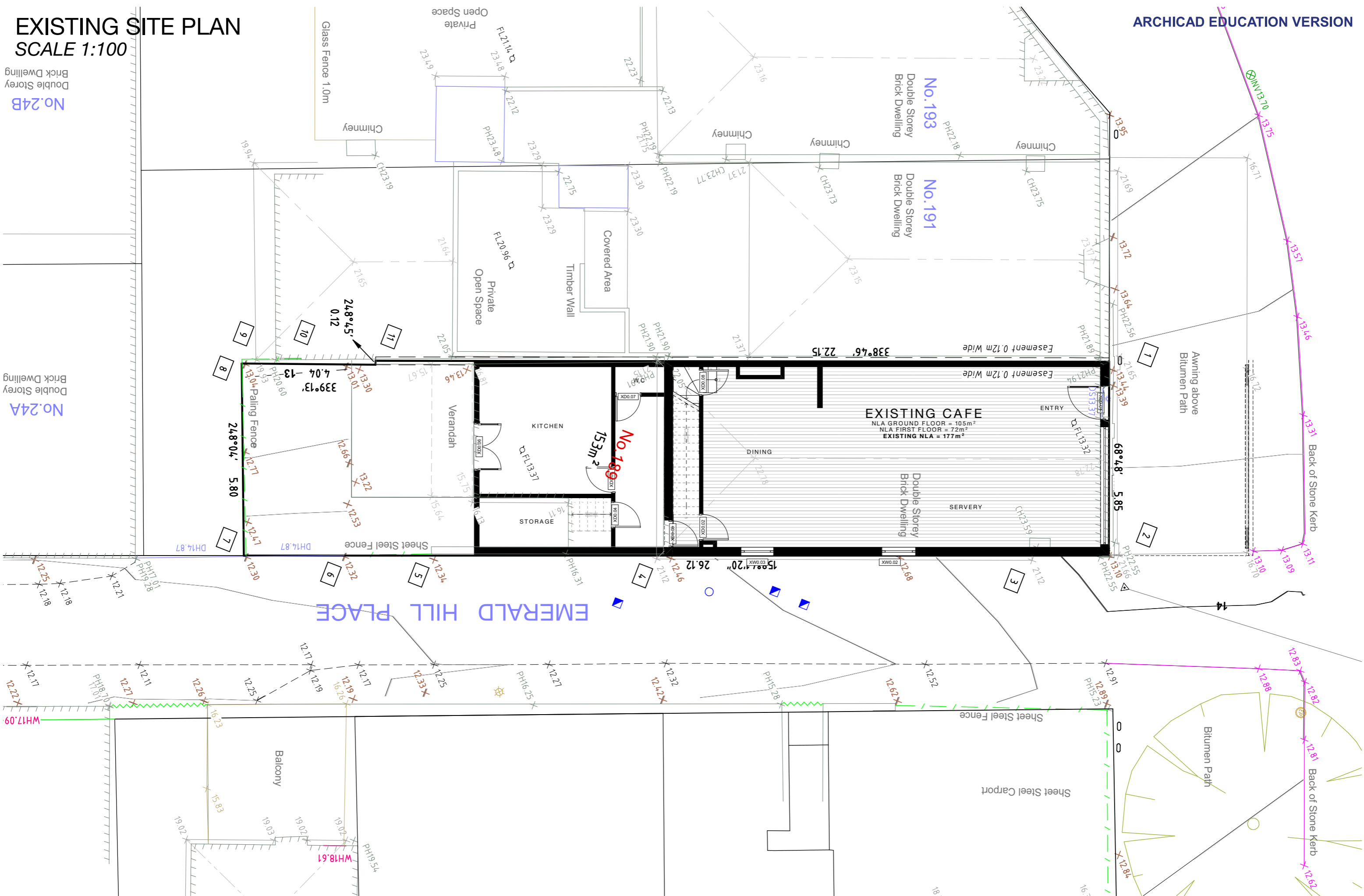
No.193
Double Storey
Brick Dwelling

No.191
Double Storey
Brick Dwelling

EXISTING CAFE
NLA GROUND FLOOR = 105m²
NLA FIRST FLOOR = 72m²
EXISTING NLA = 177m²

No.189
153m²

EMERALD HILL PLACE



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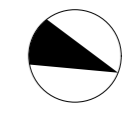
TOWN PLANNING
NOT FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE ARCHITECT AS A STAMPED CONSTRUCTION SET

NOTES:

PRELIMINARY

EXISTING SITE PLAN

SCALE 1:100 @ A3

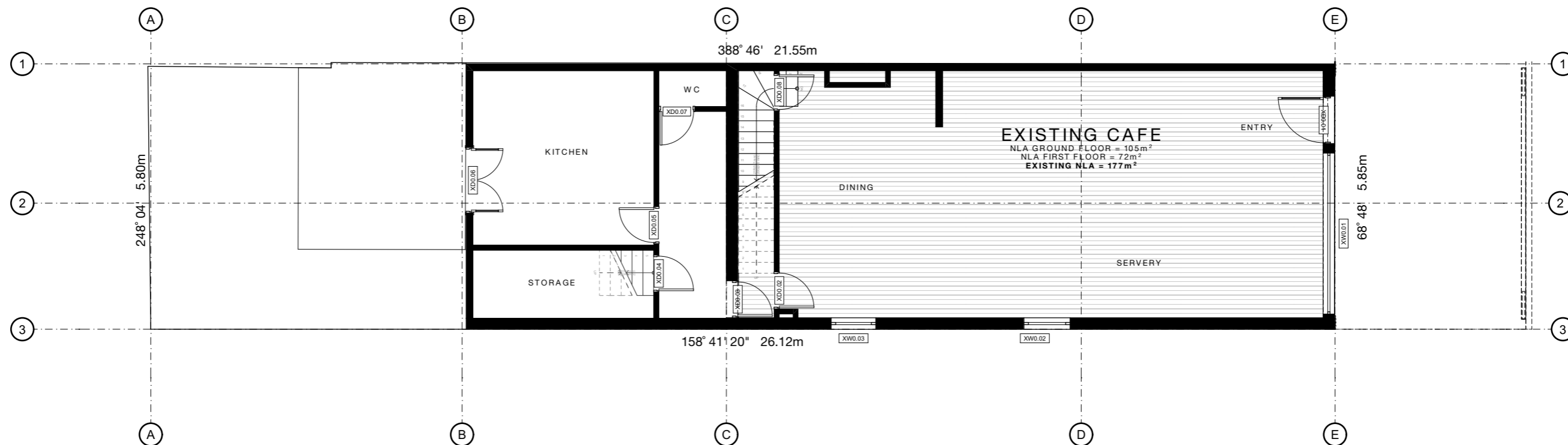


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PLOT DATE: 22/12/2023

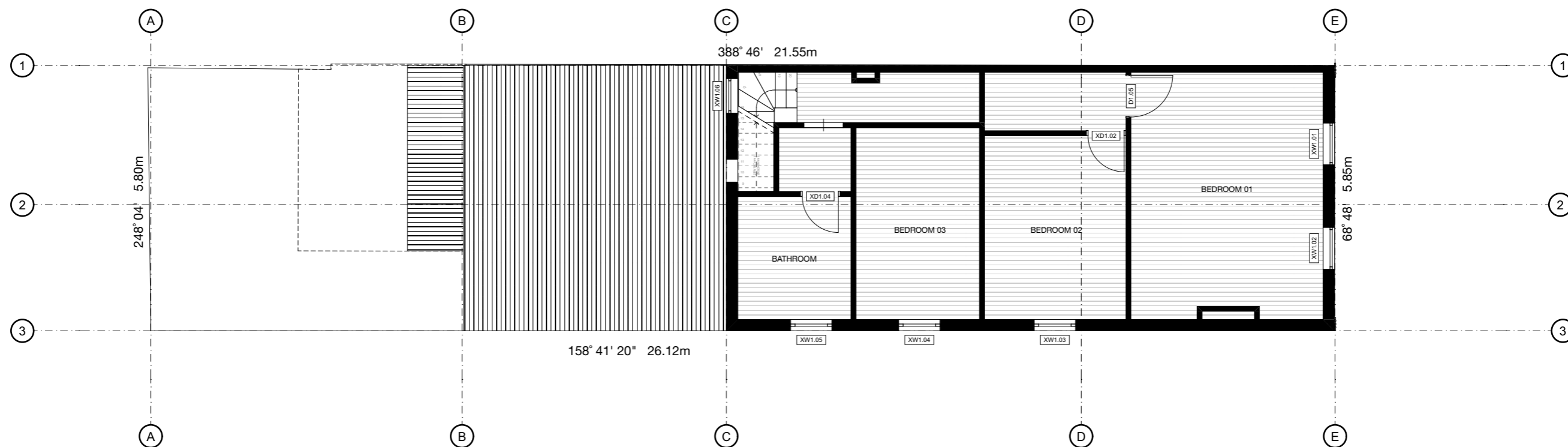
EXISTING GROUND LEVEL FLOOR PLAN

SCALE 1:100



EXISTING FIRST LEVEL FLOOR PLAN

SCALE 1:100



NON-HERITAGE EXTENSION
(TO BE DEMOLISHED)



HERITAGE WINDOW DETAILING
(TO BE RETAINED)



HERITAGE INTERNAL DETAILING
(TO BE RETAINED)



HERITAGE FACADE
(NORTH, EAST AND SOUTH)
(TO BE RETAINED)



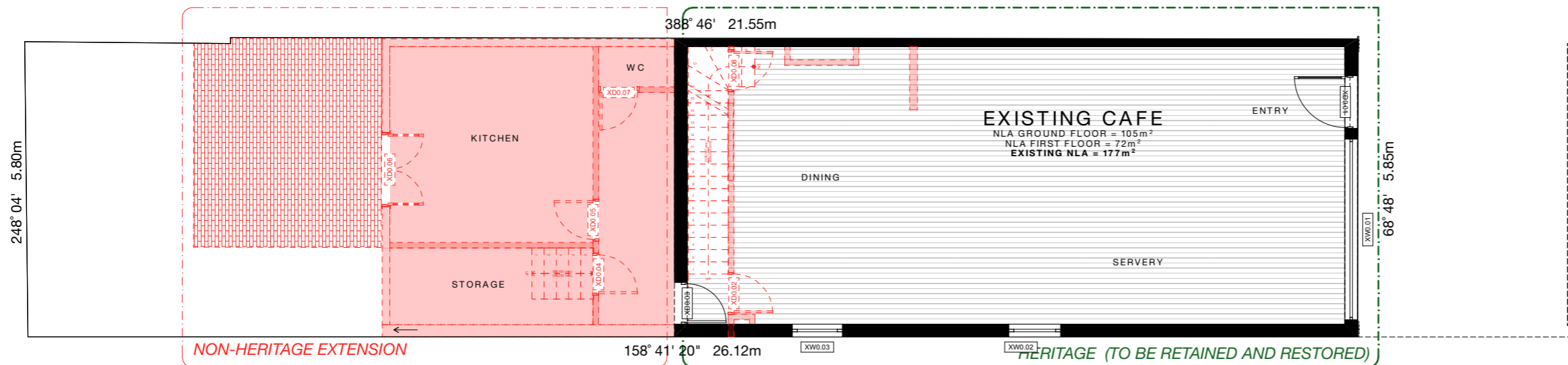
NON-HERITAGE EXTENSION
(TO BE DEMOLISHED)



GENERAL:

01. ALL FLOOR FINISHES TO BE RETAINED (NEW FLOORING OVER)
02. WALLS TO BE RETAINED AND RESTORED
03. EXISTING PRESSED TIN CEILING TO BE RETAINED AND RESTORED
04. EXISTING EXTERNAL WINDOWS AND DOORS TO BE RETAINED AND RESTORED
06. ENTIRE HERITAGE FACADE TO BE RETAINED AND RESTORED.
07. ENTIRE HERITAGE ROOF, GUTTERS AND DOWNPIPES TO BE RETAINED AND RESTORED
08. CORNICE, SKIRTINGS, ARCHITRAVES, DOOR JAMBS, MOULDINGS TO BE RETAINED AND RESTORED.
09. ALL WALL AND/OR POST REMOVAL MUST BE DONE IN ACCORDANCE WITH ENGINEERING. DOCUMENTATION
10. NO WALL, FLOOR OR CEILING REMOVAL UNLESS CLEARLY NOTED OTHERWISE - **ONLY FINISHES**
11. PLEASE REFER TO DOOR AND WINDOW SCHEDULE FOR REMOVAL OR REPLACEMENT OF SPECIFIC DOORS & WINDOWS

DEMOLITION GROUND LEVEL FLOOR PLAN
SCALE 1:100



DEMO SCHEDULE

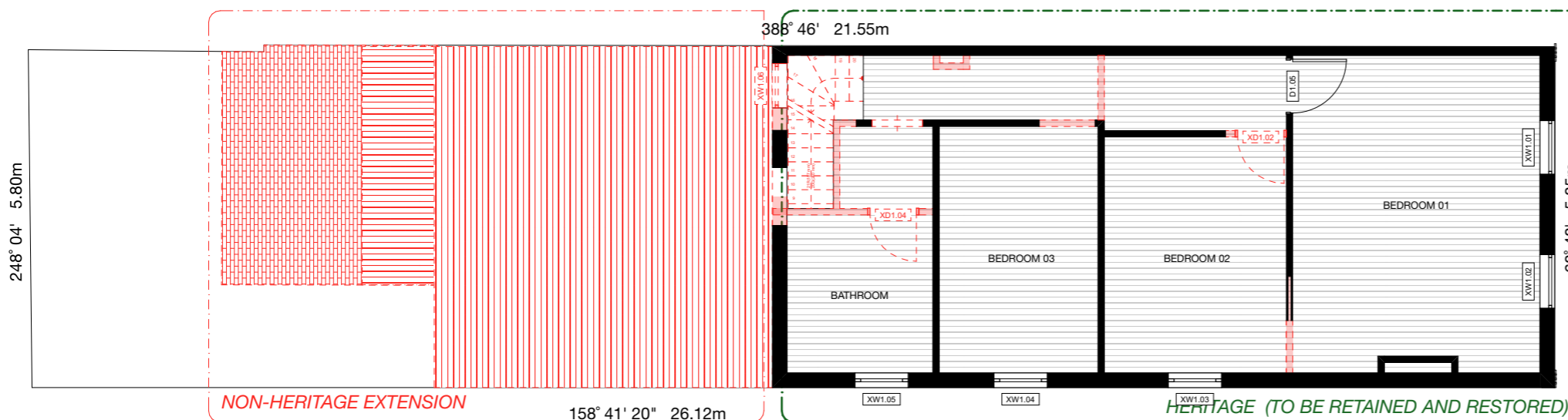
GROUND FLOOR:

- ENTRY:**
01. ALL NON HERITAGE JOINERY TO BE REMOVED
 02. SELECTED RED WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
 03. ALL NON-HERITAGE FIXTURES TO BE REMOVED
- DINING:**
04. ALL NON HERITAGE JOINERY TO BE REMOVED
 05. SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
 06. NON COMPLIANT STAIRS TO BE DEMOLISHED
- EXISTING NON HERITAGE EXTENSION:**
07. ALL FLOOR FINISHES TO BE REMOVED
 08. ALL JOINERY TO BE REMOVED
 09. ALL WALLS TO BE REMOVED
 10. EXTERNAL PAVING TO BE REMOVED
 11. ALL STAIRS TO BE DEMOLISHED
 12. ALL FIXTURES TO BE REMOVED
 13. ALL DOORS AND WINDOWS TO BE REMOVED
 14. ALL ROOF AND GUTTERS TO BE DEMOLISHED

FIRST FLOOR:

15. ALL NON HERITAGE JOINERY TO BE REMOVED
 16. WALLS TO BE RETAINED AND RESTORED
 17. SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
- BEDROOM 02:**
18. ALL NON HERITAGE JOINERY TO BE REMOVED
 19. SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
- BEDROOM 03:**
20. ALL NON HERITAGE JOINERY TO BE REMOVED
 21. SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
- BATHROOM:**
22. ALL NON HERITAGE JOINERY TO BE REMOVED
 23. SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
 24. ALL FIXTURES TO BE REMOVED

DEMOLITION FIRST LEVEL FLOOR PLAN
SCALE 1:100

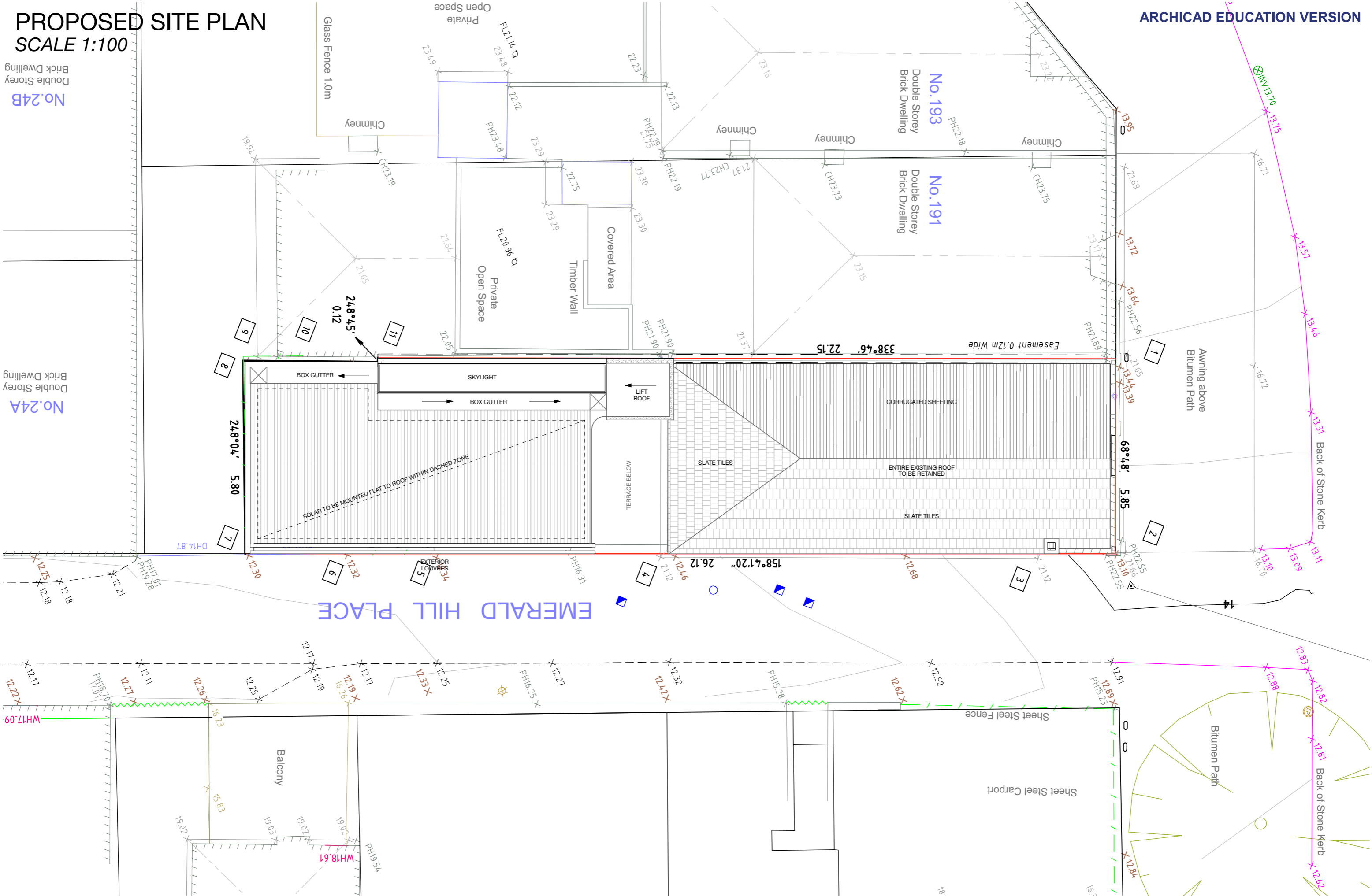


PROPOSED SITE PLAN

SCALE 1:100

No.24B
Double Storey
Brick Dwelling

No.24A
Double Storey
Brick Dwelling



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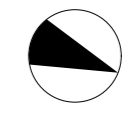
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NOTES:

PRELIMINARY

PROPOSED SITE PLAN

SCALE 1:100 @ A3

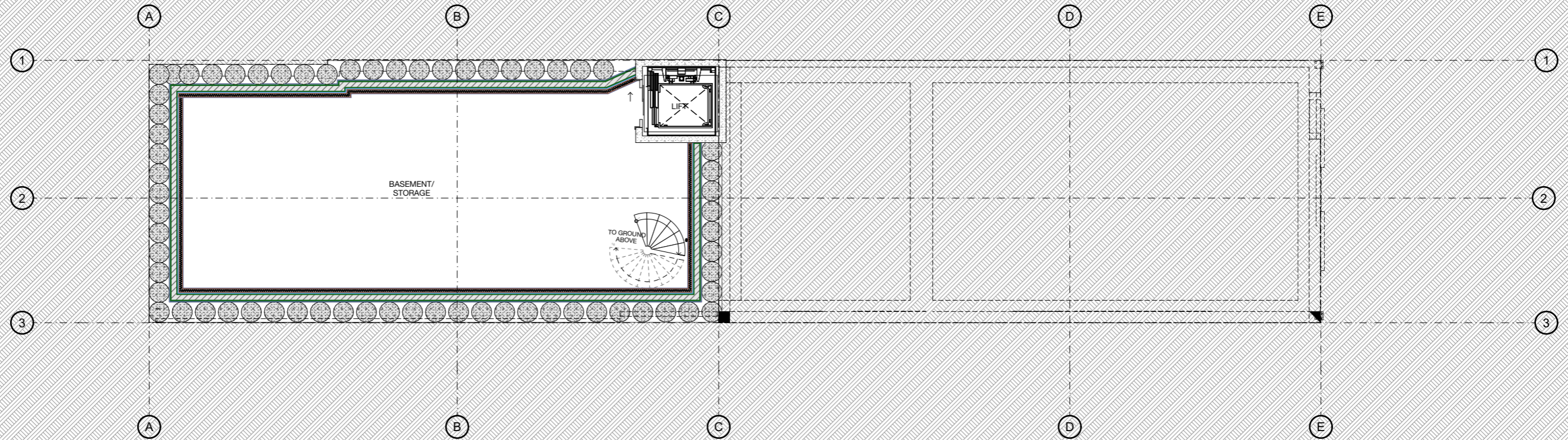


TP.01.11

PLOT DATE: 22/12/2023

PROPOSED BASEMENT LEVEL FLOOR PLAN

SCALE 1:100



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DESIGN DEVELOPMENT

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NOTES:

PRELIMINARY

PROPOSED FLOOR PLAN

SCALE 1:100 @ A3

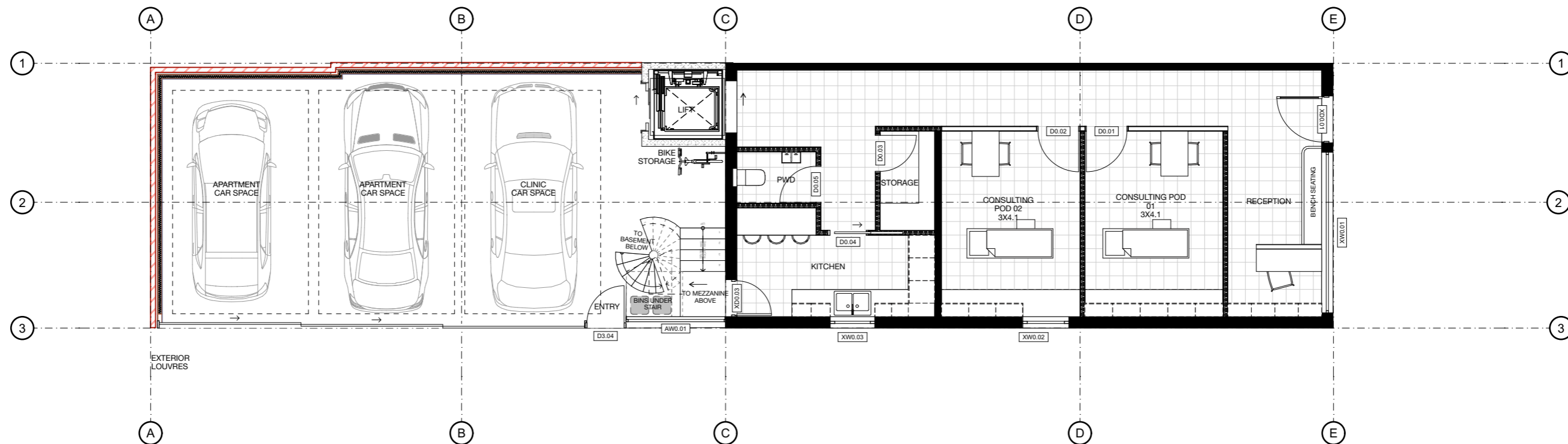


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PLOT DATE: 22/12/2023

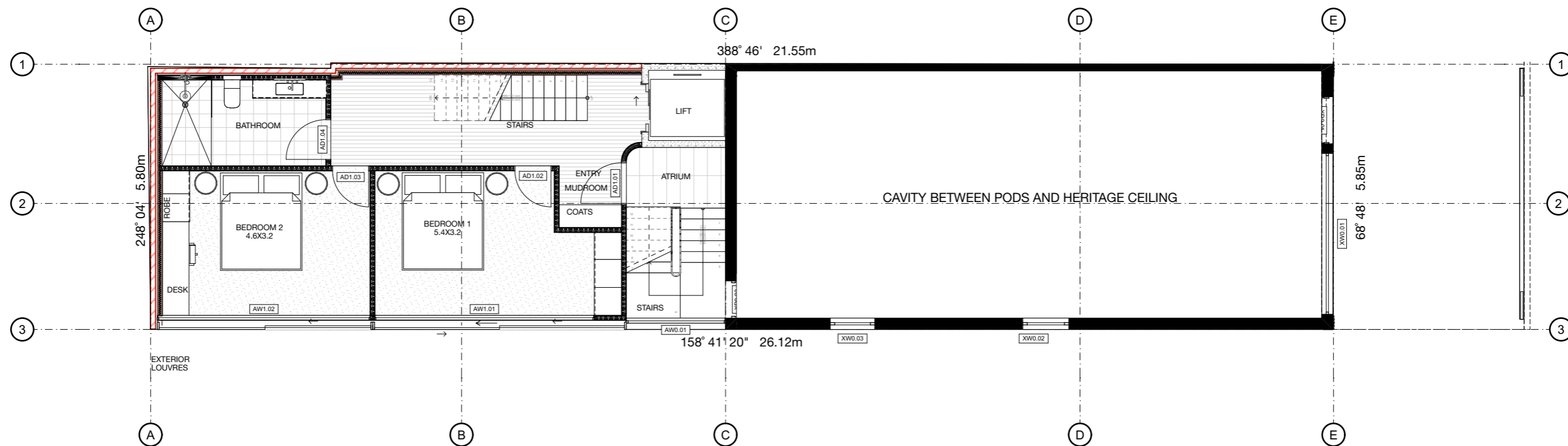
PROPOSED GROUND LEVEL FLOOR PLAN

SCALE 1:100



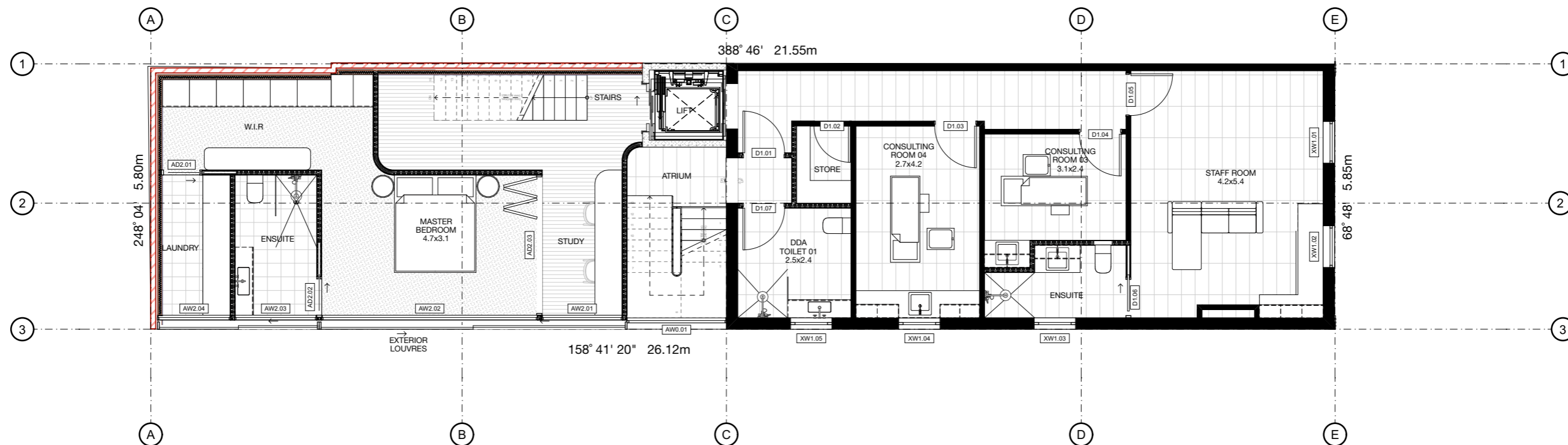
PROPOSED MEZZANINE LEVEL FLOOR PLAN

SCALE 1:100



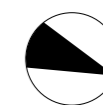
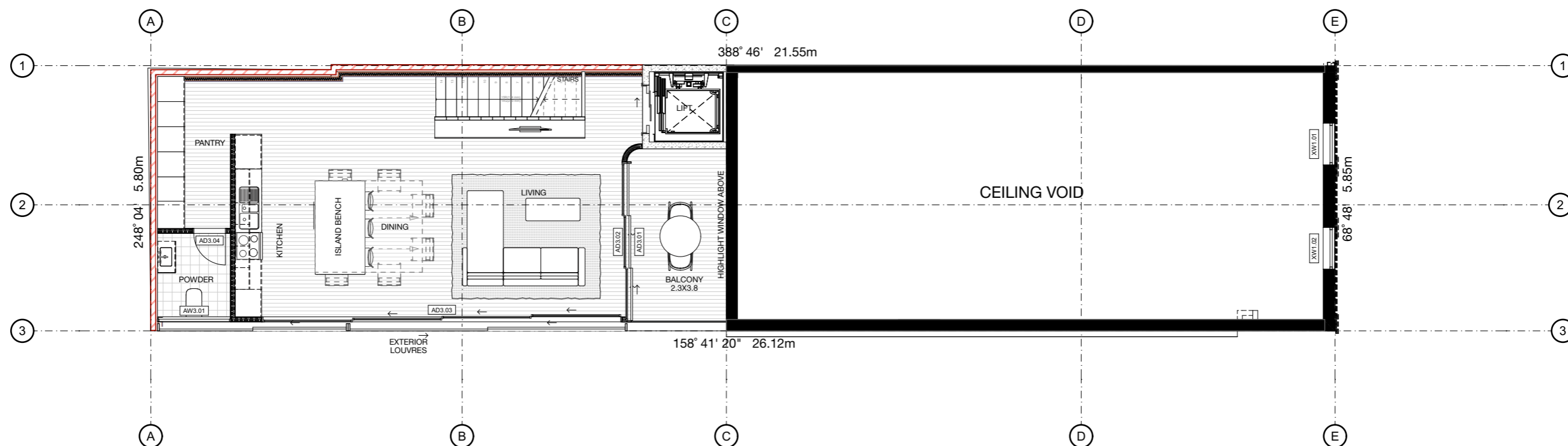
PROPOSED FIRST LEVEL FLOOR PLAN

SCALE 1:100



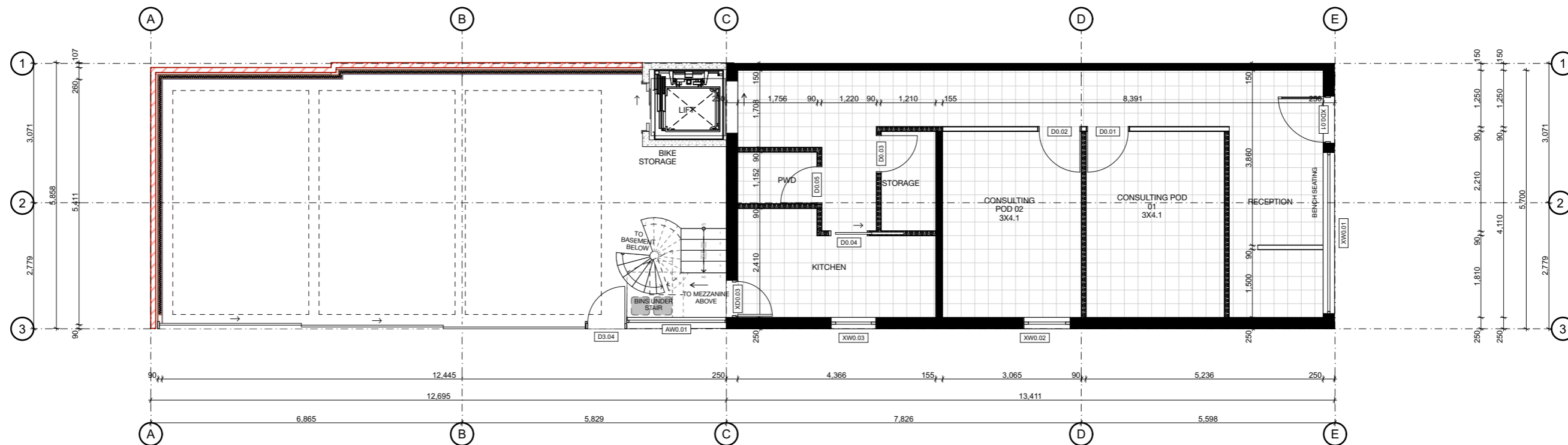
PROPOSED SECOND LEVEL FLOOR PLAN

SCALE 1:100



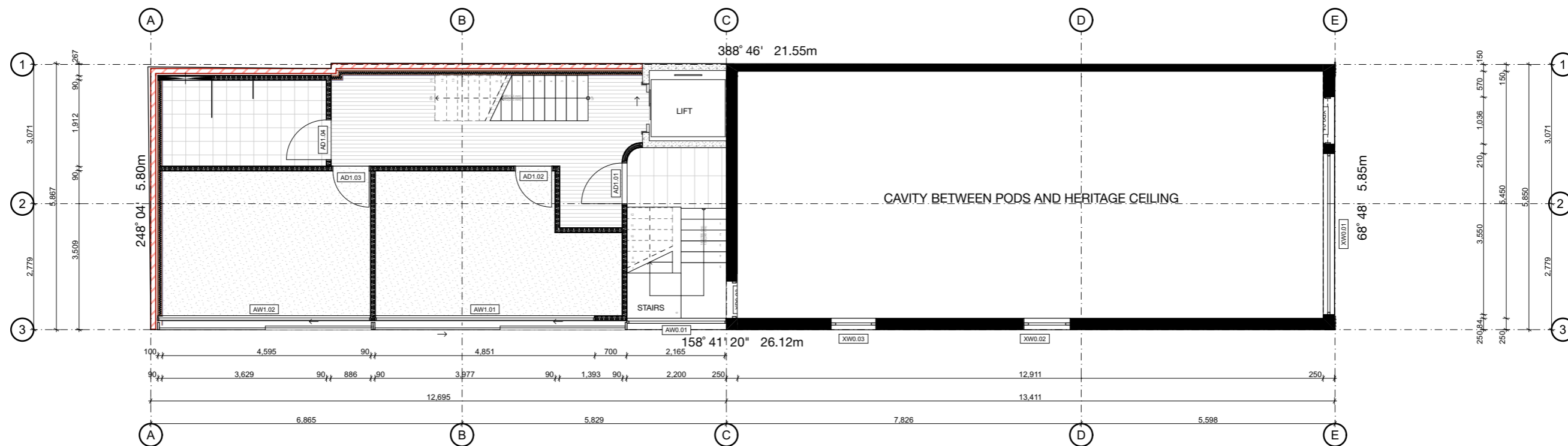
PROPOSED GROUND LEVEL SETOUT PLAN

SCALE 1:100



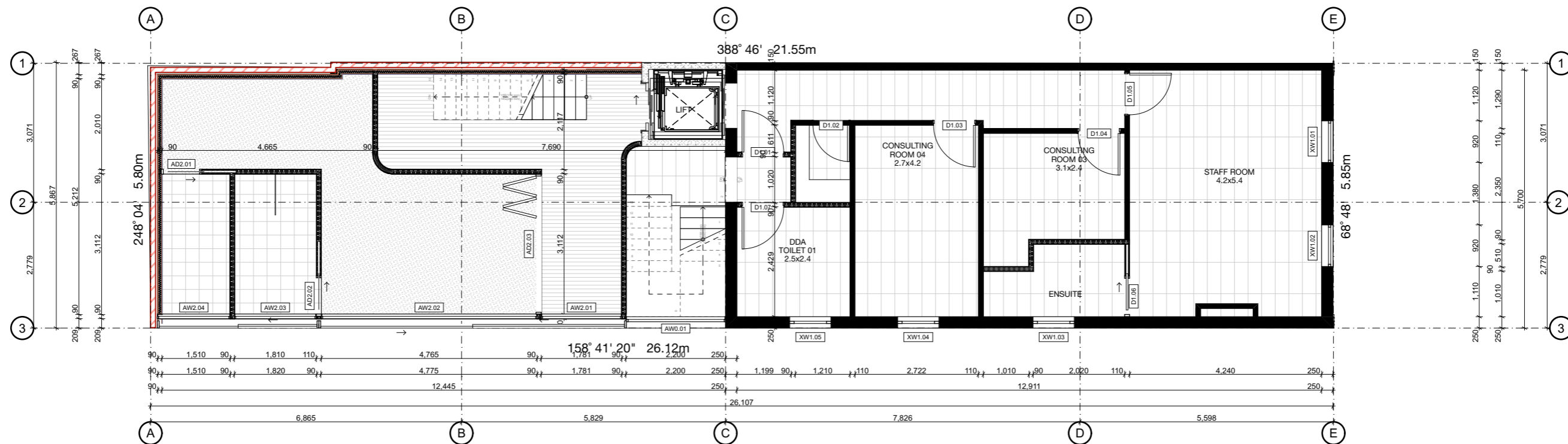
PROPOSED MEZZANINE LEVEL SETOUT PLAN

SCALE 1:100



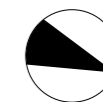
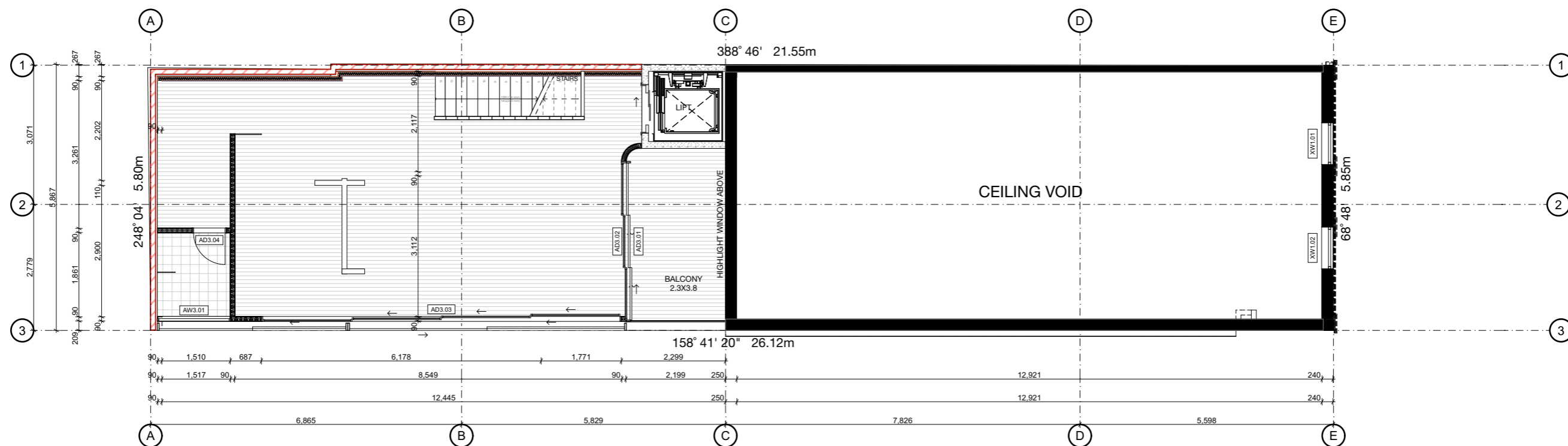
PROPOSED FIRST LEVEL SETOUT PLAN

SCALE 1:100



PROPOSED SECOND LEVEL SETOUT PLAN

SCALE 1:100



SHADOW DIAGRAM
9am - SPRING EQUINOX 2022



SHADOW DIAGRAM
10am - SPRING EQUINOX 2022



SHADOW DIAGRAM
11am - SPRING EQUINOX 2022



SHADOW DIAGRAM
12pm - SPRING EQUINOX 2022



 SHADOWS CAST BY PROPOSED NEW ADDITION



JAK ARCHITECTURE
ph: 0438254248
e: admin@jakarchitecture.com
ARBV Registration 52059
ABN 38 005 592 101

BANK ST DEVELOPMENT
ADDRESS: 189 Bank St South Melbourne VIC 3205
CLIENT: Dr Ian Holtzen
JOB NO: 2207

All dimensions are to be verified on site prior to construction. Discrepancies or errors are to be reported to the Architect for resolution prior to proceeding. Drawings must not be used for construction unless issued by the Architect as a Stamped Construction Set. Do not scale off drawings. All boundaries & contours are subject to survey. Drawings contain confidential & private information & are to not be distributed beyond intended person's unless given consent from Architects.

TOWN
PLANNING

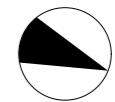
NOT FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE ARCHITECT AS A STAMPED CONSTRUCTION SET

NOTES:

PRELIMINARY

OVERSHADOWING DIAGRAMS

SCALE 1:1.39 @ A3



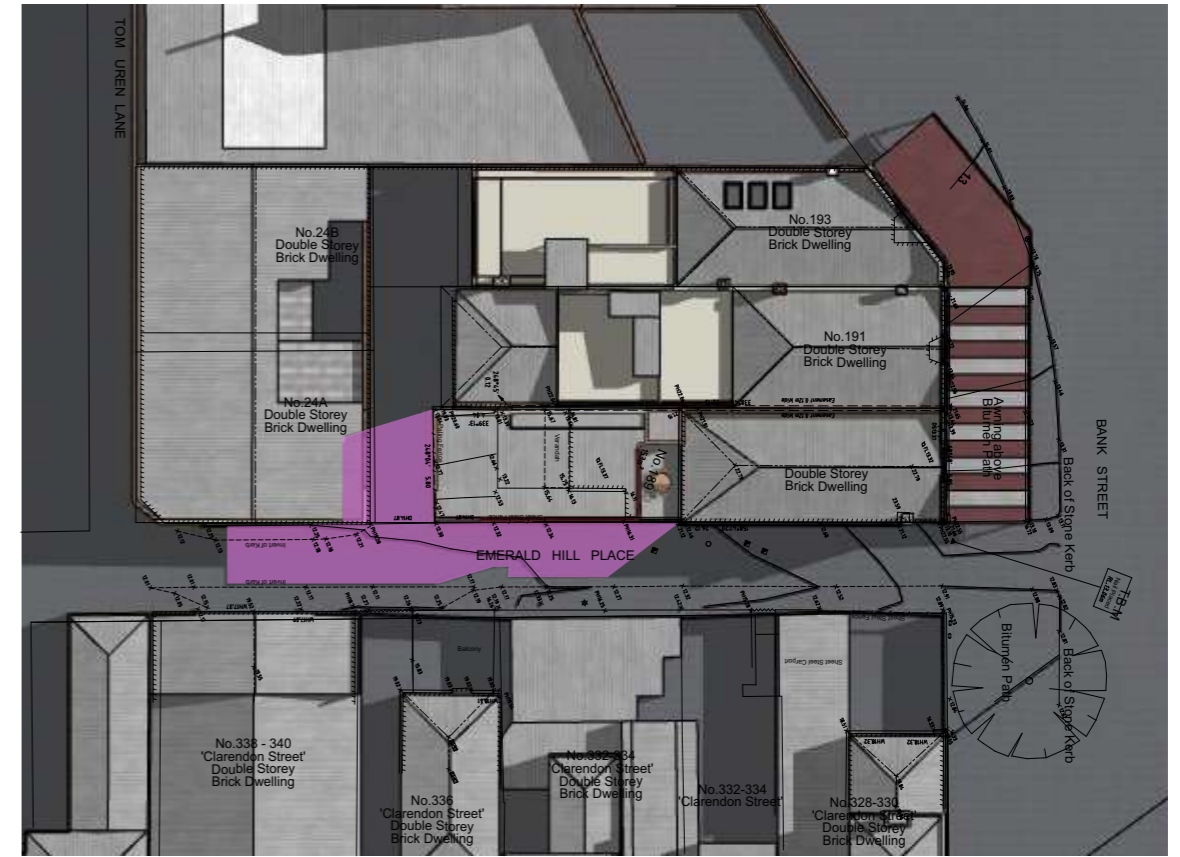
TP.01.19

PLOT DATE: 22/12/2023

SHADOW DIAGRAM
1pm - SPRING EQUINOX 2022



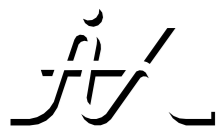
SHADOW DIAGRAM
2pm - SPRING EQUINOX 2022



SHADOW DIAGRAM
3pm - SPRING EQUINOX 2022



 SHADOWS CAST BY PROPOSED NEW ADDITION



JAK ARCHITECTURE
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BANK ST DEVELOPMENT
ADDRESS: 189 Bank St South Melbourne VIC 3205
CLIENT: Dr Ian Holtzen
JOB NO: 2207

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TOWN
PLANNING

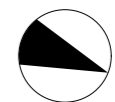
NOT FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE ARCHITECT AS A STAMPED CONSTRUCTION SET

NOTES:

PRELIMINARY

OVERSHADOWING DIAGRAMS

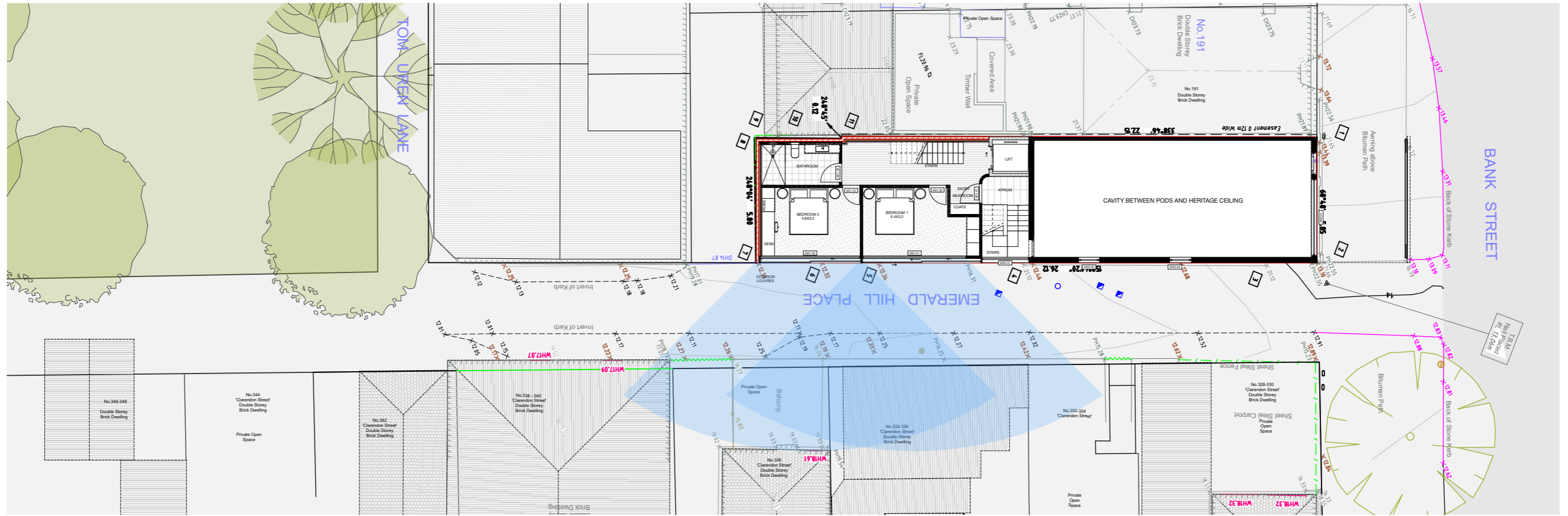
SCALE 1:1.39 @ A3



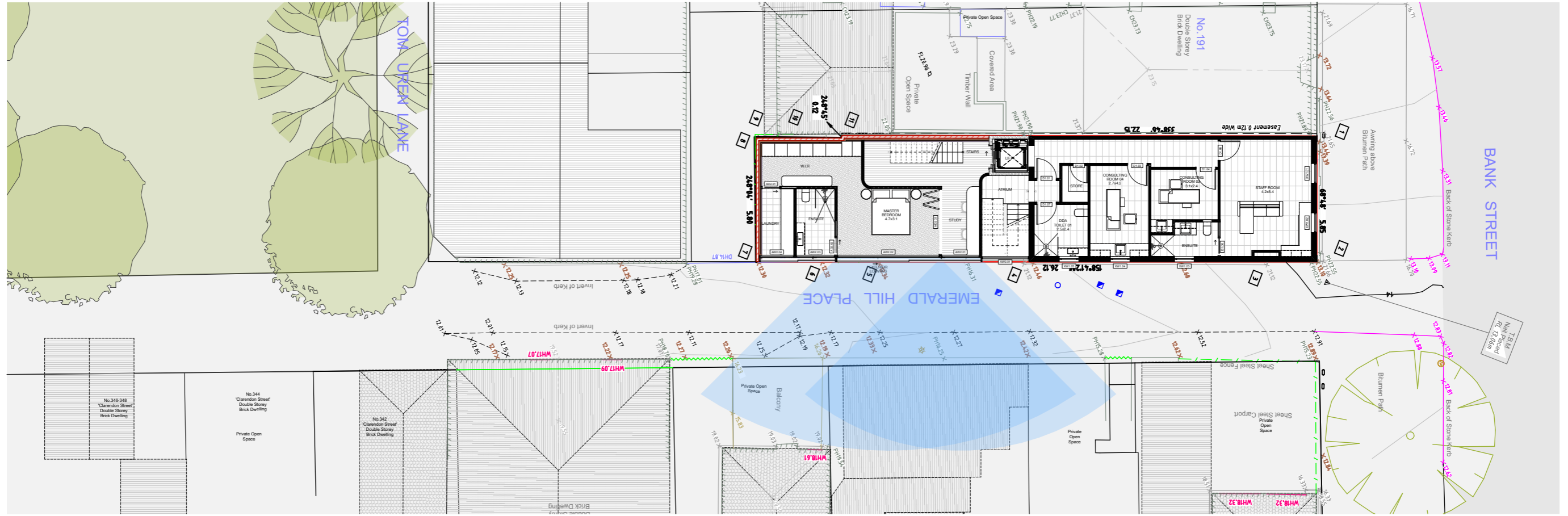
TP.01.20

PLOT DATE: 22/12/2023

MEZZANINE FLOOR OVERLOOKING DIAGRAM SCALE 1:200



FIRST FLOOR OVERLOOKING DIAGRAM SCALE 1:200



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TOWN PLANNING

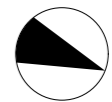
NOT FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE ARCHITECT AS A STAMPED CONSTRUCTION SET

NOTES:

PRELIMINARY

OVERLOOKING DIAGRAMS

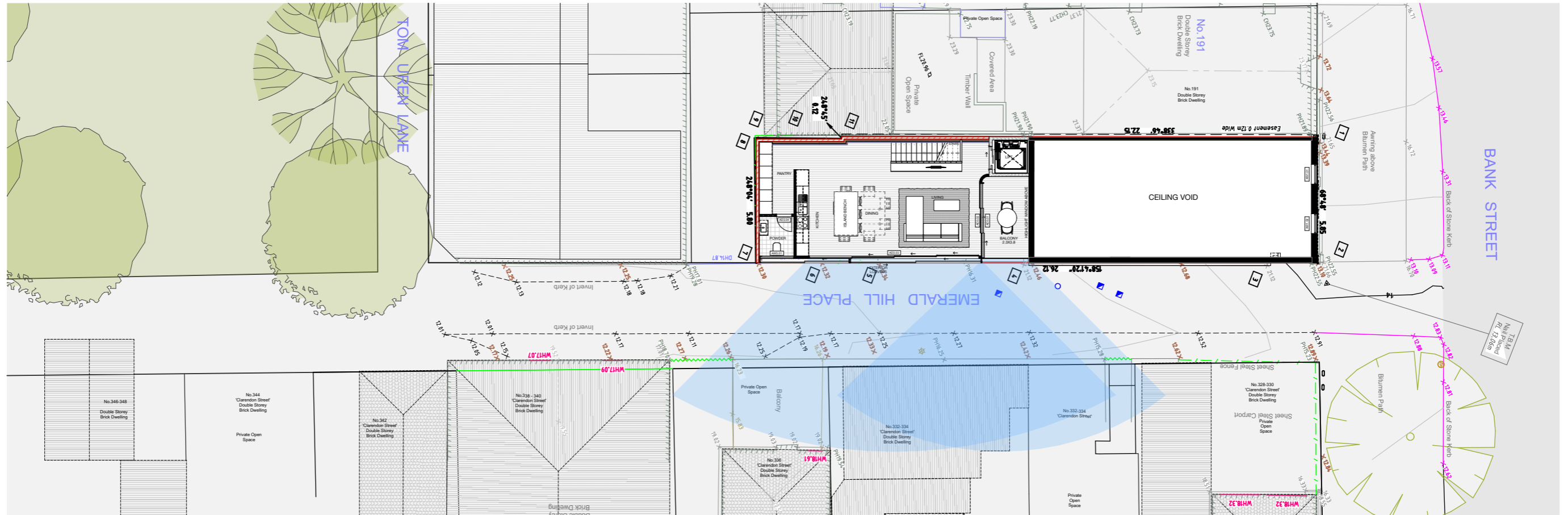
SCALE 1:200 @ A3



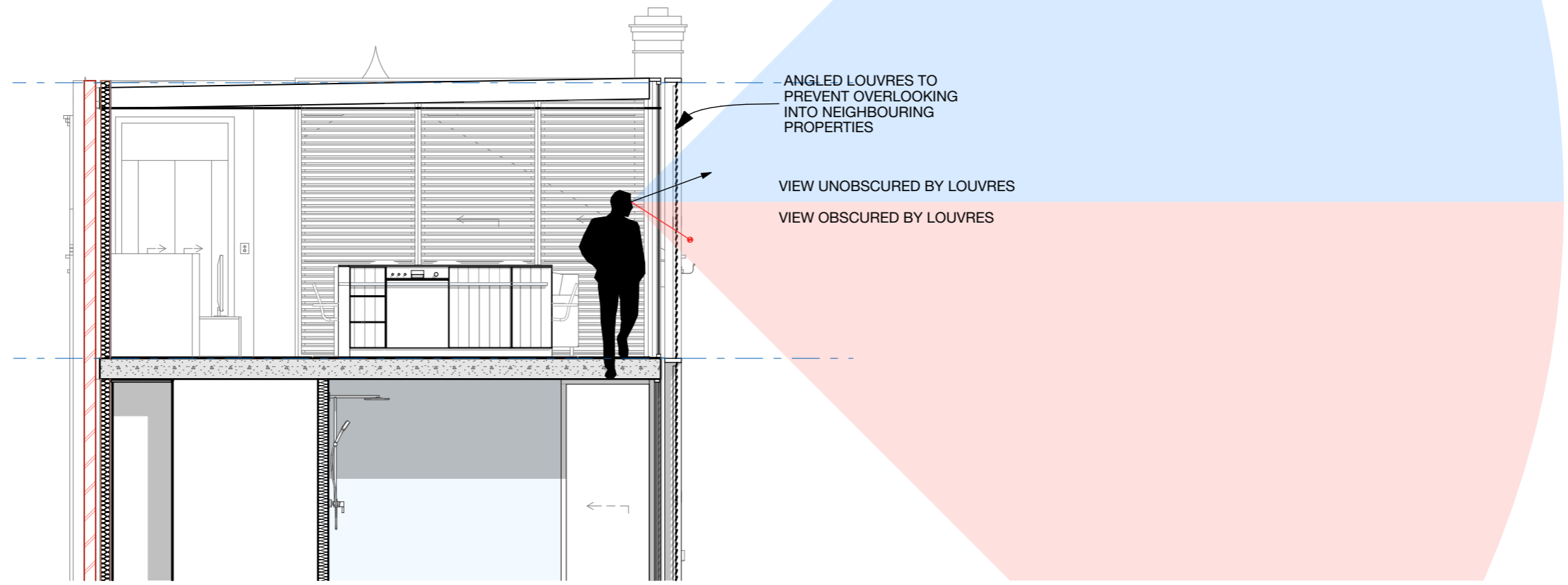
TP.01.21

PLOT DATE: 22/12/2023

SECOND FLOOR OVERLOOKING
DIAGRAM
SCALE 1:200



SECOND FLOOR OVERLOOKING
SECTION
SCALE 1:50



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BANK ST DEVELOPMENT
ADDRESS: 189 Bank St South Melbourne VIC 3205
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JOB NO: 2207

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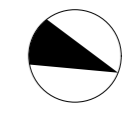
TOWN PLANNING
NOT FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE ARCHITECT AS A STAMPED CONSTRUCTION SET

NOTES:

PRELIMINARY

OVERLOOKING DIAGRAMS

SCALE 1:200, 1:50 @ A3



TP.01.22

PLOT DATE: 22/12/2023

EXISTING NORTH ELEVATION

SCALE 1:100



SCHEDULE OF HERITAGE WORKS

189 BANK STREET - CONSERVATION WORKS

ITEM	LC RECOMMENDATION	COMMENT
General		
Façade	<ul style="list-style-type: none"> Wash down façade Remove all redundant items, pipes, services and allow to fix substrate 	
Timberwork	<ul style="list-style-type: none"> Prepare and repaint timber work 	Purple Brown
Rainwater goods	<ul style="list-style-type: none"> Prepare and paint eaves gutters and downpipes 	Roof Red
Metalwork	<ul style="list-style-type: none"> Prepare and paint metal work 	Roof Red
Roof		
Roof sheets	<ul style="list-style-type: none"> Replace corrugated roof sheet with new galvanized steel corrugated roof sheets including of flashing. Including new timber battens, sarking membrane, safety mesh and insulation 	
Roof slates	<ul style="list-style-type: none"> Replace existing slates with new slates. Including new timber battens, sarking membrane, safety mesh and insulation 	
Eaves gutters/box gutters	<ul style="list-style-type: none"> Replace box gutter with new in stainless steel and install new sump. Allow to replace timber gutter boards to provide compliant drainage capacity. Replace quad profile eaves gutter with new ogge 	
North elevation (main façade)		
Render work	<ul style="list-style-type: none"> Allow to repair damaged render to ground level façade. (nom. 1m2) Re-parge top of parapets and of cornices. Allow to repair damaged moulded render to match existing texture and form. 	Flat render at lower façade below verandah - Deep Yellow Ochre
Windows (upper)	<ul style="list-style-type: none"> Replace flyscreens Re-glaze with new glass to design architect specification and re-putty with traditional linseed oil putty. Allow for router-out existing timber frame to suit new glass thickness. Replace timber mid rail of eastern window and allow for additional timber splice repair as required. 	
Door	<ul style="list-style-type: none"> Remove A/C unit and replace glazing to upper fixed sashes Replace hardware with new to comply with AS. 	
East elevation (laneway)		
Brick work	<ul style="list-style-type: none"> Remove embedded items (timber, metal) and repair substrate with pigmented mortar repairs. Paint removal from bluestone sills and from wall. Methodology subject to trials. 	
Render work		
Windows	<ul style="list-style-type: none"> Re-mould rendered window sill (1 unit) Replace flyscreens Re-glaze with new glass to design architect specification and re-putty with traditional linseed oil putty. Allow for router-out existing timber frame to suit new glass thickness. Allow for additional timber splice repair as required. 	
Window safety bars	<ul style="list-style-type: none"> Allow to replace northern bars (1 unit) 	
Metal vents	<ul style="list-style-type: none"> Replace vents with new with design to match era of building (9 units) 	
Downpipe	<ul style="list-style-type: none"> Replace downpipe with new in cast iron and square profile. Recess lower section into existing cavity wall. 	
Fascia boards	<ul style="list-style-type: none"> Allow to replace timber fascia board, if required, with new to match profile and size of existing. 	
South elevation (rear)		
Services	<ul style="list-style-type: none"> Remove redundant pipes and vents and fix substrate 	
Brick work	<ul style="list-style-type: none"> Replace damaged bricks (nom. 10 units) Following demolition works, make good of lower corner adjacent to laneway by way of repointing and replacing damaged bricks to match existing size and colour. Install new damp proof course 	
Fascia boards	<ul style="list-style-type: none"> Allow to replace timber fascia board, if required, with new to match profile and size of existing. 	

ARCHICAD EDUCATION VERSION

RETENTION SCHEDULE

GENERAL:

01. ALL FLOOR FINISHES TO BE RETAINED (NEW FLOORING OVER)
02. WALLS TO BE RETAINED AND RESTORED
03. EXISTING PRESSED TIN CEILING TO BE RETAINED AND RESTORED
04. EXISTING EXTERNAL WINDOWS AND DOORS TO BE RETAINED AND RESTORED
06. ENTIRE HERITAGE FACADE TO BE RETAINED AND RESTORED.
07. ENTIRE HERITAGE ROOF, GUTTERS AND DOWNPIPES TO BE RETAINED AND RESTORED
08. CORNICE, SKIRTINGS, ARCHITRAVES, DOOR JAMBS, MOULDINGS TO BE RETAINED AND RESTORED.
09. ALL WALL AND/OR POST REMOVAL MUST BE DONE IN ACCORDANCE WITH ENGINEERING.

DOCUMENTATION

10. NO WALL, FLOOR OR CEILING REMOVAL UNLESS CLEARLY NOTED OTHERWISE - **ONLY FINISHES**
11. PLEASE REFER TO DOOR AND WINDOW SCHEDULE FOR REMOVAL OR REPLACEMENT OF SPECIFIC DOORS & WINDOWS

EXISTING EAST ELEVATION

SCALE 1:100



DEMO SCHEDULE

GROUND FLOOR:

- ENTRY:
01. ALL NON HERITAGE JOINERY TO BE REMOVED
 02. SELECTED RED WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
 03. ALL NON-HERITAGE FIXTURES TO BE REMOVED

DINING:

04. ALL NON HERITAGE JOINERY TO BE REMOVED
- 05 SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
06. NON COMPLIANT STAIRS TO BE DEMOLISHED

EXISTING NON HERITAGE EXTENSION:

07. ALL FLOOR FINISHES TO BE REMOVED
08. ALL JOINERY TO BE REMOVED
09. ALL WALLS TO BE REMOVED
10. EXTERNAL PAVING TO BE REMOVED
11. ALL STAIRS TO BE DEMOLISHED
12. ALL FIXTURES TO BE REMOVED
13. ALL DOORS AND WINDOWS TO BE REMOVED
14. ALL ROOF AND GUTTERS TO BE DEMOLISHED

FIRST FLOOR:

15. ALL NON HERITAGE JOINERY TO BE REMOVED
16. WALLS TO BE RETAINED AND RESTORED
17. SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS

BEDROOM 02:

18. ALL NON HERITAGE JOINERY TO BE REMOVED
19. SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS

BEDROOM 03:

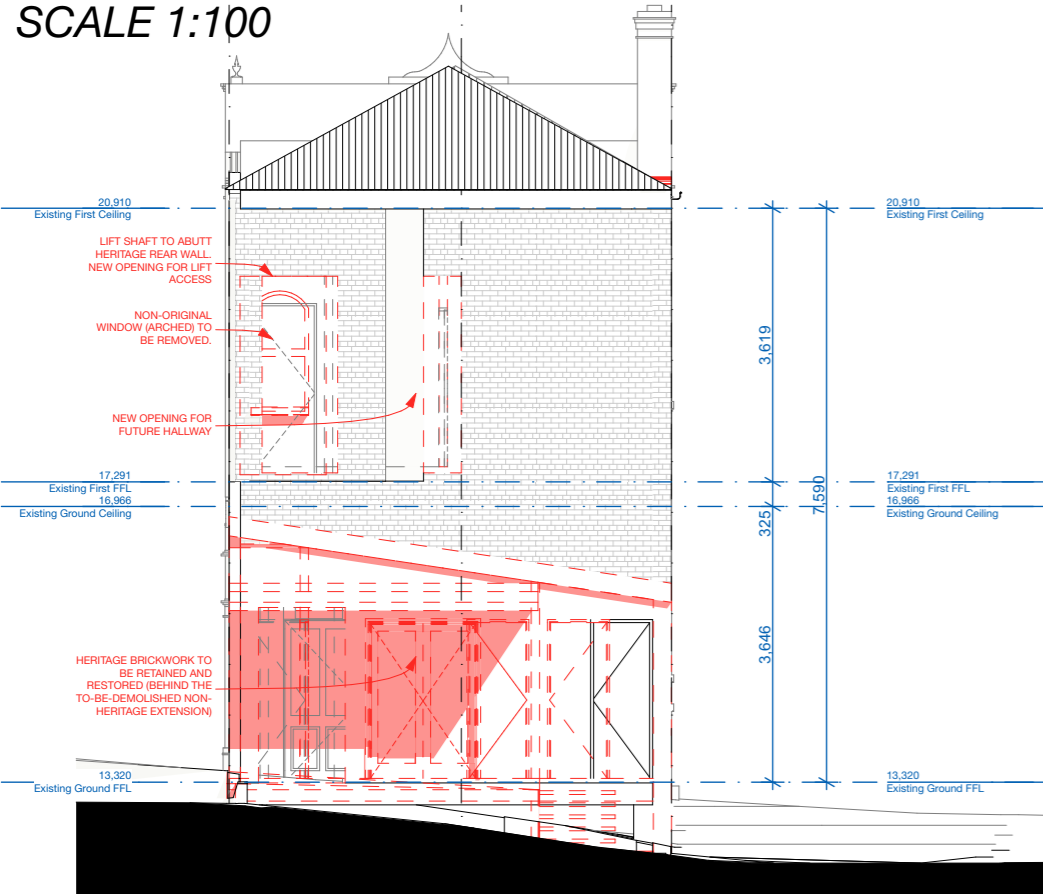
20. ALL NON HERITAGE JOINERY TO BE REMOVED
21. SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS

BATHROOM:

22. ALL NON HERITAGE JOINERY TO BE REMOVED
23. SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
24. ALL FIXTURES TO BE REMOVED

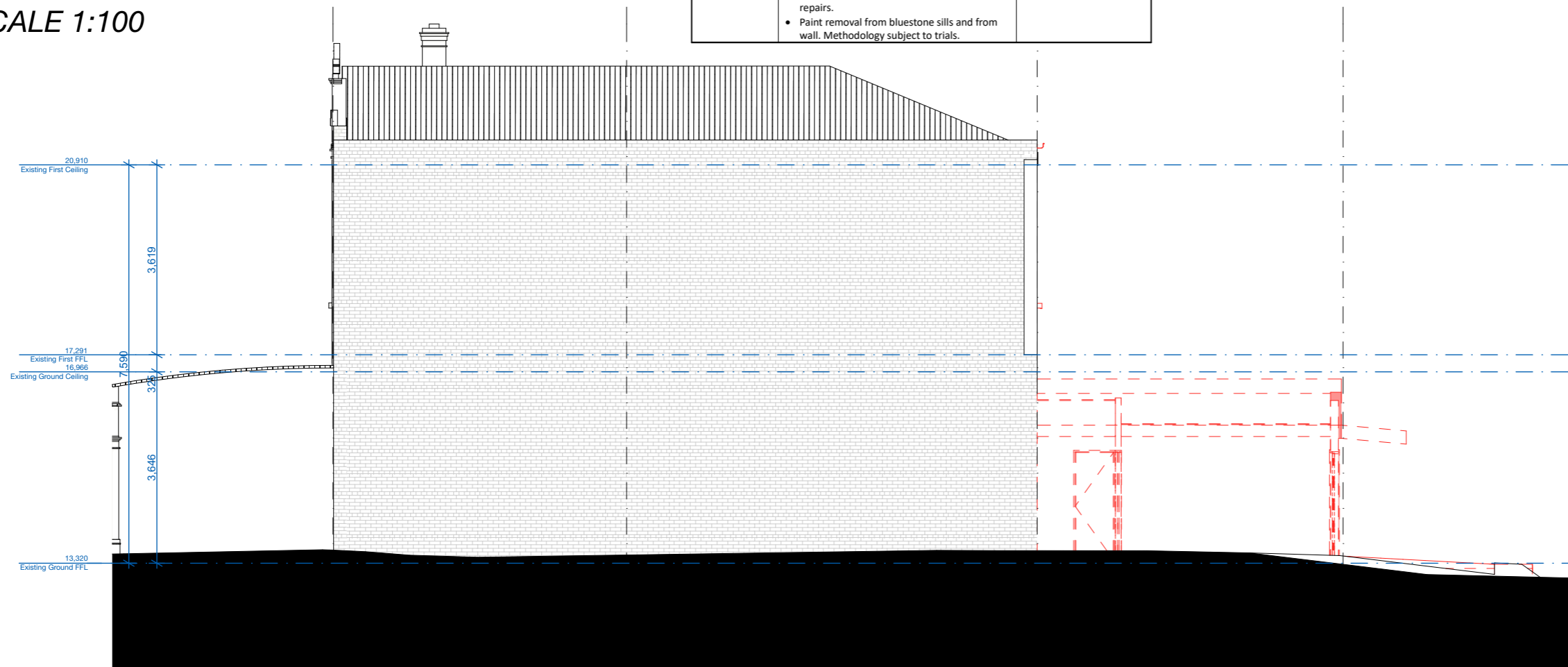
EXISTING SOUTH ELEVATION

SCALE 1:100



EXISTING WEST ELEVATION

SCALE 1:100



SCHEDULE OF HERITAGE WORKS

189 BANK STREET – CONSERVATION WORKS

ITEM	LC RECOMMENDATION	COMMENT
General		
Facade	<ul style="list-style-type: none"> Wash down facade 	
Facade	<ul style="list-style-type: none"> Remove all redundant items, pipes, services and allow to fix substrate 	
Timberwork	<ul style="list-style-type: none"> Prepare and repaint timber work 	Purple Brown
Rainwater goods	<ul style="list-style-type: none"> Prepare and paint eaves gutters and downpipes 	Roof Red
Metalwork	<ul style="list-style-type: none"> Prepare and paint metal work 	Roof Red
Roof		
Roof sheets	<ul style="list-style-type: none"> Replace corrugated roof sheet with new galvanized steel corrugated roof sheets. Including new timber battens, sarking membrane, safety mesh and insulation 	
Roof slates	<ul style="list-style-type: none"> Replace existing slates with new slates. Including new timber battens, sarking membrane, safety mesh and insulation 	
Eaves gutters/box gutters	<ul style="list-style-type: none"> Replace box gutter with new in stainless steel and install new sump. Allow to replace timber gutter boards to provide compliant drainage capacity. Replace quad profile eaves gutter with new ogee 	
North elevation (main facade)		
Render work	<ul style="list-style-type: none"> Allow to repair damaged render to ground level facade. (nom. 1m2) Re-parge top of parapets and of cornices. Allow to repair damaged moulded render to match existing texture and form. 	Flat render at lower facade below verandah – Deep Yellow Ochre
Windows (upper)	<ul style="list-style-type: none"> Replace flyscreens Re-glaze with new glass to design architect specification and re-putty with traditional linseed oil putty. Allow for router-out existing timber frame to suit new glass thickness. Replace timber mid rail of eastern window and allow for additional timber splice repair as required. 	
Door	<ul style="list-style-type: none"> Remove A/C unit and replace glazing to upper fixed sashes Replace hardware with new to comply with AS. 	
East elevation (laneway)		
Brick work	<ul style="list-style-type: none"> Remove embedded items (timber, metal) and repair substrate with pigmented mortar repairs. Paint removal from bluestone sills and from wall. Methodology subject to trials. 	
South elevation (rear)		
Services	<ul style="list-style-type: none"> Remove redundant pipes and vents and fix substrate 	
Brick work	<ul style="list-style-type: none"> Replace damaged bricks (nom. 10 units) Following demolition works, make good of lower corner adjacent to laneway by way of repointing and replacing damaged bricks to match existing size and colour. Install new damp proof course 	
Fascia boards	<ul style="list-style-type: none"> Allow to replace timber fascia board, if required, with new to match profile and size of existing. 	
Render work	<ul style="list-style-type: none"> Re-point full extent of plinth and additional areas (nom. 10m2). Including around reveals of windows. 	
Windows	<ul style="list-style-type: none"> Replace damaged bricks to match existing size and colour (nom. 10 units) Install new damp proof course Re-mould rendered window sill (1 unit) Replace flyscreens Re-glaze with new glass to design architect specification and re-putty with traditional linseed oil putty. Allow for router-out existing timber frame to suit new glass thickness. Allow for additional timber splice repair as required. 	
Window safety bars	<ul style="list-style-type: none"> Allow to replace northern bars (1 unit) 	
Metal vents	<ul style="list-style-type: none"> Replace vents with new with design to match era of building (9 units) 	
Downpipe	<ul style="list-style-type: none"> Replace downpipe with new in cast iron and square profile. Recess lower section into existing cavity wall. 	
Fascia boards	<ul style="list-style-type: none"> Allow to replace timber fascia board, if required, with new to match profile and size of existing. 	

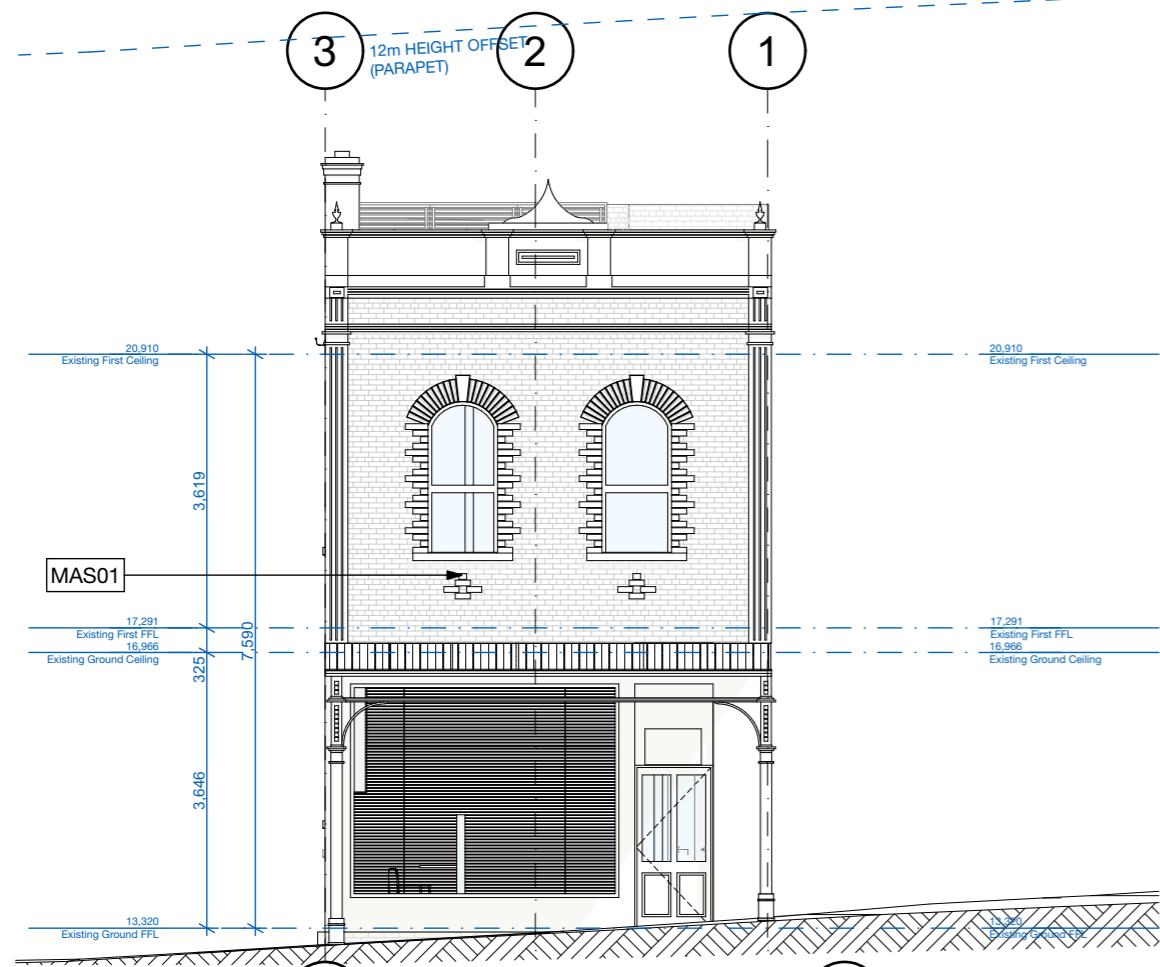
RETENTION SCHEDULE

- GENERAL:**
- ALL FLOOR FINISHES TO BE RETAINED (NEW FLOORING OVER)
 - WALLS TO BE RETAINED AND RESTORED
 - EXISTING PRESSED TIN CEILING TO BE RETAINED AND RESTORED
 - EXISTING EXTERNAL WINDOWS AND DOORS TO BE RETAINED AND RESTORED
 - ENTIRE HERITAGE FACADE TO BE RETAINED AND RESTORED.
 - ENTIRE HERITAGE ROOF, GUTTERS AND DOWNPIPES TO BE RETAINED AND RESTORED
 - CORNICE, SKIRTINGS, ARCHITRAVES, DOOR JAMBS, MOULDINGS TO BE RETAINED AND RESTORED.
 - ALL WALL AND/OR POST REMOVAL MUST BE DONE IN ACCORDANCE WITH ENGINEERING. DOCUMENTATION CLEARLY NOTED OTHERWISE - **ONLY FINISHES**
 - PLEASE REFER TO DOOR AND WINDOW SCHEDULE FOR REMOVAL OR REPLACEMENT OF SPECIFIC DOORS & WINDOWS

DEMO SCHEDULE

- GROUND FLOOR:**
- ENTRY:**
- ALL NON HERITAGE JOINERY TO BE REMOVED
 - SELECTED RED WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
 - ALL NON-HERITAGE FIXTURES TO BE REMOVED
- DINING:**
- ALL NON HERITAGE JOINERY TO BE REMOVED
 - SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
 - NON COMPLIANT STAIRS TO BE DEMOLISHED
- EXISTING NON HERITAGE EXTENSION:**
- ALL FLOOR FINISHES TO BE REMOVED
 - ALL JOINERY TO BE REMOVED
 - ALL WALLS TO BE REMOVED
 - EXTERNAL PAVING TO BE REMOVED
 - ALL STAIRS TO BE DEMOLISHED
 - ALL FIXTURES TO BE REMOVED
 - ALL DOORS AND WINDOWS TO BE REMOVED
 - ALL ROOF AND GUTTERS TO BE DEMOLISHED
- FIRST FLOOR:**
- ALL NON HERITAGE JOINERY TO BE REMOVED
 - WALLS TO BE RETAINED AND RESTORED
 - SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
- BEDROOM 02:**
- ALL NON HERITAGE JOINERY TO BE REMOVED
 - SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
- BEDROOM 03:**
- ALL NON HERITAGE JOINERY TO BE REMOVED
 - SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
- BATHROOM:**
- ALL NON HERITAGE JOINERY TO BE REMOVED
 - SELECTED (SHADED RED) WALLS TO BE ALTERED FOR NEW DOOR POSITIONS
 - ALL FIXTURES TO BE REMOVED

PROPOSED NORTH ELEVATION
SCALE 1:100



MATERIALITY



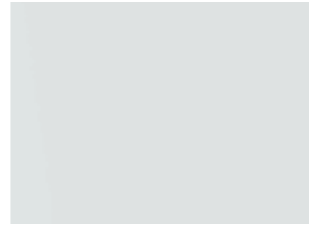
EF01
METAL LOUVRE
SYSTEM.
'MANOR RED'
POWDERCOAT



MAS01
EXISTING RED BRICK



MAS02
NEW BRICKWORK
TO BEST MATCH
EXISTING. SMEARED
WHITE MORTAR



GL01
CLEAR GLAZING

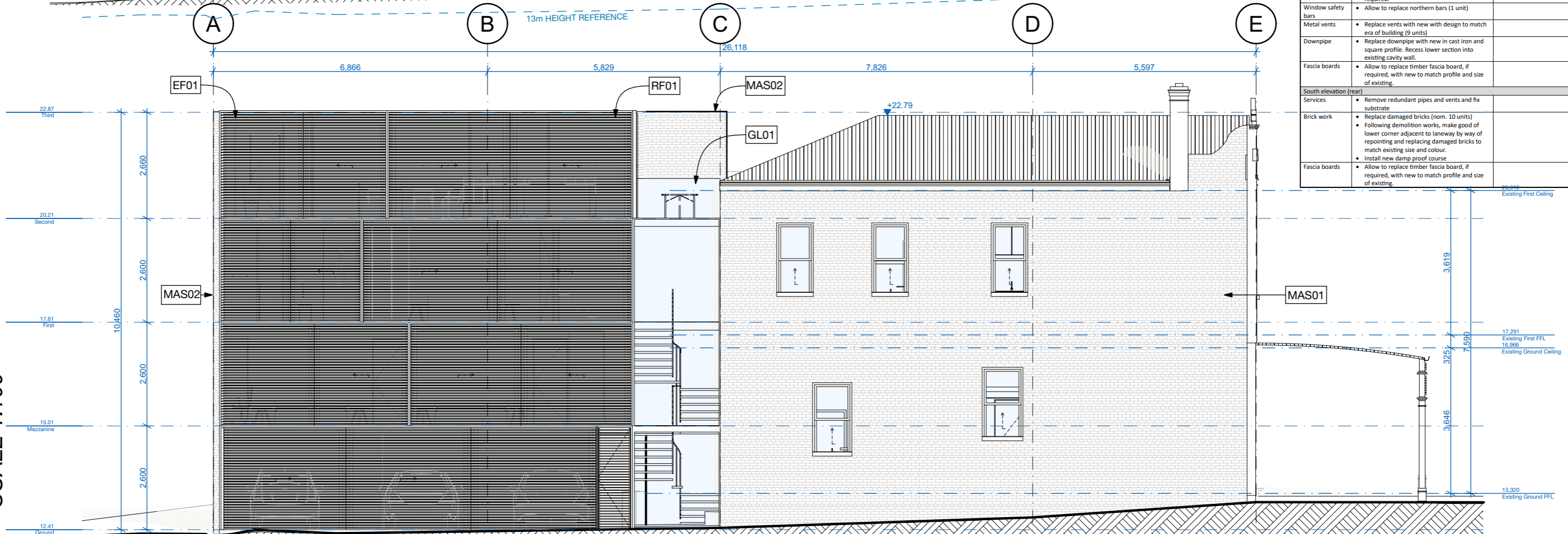


CONC01
CONCRETE



RF01
SOLAR PANEL ROOF

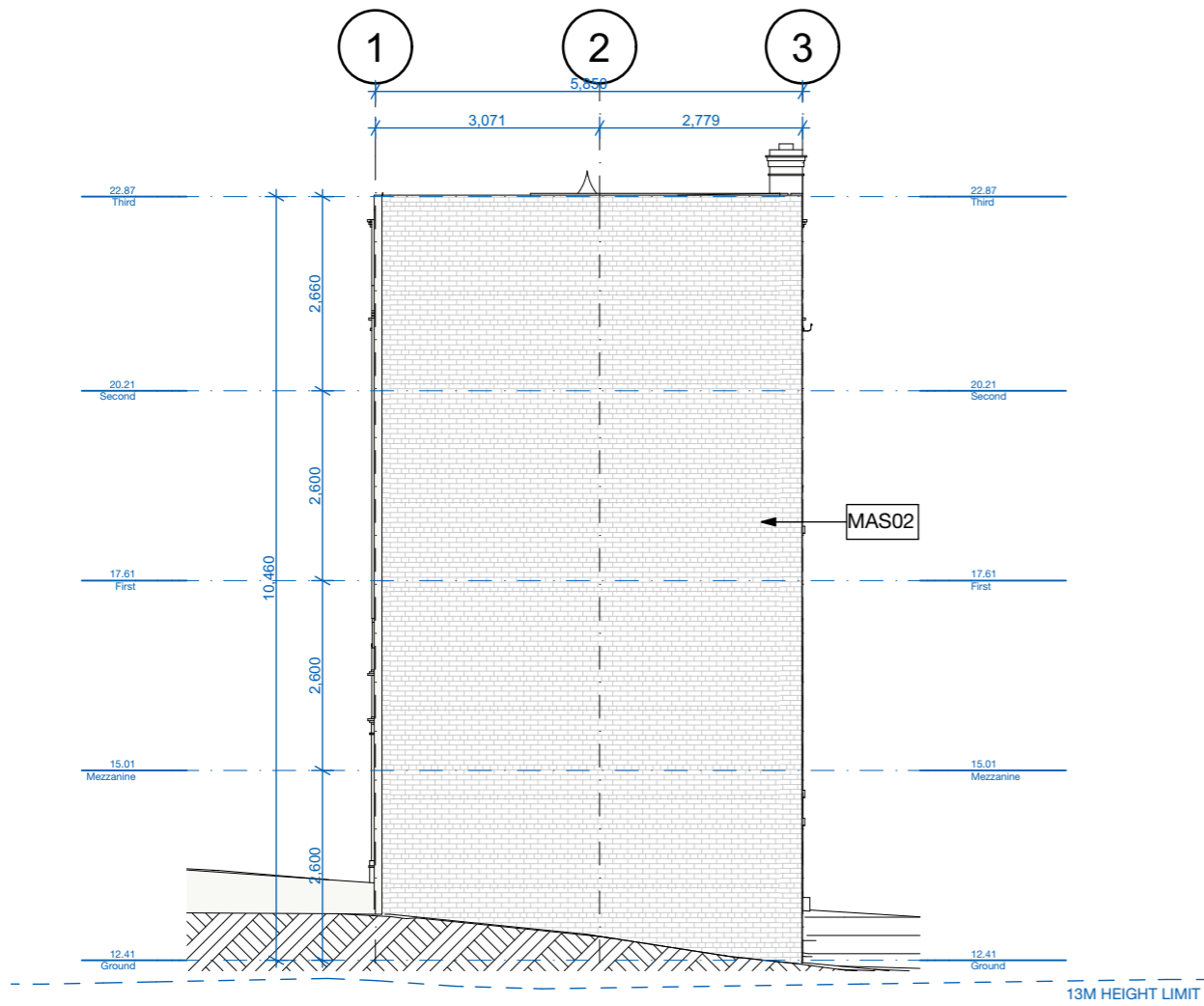
PROPOSED EAST ELEVATION
SCALE 1:100



SCHEDULE OF HERITAGE WORKS
ARCHITECTURAL EDUCATION VERSION

ITEM	LC RECOMMENDATION	COMMENT
General		
Façade	<ul style="list-style-type: none"> Wash down façade Remove all redundant items, pipes, services and allow to fix substrate 	
Timberwork	<ul style="list-style-type: none"> Prepare and repaint timber work 	Purple Brown
Rainwater goods	<ul style="list-style-type: none"> Prepare and paint eaves gutters and downpipes 	Roof Red
Metalwork	<ul style="list-style-type: none"> Prepare and paint metal work 	Roof Red
Roof		
Roof sheets	<ul style="list-style-type: none"> Replace corrugated roof sheet with new galvanized steel corrugated roof sheets. Including flashing, including new timber battens, sarking membrane, safety mesh and insulation 	
Roof slates	<ul style="list-style-type: none"> Replace existing slates with new slates. Including new timber battens, sarking membrane, safety mesh and insulation 	
Eaves gutters/box gutters	<ul style="list-style-type: none"> Replace box gutter with new in stainless steel and install new sump. Allow to replace timber gutter boards to provide compliant drainage capacity. Replace quad profile eaves gutter with new ogee 	
North elevation (main façade)		
Render work	<ul style="list-style-type: none"> Allow to repair damaged render to ground level façade. (nom. 1m2) Re-parge top of parapets and of cornices. Allow to repair damaged moulded render to match existing texture and form. 	Flat render at lower façade below verandah – Deep Yellow Ochre
Windows (upper)	<ul style="list-style-type: none"> Replace flyscreens Re-glaze with new glass to design architect specification and re-putty with traditional linseed oil putty. Allow for router-out existing timber frame to suit new glass thickness. Replace timber mid rail of eastern window and allow for additional timber splice repair as required. 	
Door	<ul style="list-style-type: none"> Remove A/C unit and replace glazing to upper fixed sashes Replace hardware with new to comply with AS. 	
East elevation (laneway)		
Brick work	<ul style="list-style-type: none"> Remove embedded items (timber, metal) and repair substrate with pigmented mortar repairs. Paint removal from bluestone sills and from wall. Methodology subject to trials. Re-point full extent of plinth and additional areas (nom. 10m2). Including around reveals of windows. Replace damaged bricks to match existing size and colour (nom. 10 units) Install new damp proof course 	
Render work	<ul style="list-style-type: none"> Re-mould rendered window sill (1 unit) 	
Windows	<ul style="list-style-type: none"> Replace flyscreens Re-glaze with new glass to design architect specification and re-putty with traditional linseed oil putty. Allow for router-out existing timber frame to suit new glass thickness. Allow for additional timber splice repair as required. 	
Window safety bars	<ul style="list-style-type: none"> Allow to replace northern bars (1 unit) 	
Metal vents	<ul style="list-style-type: none"> Replace vents with new with design to match era of building (9 units) 	
Downpipe	<ul style="list-style-type: none"> Replace downpipe with new in cast iron and square profile. Recess lower section into existing cavity wall. 	
Fascia boards	<ul style="list-style-type: none"> Allow to replace timber fascia board, if required, with new to match profile and size of existing. 	
South elevation (rear)		
Services	<ul style="list-style-type: none"> Remove redundant pipes and vents and fix substrate 	
Brick work	<ul style="list-style-type: none"> Replace damaged bricks (nom. 10 units) Following demolition works, make good of lower corner adjacent to laneway by way of repointing and replacing damaged bricks to match existing size and colour. Install new damp proof course 	
Fascia boards	<ul style="list-style-type: none"> Allow to replace timber fascia board, if required, with new to match profile and size of existing. 	

PROPOSED SOUTH ELEVATION
SCALE 1:100



MATERIALITY



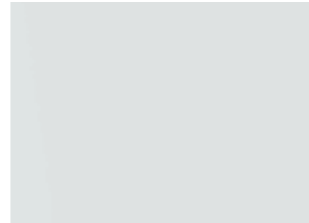
EF01
METAL LOUVRE
SYSTEM.
'MANOR RED'
POWDERCOAT



MAS01
EXISTING RED BRICK



MAS02
NEW BRICKWORK
TO BEST MATCH
EXISTING. SMEARED
WHITE MORTAR



GL01
CLEAR GLAZING

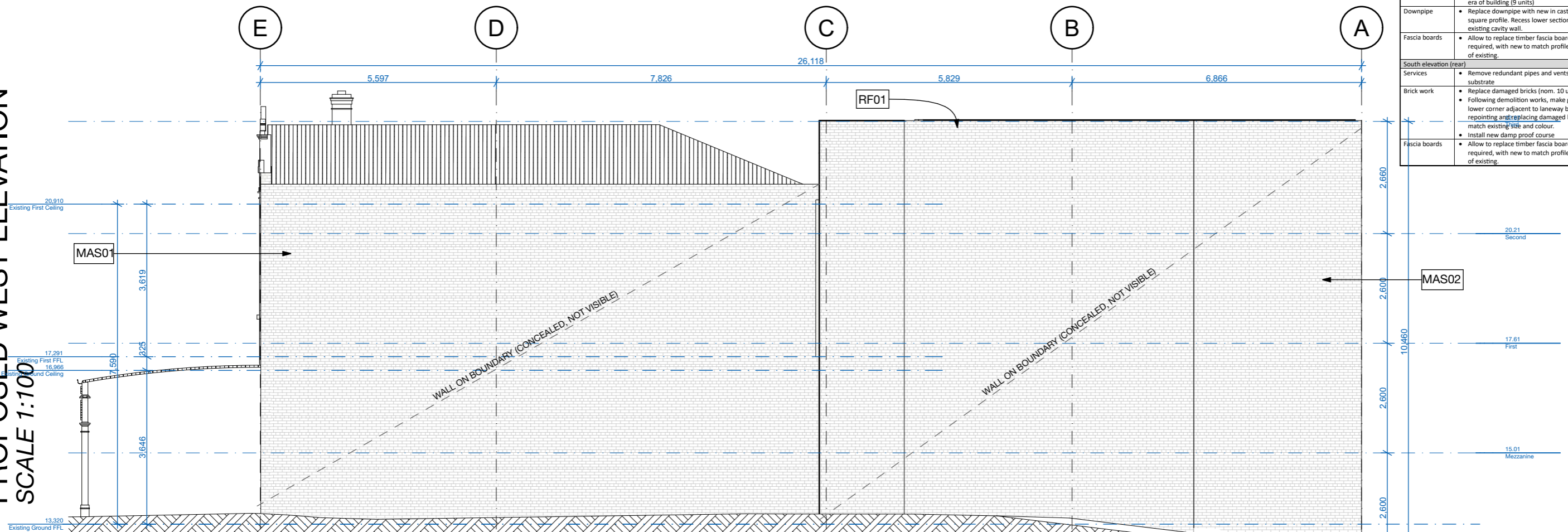


CONC01
CONCRETE



RF01
SOLAR PANEL ROOF

PROPOSED WEST ELEVATION
SCALE 1:100



SCHEDULE OF HERITAGE WORKS

ITEM	LC RECOMMENDATION	COMMENT
General		
Facade	<ul style="list-style-type: none"> Wash down facade Remove all redundant items, pipes, services and allow to fix substrate 	
Timberwork	<ul style="list-style-type: none"> Prepare and repaint timber work 	Purple Brown
Rainwater goods	<ul style="list-style-type: none"> Prepare and paint eaves gutters and downpipes 	Roof Red
Metalwork	<ul style="list-style-type: none"> Prepare and paint metal work 	Roof Red
Roof		
Roof sheets	<ul style="list-style-type: none"> Replace corrugated roof sheet with new galvanized steel corrugated roof sheets, including flashing, including new timber battens, sarking membrane, safety mesh and insulation 	
Roof slates	<ul style="list-style-type: none"> Replace existing slates with new slates, including new timber battens, sarking membrane, safety mesh and insulation 	
Eaves gutters/box gutters	<ul style="list-style-type: none"> Replace box gutter with new in stainless steel and install new sump. Allow to replace timber gutter boards to provide compliant drainage capacity. Replace quad profile eaves gutter with new ogee 	
North elevation (main facade)		
Render work	<ul style="list-style-type: none"> Allow to repair damaged render to ground level facade. (nom. 1m2) Re-parge top of parapets and of cornices. Allow to repair damaged moulded render to match existing texture and form. 	Flat render at lower facade below verandah - Deep Yellow Ochre
Windows (upper)	<ul style="list-style-type: none"> Replace flyscreens Re-glaze with new glass to design architect specification and re-putty with traditional linseed oil putty. Allow for router-out existing timber frame to suit new glass thickness. Replace timber mid rail of eastern window and allow for additional timber splice repair as required. 	
Door	<ul style="list-style-type: none"> Remove A/C unit and replace glazing to upper fixed sashes Replace hardware with new to comply with AS. 	
East elevation (laneway)		
Brick work	<ul style="list-style-type: none"> Remove embedded items (timber, metal) and repair substrate with pigmented mortar repairs. Paint removal from bluestone sills and from wall. Methodology subject to trials. Re-point full extent of plinth and additional areas (nom. 10m2). Including around reveals of windows. Replace damaged bricks to match existing size and colour (nom. 10 units) Install new damp proof course 	
Render work	<ul style="list-style-type: none"> Re-mould rendered window sill (1 unit) 	
Windows	<ul style="list-style-type: none"> Replace flyscreens Re-glaze with new glass to design architect specification and re-putty with traditional linseed oil putty. Allow for router-out existing timber frame to suit new glass thickness. Allow for additional timber splice repair as required. 	
Window safety bars	<ul style="list-style-type: none"> Allow to replace northern bars (1 unit) 	
Metal vents	<ul style="list-style-type: none"> Replace vents with new with design to match era of building (9 units) 	
Downpipe	<ul style="list-style-type: none"> Replace downpipe with new in cast iron and square profile. Recess lower section into existing cavity wall. 	
Fascia boards	<ul style="list-style-type: none"> Allow to replace timber fascia board, if required, with new to match profile and size of existing. 	
South elevation (rear)		
Services	<ul style="list-style-type: none"> Remove redundant pipes and vents and fix substrate 	
Brick work	<ul style="list-style-type: none"> Replace damaged bricks (nom. 10 units) Following demolition works, make good of lower corner adjacent to laneway by way of repointing and replacing damaged bricks to match existing size and colour. Install new damp proof course 	
Fascia boards	<ul style="list-style-type: none"> Allow to replace timber fascia board, if required, with new to match profile and size of existing. 	

MATERIALITY



EF01 METAL LOUVRE SYSTEM



MAS01 EXISTING RED BRICKS



CONC01 PRECAST CONCRETE



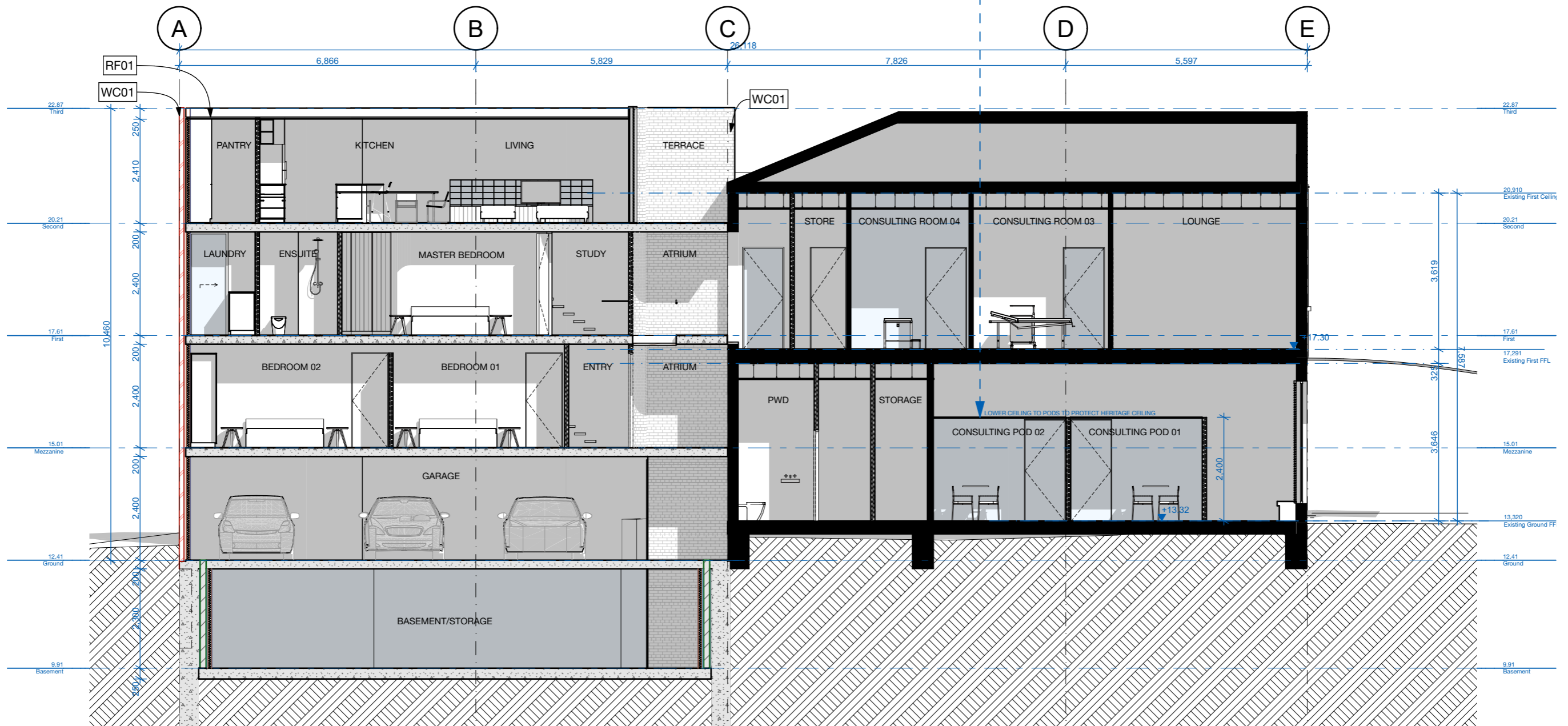
RF01 SOLAR PANEL ROOF

HERITAGE CEILING PROTECTION. ARTISTIC IMPRESSION



SCALE: N/A

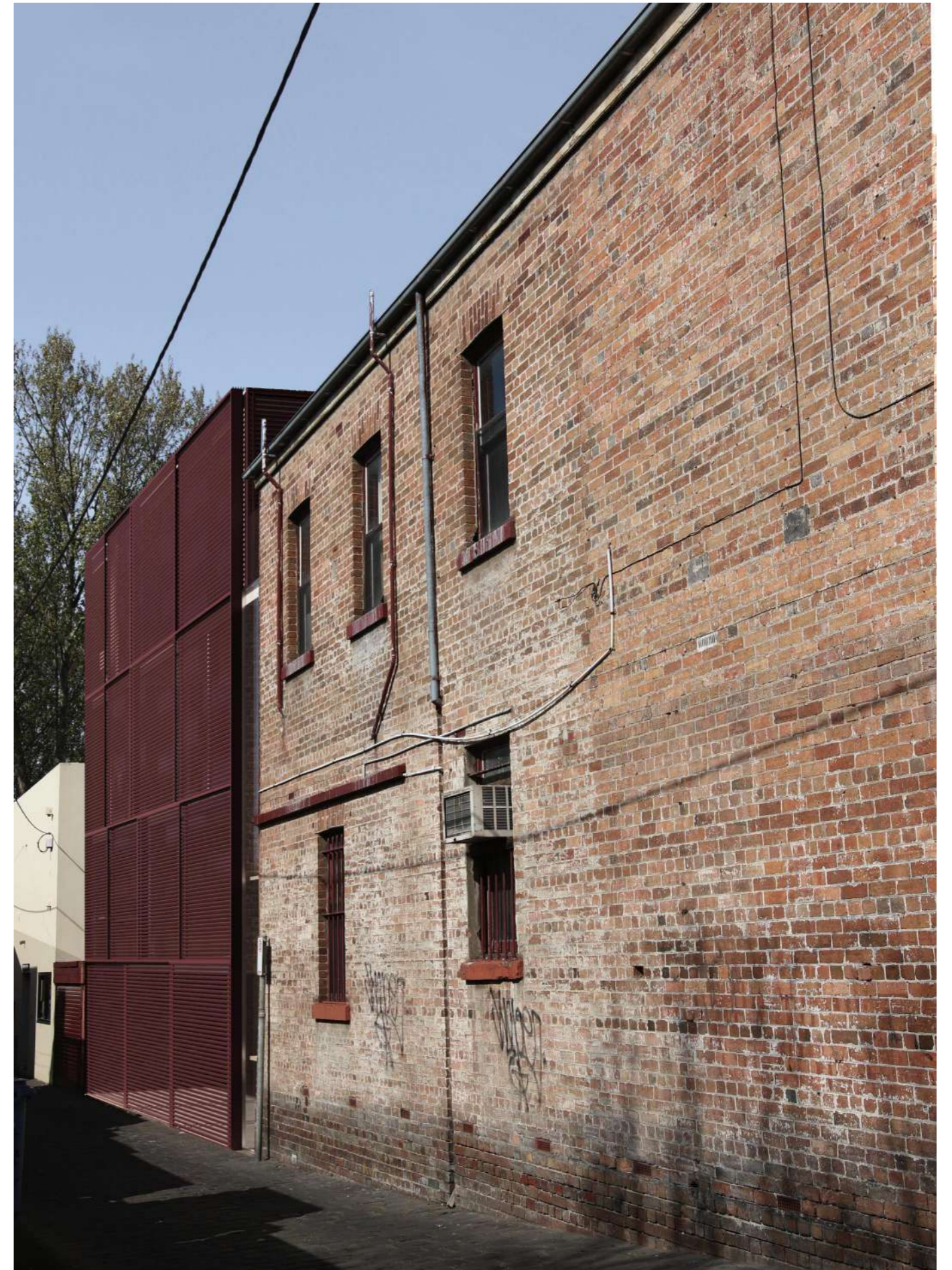
PROPOSED SECTION A SCALE 1:100



BANK ST RENDER, NORTH EASTERN VIEW
SCALE: N/A



BANK ST RENDER, NORTH EASTERN CLOSE UP VIEW ARCHICAD EDUCATION VERSION
SCALE: N/A



PRELIMINARY

BANK ST RENDER, SOUTH EASTERN VIEW
SCALE: N/A



BANK ST RENDER, SOUTH EASTERN CLOSE UP VIEW ARCHICAD EDUCATION VERSION
SCALE: N/A





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ABN 38 005 592 101

BANK ST DEVELOPMENT
ADDRESS: 189 Bank St South Melbourne VIC 3205
CLIENT: Dr Ian Holtten
JOB NO: 2207

All dimensions are to be verified on site prior to construction. Discrepancies or errors are to be reported to the Architect for resolution prior to proceeding. Drawings must not be used for construction unless issued by the Architect as a Stamped Construction Set. Do not scale off drawings. All boundaries & contours are subject to survey. Drawings contain confidential & private information & are to not be distributed beyond intended person's unless given consent from Architects.

**TOWN
PLANNING**

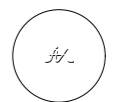
NOTES:

NOT FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE ARCHITECT AS A STAMPED CONSTRUCTION SET

PRELIMINARY

RENDER: LANEWAY

SCALE @ A3



TP.07.3

PLOT DATE: 22/12/2023